



THE CITY OF SAN DIEGO

## Report to the Planning Commission

DATE ISSUED: November 22, 2021 REPORT NO. PC-21-060

HEARING DATE: December 2, 2021

SUBJECT: NIMITZ CROSSING NUP, Process Two Appeal Decision

PROJECT NUMBER: [682499](#)

OWNER/APPLICANT: Voltaire 24, LP, Owner/Applicant

### SUMMARY

Issue: Should the Planning Commission grant or deny an appeal of the Development Services Department approval of a Neighborhood Use Permit for an interim ground floor residential use in an existing mixed-use structure located at 3903 Voltaire Street within the Peninsula Community Plan and Local Coastal Program Land Use Plan area?

Staff Recommendation: Deny the appeal and affirm the Development Services Department decision to approve Neighborhood Use Permit No. 2548504.

Community Planning Group Recommendation: On July 22, 2021, the Peninsula Community Planning Board voted 8-1-1 to recommend approval of the project (Attachment 9).

Environmental Review: On October 19, 2010, the City Council adopted Mitigated Negative Declaration No. 164585 for the Point Plaza Project, which included a rezone of a portion of the site from CP-1-1 (Commercial-Parking) to CC-3-5 (Commercial-Community), and a Site Development Permit to demolish an existing two-story 7,450 square foot commercial development, and construct a three-story mixed use development Pursuant to Public Resources Code Section 21166 and California Environmental Quality Act (CEQA) Guidelines, Section 15162, the City has determined that there are no conditions which would require preparation of additional environmental documents under CEQA.

Fiscal Impact Statement: None. All costs associated with this project are recovered through fees funded by the applicant.

Housing Impact Statement: The project site is in the CC-3-5 (Commercial-Community) Zone; is designated Commercial, Employment & Retail Services in the General Plan, is designated Commercial within the Peninsula Community Plan. The project currently provides 24

dwelling units, including two affordable units. Through implementation of the interim ground floor residential use, the project would convert ground floor commercial space for residential use and add 12 additional studio apartments in the Peninsula Community for up to 10 years.

## BACKGROUND

The Nimitz Crossing Project (Project) is located at 3903 Voltaire Street on a 0.54- acre site. The Project is developed with a three-story mixed-use development, including 24 multi-family residential dwelling units and approximately 12,000 square feet of commercial space over a subterranean parking structure, that was originally approved under Site Development Permit No. 589777 (Attachment 4). The site is in the CC-3-5 Zone, Coastal Height Limitation Overlay Zone, Airport Influence Area (Review Area 1-SDIA), Airport Approach Overlay Zone, FAA Part 77 Noticing Area (SDIA and North Island), Community Plan Implementation Overlay Zone (Area B) and the Peninsula Community Plan.

Pursuant to San Diego Municipal Code (SDMC) Section [126.0205](#), the Project requires a Process Two, Neighborhood Use Permit for the proposed interim ground floor residential use, to be decided by City staff. Staff's decision is appealable to the Planning Commission.

The existing three-story over basement structure contains:

- Basement: 48 parking spaces to provide parking for the 24 residential units on Floors 2 and 3;
- 1<sup>st</sup> Floor: 12 parking spaces and 8,784 net square feet of vacant commercial space (proposed 12 studio apartments as an interim ground floor residential use for up to 10 years); and
- 2<sup>nd</sup> and 3<sup>rd</sup> Floors: 24 residential units, of which 2 are affordable housing per agreement with the San Diego Housing Commission.

## DISCUSSION

The Project proposes implementation of an interim ground floor residential use, pursuant to [SDMC Section 141.0309](#), which will allow for conversion of ground floor commercial space for interim residential use. The Project would provide 12 studio apartments for up to 10 years.

On October 13, 2021, the Development Services Department issued the City's Notice of Decision (Attachment 5) approving Neighborhood Use Permit No. 2508504. City staff has reviewed and approved the Neighborhood Use Permit (Attachments 7 and 8) based on the Project Plans (Attachment 11). The Neighborhood Use Permit includes a condition that the interim ground floor residential use will expire no later than ten years from approval.

On October 26, 2021, Steven Barbaro (Appellant) filed an Appeal (Attachment 7) of the Notice of Decision, citing Conflict with Other Matters.

## Legal Standard for Appeal of the Development Services Department Decision

Pursuant to [SDMC Section 112.0504](#), an appeal of a Process Two decision may only be granted with evidence supporting one of the following findings:

1. Factual Error: The statements or evidence relied upon by the decision maker when approving, conditionally approving, or denying a permit, map, or other matter were inaccurate; or
2. New Information: New information is available to the applicant or the interested person that was not available through that person's reasonable efforts or due diligence at the time of the decision; or
3. Findings Not Supported: The decision maker's stated findings to approve, conditionally approve, or deny the permit, map, or other matter are not supported by the information provided to the decision maker; or
4. Conflicts: The decision to approve, conditionally approve, or deny the permit, map, or other matter is in conflict with a land use plan, a City Council policy, or the Municipal Code.

The Planning Commission can deny the appeal and affirm approval of the Project if none of the above findings are supported by sufficient evidence, or grant the appeal and reverse approval of the Project if the Planning Commission finds that one of the above-referenced findings is supported by sufficient evidence.

### **PROJECT APPEAL DISCUSSION**

Appellant's appeal issues are identified below along with City staff's evaluation and responses.

#### **Appeal Issue No. 1: Conflict with Other Matters**

*"The approval of 12 more units to be added without additional parking will have an immediate impact on the ability for homeowners on Udall St to find reasonable parking near our homes, many of which were built without driveways or garages.*

*The current residents of Nimitz Crossing are already impacting the availability of street parking. It is most noticeable after 8:00pm when no parking on the 3800 block is available forcing us to park two blocks away or more and some of which is 2-hour parking starting at 8:00am. This starts becoming a quality of life issue.*

*12 more units means likely 12-24 more cars will be added to an already challenging parking situation. Many residents of the neighboring apartment complex use Udall St. as well as the guests of the California Dreams youth hostel on the corner of Udall St and Worden St. Adding more cars will be asking us to look outside of our neighborhood for parking. The impact on our quality of life will be immediate and long term.*

*The developer designed Nimitz Crossing for a specific use with a long-term assessment of the neighborhood. I believe he should stick to his long-term plan. I do not think it is reasonable to tell*

*homeowners on Udall St to sacrifice our right to reasonable street parking because the developer decided the short-term climate does not benefit his design. I believe we have a right to a certain quality of life and approving these additional units will immediately and negatively impact the quality of life on Udall St. and it should not be approved."*

**Staff Response:**

[SDMC Section 141.0309\(c\)](#), which establishes special regulations applicable to the interim ground floor residential use, expressly provides that "No additional parking is required for the interim ground floor residential use." Even though parking is not required, City staff notes that the Project plans include 12 parking spaces that were provided for the planned commercial space, which will be designated for use by the 12 studio apartments (Attachment 11) .

Specifically, the Project currently includes 24 two-bedroom units and approximately 8,784 square feet of shell commercial space. Per [SDMC Section 142.0525](#), Table 142-05C, 48 minimum parking spaces are required based on the total number of existing multi-family residential units. However, as indicated by the Project plans, 12 extra spaces are provided on the ground floor. These spaces provide parking for the 12 studio units.

Based on the above, City staff has not identified any conflict between the proposed Project and any land use plan, City Council policy, or SDMC provision governing minimum parking.

Conclusion:

City staff has reviewed the proposed Project, analyzed the appeal issue raised, and determined that the Project is in conformance with regulations of the Land Development Code and the Peninsula Community Plan. There were no inaccurate statements, nor was insufficient evidence presented to the City staff concerning the Development Services Department approving the Project. All information was disclosed and shared to interested parties during the review and decision process. The Project is located within previously developed portions of the property and conforms with all of the development standards required by the underlying CC-3-5 Zone, all conditions as approved under Site Development Permit No. 589777 for the initial project, and SDMC Section 141.0309 ("Interim Ground Floor Residential"). The Project is consistent with the Community Plan and appropriate findings were made for a Neighborhood Use Permit under SDMC Sections 126.0205(a) and (c). The appellant has not provided sufficient evidence to support findings that are grounds for appeal. Therefore, City staff recommends that the Planning Commission deny the appeal and affirm the Development Services Department decision to approve the project.

ALTERNATIVES

1. Deny the appeal and modify the Development Services Department decision to approve Neighborhood Use Permit No. 2508504.
2. Grant the appeal and reverse the Development Services Department decision to approve Neighborhood Use Permit No. 2548504 in accordance with Section 112.0504.

Respectfully submitted,



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Tim Daly  
Assistant Deputy Director  
Development Services Department



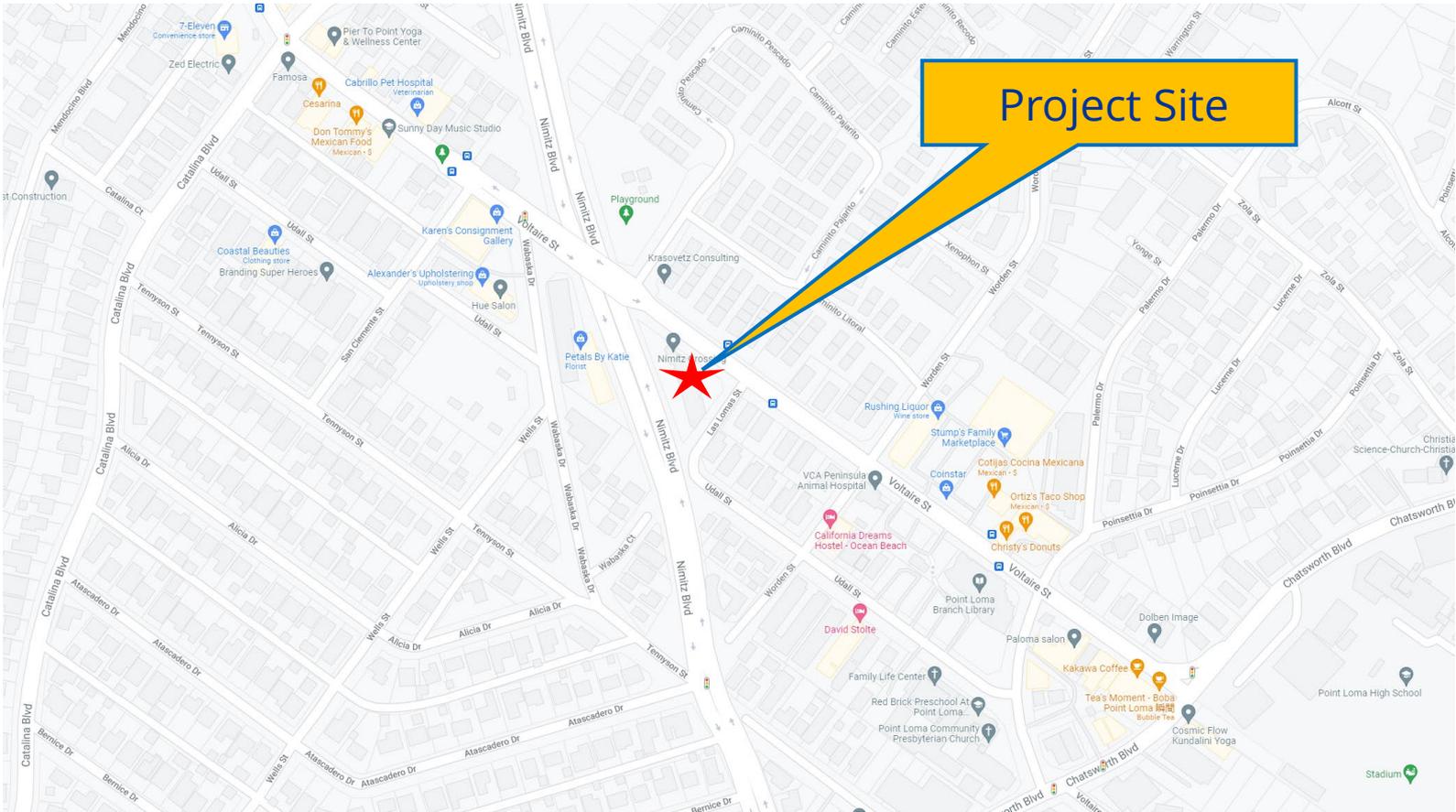
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Martha Blake  
Development Project Manager  
Development Services Department

EL/MB

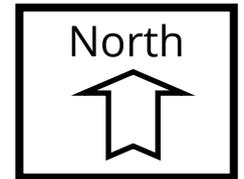
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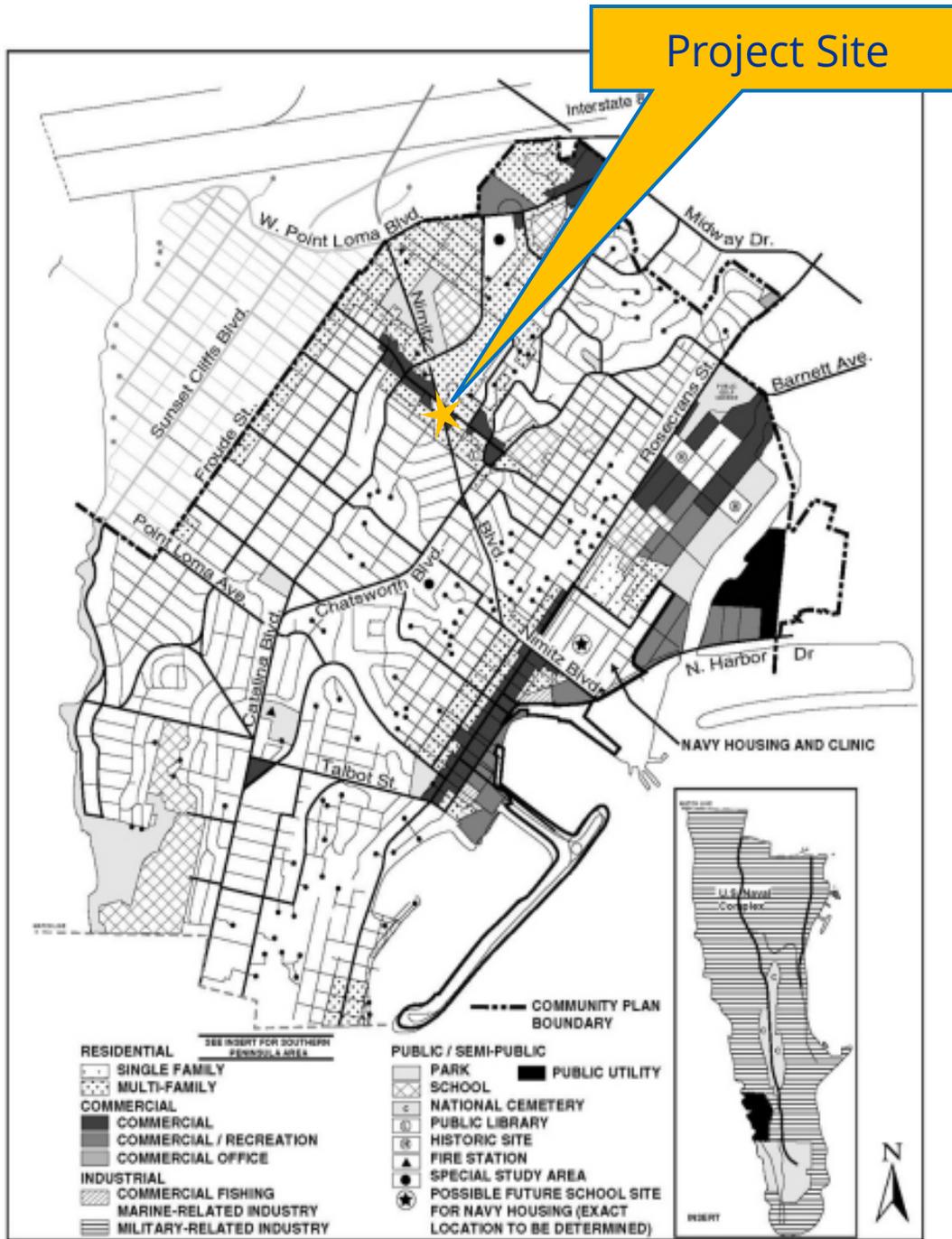
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Site Development Permit NO. 589770
5. Notice of Decision
6. Appeal Application
7. Draft Permit Resolution with Findings
8. Draft Neighborhood Use Permit with Conditions
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Plans



# Project Location Map

Nimitz Crossing  
PROJECT NO. 682499

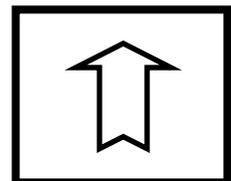




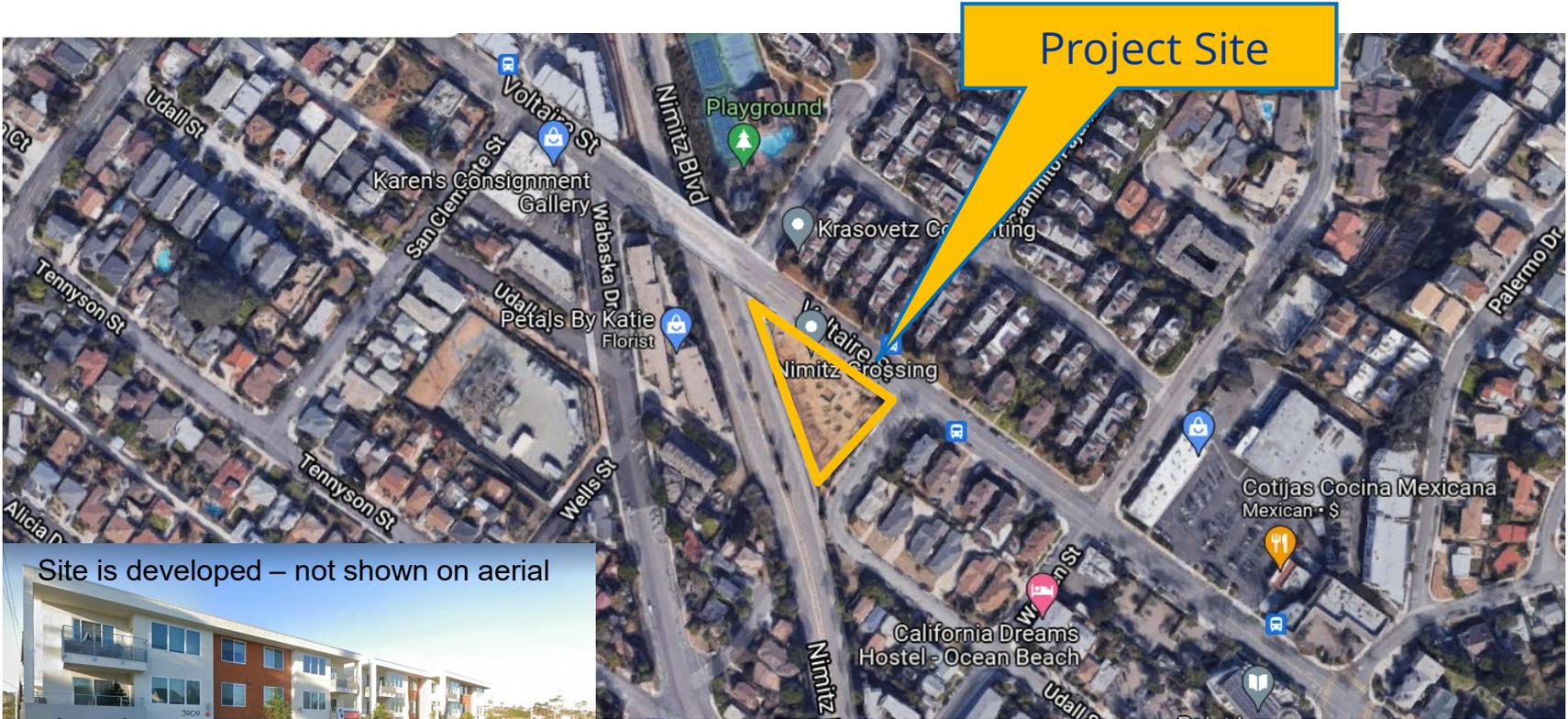
## Land Use Map



Nimitz Crossing  
PROJECT NO. 682499



North

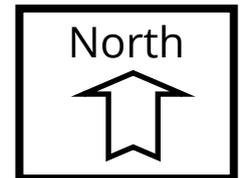


Site is developed – not shown on aerial



## Aerial Photo

Nimitz Crossing  
PROJECT NO. 682499



DOC # 2013-0626136



OCT 18, 2013 9:32 AM 5561

RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
PERMIT INTAKE, MAIL STATION 501

OFFICIAL RECORDS  
SAN DIEGO COUNTY RECORDER'S OFFICE  
Ernest J. Dronenburg, Jr., COUNTY RECORDER  
FEES: 100.00

PAGES: 29

WHEN RECORDED MAIL TO  
CITY CLERK  
MAIL STATION 2A



F8  
29p  
1CON

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER 43-1567

SITE DEVELOPMENT PERMIT NO. 589770  
POINT PLAZA - PROJECT NO. 164585 [MMRP]  
CITY COUNCIL

This Site Development Permit No. 589770 is granted by the Council of the City of San Diego to Habib A. Jaboro And Wafa J. Jaboro, Co-Trustees, Habib And Wafa Jaboro Family Trust, dated February 24, 2005, Wisam Naeim Aziz, an unmarried man, and Thaeir Aziz, as his sole and separate property, Owners and Voltaire & Nimitz, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0504. The 0.61 acre site is located at 3903 Voltaire Street within the CP-1-1 and CC-3-5 Zones (proposed CC-3-5 Zone), Airport Approach Overlay Zone, Airport Environs Overlay Zone, Coastal Height Limit Overlay Zone, Community Plan Implementation Overlay Zone Type B in the Peninsula Community Plan Area. The project site is legally described as Lot 1 of Nimitz Center, according to Map thereof No. 4854, filed July 11, 1960.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space with two deviations and two development incentives known as the Point Plaza project, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated OCT 19 2010 on file in the Development Services Department.

The project shall include:

The project or facility shall include:

- a. Demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space;

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- b. Two deviations; 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L];
  - c. Two density bonus development incentives; 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].
  - d. Landscaping (planting, irrigation and landscape related improvements);
  - e. Off-street parking; and
  - f. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms

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and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

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5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action

to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

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11. Prior to issuance of any occupancy permit for residential units, such units shall be sound attenuated to the 45 dB CNEL interior noise level or lower.
12. Prior to the issuance of building permits, an avigation easement for aircraft noise and height shall be recorded with the San Diego County Recorder for the land uses for which sound attenuation is required.
13. Prior to issuance of any building permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration.
14. This Permit may be developed in phases. Each phase shall be constructed prior to lease to individual tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

15. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project
16. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 164585, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.
17. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 164585, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to

the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Transportation/Circulation;  
 Historical Resources;  
 Noise; and  
 Paleontological Resources

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18. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

**AFFORDABLE HOUSING REQUIREMENTS:**

19. Prior to receiving the first residential building permit, the Owner/Permittee shall enter into an Affordable Housing Agreement with the San Diego Housing Commission to provide the affordable units in compliance with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) and the Density Bonus Program (California Government Code Sections 65915-65918 and Chapter 14, Article 3, Division 7 of the Land Development Code).

**ENGINEERING REQUIREMENTS:**

20. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

21. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

22. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices on the final construction drawings, in accordance with the approved Water Quality Technical Report, satisfactory to the City Engineer.

24. The drainage system proposed for this development is private and subject to approval by the City Engineer.

25. Prior to the issuance of any construction permits, the Owner/Permittee shall dedicate and improve an additional three feet of right-of-way, adjacent to the site on Las Lomas Street, satisfactory to the City Engineer.

26. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

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27. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the replacement of damaged sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Las Lomas Street and Voltaire Street, satisfactory to the City Engineer.

28. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the replacement of existing curb with City Standard curb and gutter, adjacent to the site on Las Lomas Street and Voltaire Street, satisfactory to the City Engineer.

29. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new City Standard curb ramp, at the Las Lomas Street and Voltaire Street intersection adjacent to the site, satisfactory to the City Engineer.

30. This project proposes to export 53,000 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material, unless the underlying zone allows a construction and demolition debris recycling facility with the approval of a Neighborhood Use Permit or Conditional Use Permit, per LDC Section 141.0620(i).

31. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the installation of two City Standard street lights; one on Voltaire Street and one on Las Lomas Street, adjacent to the site, satisfactory to the City Engineer.

32. Prior to issuance of an occupancy permit, the Owner/Permittee agrees to participate in a maintenance assessment district for decorative street lighting if such a district is in existence at this time. In the event the Owner/Permittee participates in this maintenance assessment district, the requirement for City-standard street lights may be waived or modified by the City Engineer, in consideration of lighting levels that would be achieved by using decorative lights.

33. The Owner/Permittee shall enter into an agreement with the City waiving the right to oppose a maintenance assessment initiated for the installation of decorative street lights and their perpetual maintenance.

**LANDSCAPE REQUIREMENTS:**

34. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall indicate an area equal to forty square feet around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

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35. Prior to issuance of any construction permits for buildings, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards and the "Voltaire Street CPIOZ" to the Development Services Department for approval. The construction documents shall be in substantial conformance with the approved Exhibit "A."

36. Prior to issuance of an occupancy permit, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

37. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

38. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.

39. If any required landscape, including existing or new plantings, hardscape, landscape features, or other improvements, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to issuance of a Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

40. A minimum of 61 automobile spaces, including 3 van accessible spaces, 2 motorcycle spaces and 14 bicycle spaces are required by the Land Development Code. Seventy-four spaces, including 3 van accessible spaces, 8 motorcycle spaces, and 10 bicycle spaces are shown on Exhibit "A," although fourteen bicycle spaces shall be provided. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

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41. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

42. Approval and utilization of this Site Development Permit shall rescind Permit Nos. C-4279, C-5198 and Resolution No. 167765.

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43. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as required by the Airport Land Use Compatibility Plan for San Diego International Airport. The Owner/Permittee shall obtain the required avigation easement language from the San Diego County Regional Airport Authority.

44. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

45. All signs associated with this development shall be consistent with the sign design and material criteria established by the Peninsula Community Plan CPIOZ for Voltaire Street and the City-wide sign regulations.

46. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

47. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall provide private sub-meters to measure the water use of each apartment unit and commercial lease space, in a manner satisfactory to the Director of Development Services Department.

48. Prior to the issuance of any building permits, the Owner/Permittee shall indicate on construction documents the installation of photovoltaic panels for the on-site generation of electricity capable of providing, at a minimum, the electricity needed for all on-site common areas, in a manner satisfactory to the Director of Development Services Department. Common areas shall include fixtures in common corridors, courtyards, hallways, patios, subterranean parking garages, and other such areas generally accessible to persons and not private interior lease or rental spaces.

#### **TRANSPORTATION REQUIREMENTS**

49. Prior to issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of twenty-four-foot wide commercial driveway and a second twenty-foot wide residential driveway on Las Lomas Street, satisfactory to the City Engineer.

50. Prior to issuance of any building permits, the Owner/Permittee shall assure by permit and bond the construction of a raised median along the project's frontage on Voltaire Street between Sea Colony Drive and Las Lomas Street, satisfactory to the City Engineer.

51. Prior to issuance of any building permits, the Owner/Permittee shall assure by permit and bond the re-stripping of Voltaire Street between Las Lomas Street and Worden Road as a two-lane collector street with two-way-left-turn lane, satisfactory to the City Engineer.

52. The Owner/Permittee shall provide and maintain a ten foot visibility area along the front setback on both sides of both the commercial and residential driveways on Las Lomas Street. No obstacles higher than thirty-six inches shall be located within this area, including yet not limited to walls, landscaping or other improvements.

53. The Owner/Permittee shall provide and maintain a twenty-five foot visibility area along the front setback at the corner of the intersection of Voltaire Street and Las Lomas Street. No obstacles higher than thirty-six inches shall be located within this area, including yet not limited to walls, landscaping or other improvements.

54. The Owner/Permittee shall install a "no parking" red zone between the two driveways along the project's frontage on Las Lomas Street.

**WASTEWATER REQUIREMENTS:**

55. Prior to issuance of any building permits, the Owner/Permittee shall verify that the existing lateral can handle the flow generated from the site or size a new lateral to accommodate the flow.

56. Prior to connecting to any existing sewer lateral, it shall be closed circuit television inspected by a California licensed Plumbing Contractor to verify lateral is in good working condition and free of all debris.

57. All onsite sewer facilities shall be private.

58. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

59. The Owner/Permittee shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

60. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

**WATER REQUIREMENTS:**

61. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

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62. Prior to the issuance of any building permits, the Owner/Permittee shall apply for and obtain a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

63. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

64. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

**GEOLOGY REQUIREMENTS:**

65. Prior to issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section and shall be to the satisfaction of the Geology Section of the Development Services Department.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on OCT 19 2010, by  
Resolution No. R-306256.

(C)  
10/19

RESOLUTION NUMBER R- 306256

DATE OF FINAL PASSAGE OCT 19 2010

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A RESOLUTION GRANTING SITE DEVELOPMENT PERMIT  
NO. 589770 FOR POINT PLAZA – PROJECT NO. 164585.

WHEREAS, Habib A. Jaboro and Wafa J. Jaboro, Co-Trustees, Habib A. and Wafa Jaboro Family Trust, dated February 24, 2005, Wisam Naeim Aziz, an unmarried man, and Thaeir Aziz, as his sole and separate property, Owners and Voltaire & Nimitz, LLC, Permittee, filed an application with the City of San Diego for a Site Development Permit No. 589770 to demolish an existing two-story commercial building and construct three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space with two deviations and two density bonus development incentives known as the Point Plaza project, located at 3903 Voltaire Street, and legally described as Lot 1 of Nimitz Center, according to Map No. 4854, filed July 11, 1960, in the Peninsula Community Plan area, in the CC-3-5 and CP-1-1 Zones which are to be rezoned to the CC-3-5 Zone; and

WHEREAS, on September 2, 2010, the Planning Commission of the City of San Diego considered Site Development Permit No. 589770, and pursuant to Resolution No. 4624-PC voted to recommend approval of the Permit; and

WHEREAS, the matter was set for public hearing on OCT 19 2010, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a

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public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. 589770:

**A. SITE DEVELOPMENT PERMIT – SAN DIEGO MUNICIPAL CODE [SDMC] SECTION 126.0504**

**1. Findings for all Site Development Permits**

**a. The proposed development will not adversely affect the applicable land use plan.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space. The site is designated for Neighborhood Commercial on the Peninsula Community Plan Land Use Map. Properties in the immediate neighborhood are designated for higher density residential uses in the ranges of 29 dwellings per acre and 44 dwellings per acre. Voltaire Street, the main street in the neighborhood is designated for neighborhood commercial, higher density residential and public uses, such as a public library.

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)]. Without the requested deviations these two units would not be provided and be available to persons whose income is at the very low income range of fifty percent of area median income.

The project will meet the objectives of the Peninsula Community Plan by developing a property designated for Neighborhood Commercial uses which allows mixed-use projects; will simplify the commercial zones on the subject site from two zones to one zone; by facilitating the redevelopment of the property which is located in the North Bay Redevelopment Area; and by providing rental dwelling units and affordable dwelling units. Therefore, in consideration of these facts, the proposed development will not adversely affect the applicable land use plan.

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**b. The proposed development will not be detrimental to the public health, safety, and welfare.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space. All infrastructure improvements will be constructed and operationally complete prior to occupancy of any structures to assure water, wastewater, electrical, gas, and telephone services will be provided to the development.

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

Prior to construction all permits will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, mechanical, fire and plumbing codes to assure the structures will meet or exceed the current regulations. The project will meet all relevant codes and regulations for new construction as required by the building, mechanical, electrical, fire and plumbing codes, in effect at the time of application. As such the proposed development will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the applicable regulations of the Land Development Code.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)]. All other development regulations will be met by the proposed project.

## 2. Supplemental Findings – Deviation for Affordable Housing

a. **The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.

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The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

By approving the project with the two deviations and two development incentives the City Council will encourage creative design solutions compatible with the existing development patterns in the neighborhood and consistent with the purpose and intent of the Land Development Code regulations, will encourage the inclusion of affordable housing units into development projects and will provide additional affordable housing units in the neighborhood at a time when the City Council has resolved to increase affordable housing during a declared housing emergency in the City of San Diego. The deviations are very minor and will not adversely affect the neighborhood, community or city as a whole, nor negatively impact the community by setting a precedent. The deviations are deemed by the City Council to be appropriate in consideration of the facts, the existing conditions at the site and in the neighborhood, and in consideration of the positive benefits brought to the community as a result of proposed project and will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City.

b. **The development will not be inconsistent with the purpose of the underlying Zone.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable

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housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

The proposed project, with the deviations, is consistent with the purpose and intent of the CC-3-5 Zone which is to provide for the opportunity for mixed use projects within a regulatory framework of development restrictions necessary for the thoughtful, safe and sane development of properties for the economic, social and physical benefit of the community.

**c. The deviation is necessary to make it economically feasible for the applicant to utilize a density bonus authorized for the development pursuant to Section 143.0730.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

The proposed project, with the deviations, is consistent with the purpose and intent of the CC-3-5 Zone which is to provide for the opportunity for mixed use projects within a regulatory framework of development restrictions necessary for the thoughtful, safe and sane development of properties for the economic, social and physical benefit of the community. Without the density bonus authorized for the development the project would be limited to eighteen dwelling units and six additional housing units would not be realized on the site at a time when the City Council has resolved to increase affordable housing during a declared housing emergency in the City of San Diego. The deviations are very minor and will not adversely affect the neighborhood, community or city, nor negatively impact the community by setting a precedent. The deviations, 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L], are deemed by the City Council to be appropriate in consideration of the facts, the existing conditions at the site and in the neighborhood, and in consideration of the positive benefits brought to the community as a result of proposed project which includes twenty-four apartment units two of which will be affordable to persons at the very low income range of fifty percent of area median income as

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affordable housing units. Without the deviations, 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L], the site is so constrained that the proposed project would be required to provide fewer dwelling units and the affordable housing units and density bonus units would not be provided. The site is of an irregular triangular geometry with two long sides of the triangle not allowing access to the site. All access rights from Nimitz Boulevard have been relinquished and access from Voltaire Street would interrupt the building design with a driveway or driveways and present a less desirable elevation to the street. The architectural design and the twenty-four dwelling units contained therein, with the deviations, is more efficient than without the deviations and is the preferred solution given the limitations of the site. Without the deviation being granted the subterranean parking garage would be redesigned to meet the development regulation which would result in a loss of parking spaces and in fewer dwelling units. In a real way the project will be economically feasible for the applicant without a density bonus authorized for the development only with the approval of the deviations.

### **3. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings**

**a. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants. The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.**

The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

The proposed project, with the deviations, is consistent with the purpose and intent of the CC-3-5 Zone which is to provide for the opportunity for mixed use projects within a regulatory framework of development restrictions necessary for the thoughtful, safe and sane development of properties for the economic, social and physical benefit of the community. Without the density bonus authorized for the development the project would be limited to

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eighteen dwelling units and six additional housing units would not be realized on the site at a time when the City Council has resolved to increase affordable housing during a declared housing emergency in the City of San Diego. The deviations are very minor, 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L], and will not adversely affect the neighborhood, community or city, nor negatively impact the community by setting a precedent. The deviations are deemed by the City Council to be appropriate in consideration of the facts, the existing conditions at the site and in the neighborhood, and in consideration of the positive benefits brought to the community as a result of proposed project which includes twenty-four apartment units two of which will be affordable to persons at the very low income range of fifty percent of area median income as affordable housing units. Without the deviations the site is so constrained that the proposed project would be required to provide fewer dwelling units.

Granting the development permit and adopting the zoning ordinance will allow the developer to build six additional rental dwelling units on the site as allowed by the state density bonus regulations. In return for these additional six units, two dwelling units will be rented to persons whose income is at the very low income range of fifty percent of area median income as affordable housing units through an Affordable Housing Agreement with the San Diego Housing Commission to provide the affordable units in compliance with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) and the Density Bonus Program (California Government Code Sections 65915-65918 and Chapter 14, Article 3, Division 7 of the Land Development Code). Without the requested deviations these two units would not be provided and be available to persons whose income is at the very low income range of fifty percent of area median income.

As mixed-use project, a project which provides residential, commercial retail and office space opportunities on the same site in the same building, the potential of the project to reduce the consumption of fossil fuel energy may occur. The design of the project may potentially include sustainable features such as drought tolerant plantings, low flow plumbing fixtures, recycled content building materials, utilization of local material suppliers, low E glass, reduction of car trips, and if possible photovoltaic panels for the generation of electricity on site.

**b. The development will not be inconsistent with the purpose of the underlying zone.** The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.

The proposed project, with the deviations, is consistent with the purpose and intent of the CC-3-5 Zone which is to provide for the opportunity for mixed use projects within a regulatory framework of development restrictions necessary for the thoughtful, safe and sane development of properties for the economic, social and physical benefit of the community. For additional information, see 2. Supplemental Findings-Deviation for Affordable Housing, Finding No. b, above.

**c. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. The project will demolish an existing two-story commercial building and construct a three-story mixed-use development consisting of twenty-four apartment units (twenty-two market rate apartment units and two affordable apartment units) and approximately 12,004 square feet of commercial space.**

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The project proposes two deviations and two density bonus development incentives. The deviations include: 1) Reducing the minimum required width of parking stalls adjacent to columns from 9 feet to 8 feet 11 inches [LDC Section 142.0560(b) and Table 142-05J]; and 2) Reduce the minimum width of drive aisles in the lower level of the parking garage from 24 feet to 23 feet [LDC Section 142.0560(j)(1) and Table 142-05L]. Two density bonus incentives are allowed by state law to gain the two proposed very low income affordable housing units. The density bonus incentives are: 1) Reducing the minimum required distance between driveways along Las Lomas Street from 45 feet to 22 feet [LDC Section 142.0560(j)(6)]; and 2) Reducing the amount of private exterior space required from the required 75 percent of dwelling units or 18 decks to 59 percent or 14 decks and from a nine foot setback to three feet to align with the commercial space below [LDC Section 131.0455(c)].

The proposed project, with the deviations, is consistent with the purpose and intent of the CC-3-5 Zone which is to provide for the opportunity for mixed use projects within a regulatory framework of development restrictions necessary for the thoughtful, safe and sane development of properties for the economic, social and physical benefit of the community. Without the density bonus authorized for the development the project would be limited to eighteen dwelling units and six additional housing units would not be realized on the site at a time when the City Council has resolved to increase affordable housing during a declared housing emergency in the City of San Diego. The deviations are very minor and will not adversely affect the neighborhood, community or city, nor negatively impact the community by setting a precedent. The deviations are deemed by the City Council to be appropriate in consideration of the facts, the existing conditions at the site and in the neighborhood, and in consideration of the positive benefits brought to the community as a result of proposed project which includes twenty-four apartment units two of which will be affordable to persons at the very low income range of fifty percent of area median income as affordable housing units. Without the deviations the site is so constrained that the proposed project would be required to provide fewer dwelling units. The proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

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BE IT FURTHER RESOLVED, that the Site Development Permit No. 589770 is granted to Habib A. Jaboro and Wafa J. Jaboro, Co-Trustees, Habib A. and Wafa Jaboro Family Trust, dated February 24, 2005, Wisam Naeim Aziz, an unmarried man, and Thaeir Aziz, as his sole and separate property, Owners and Voltaire & Nimitz, LLC, Permittee, under the terms and conditions set forth in the attached permit which is made part of this resolution.

APPROVED: JAN I. GOLDSMITH, City Attorney

By Shannon Thomas  
Shannon Thomas  
Deputy City Attorney

ST:als  
09/23/10  
Or.Dept:DSD  
R-2011-217  
PL#2010-02427

-PAGE 9 OF 9- ORIGINAL  
R-306256

Passed by the Council of The City of San Diego on October 19, 2010 by the following vote:

YEAS:                   **LIGHTNER, FAULCONER, GLORIA, YOUNG, DEMAIO, FRYE, HUESO.**

NAYS:                   **NONE.**

NOT PRESENT:       **EMERALD.**

VACANT:               **NONE.**

RECUSED:             **NONE.**

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**AUTHENTICATED BY:**

**JERRY SANDERS**

Mayor of The City of San Diego, California

**ELIZABETH S. MALAND**

City Clerk of The City of San Diego, California

(Seal)

By: Mary Zumaya, Deputy

I HEREBY CERTIFY that the above and foregoing is a full, true and correct copy of RESOLUTION NO. R-306256 approved by the Council of the City of San Diego, California, and authenticated by the Mayor on October 29, 2010.

**ELIZABETH S. MALAND**

City Clerk of The City of San Diego, California

(SEAL)

By: Mary Zumaya, Deputy

**ORIGINAL**

City of San Diego

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## MEMORANDUM

533-4021

**DATE:** October 26, 2010

**TO:** Donna Trask, Development Services Department, M.S. 302

**FROM:** City Clerk/Mary Zumaya

**SUBJECT:** Obtaining Signatures of Permittee

**SITE DEVELOPMENT PERMIT NO. 589770 – POINT PLAZA PROJECT NO. 164585** as approved by the City Council on October 19, 2010 Resolution No. R- 306256. The City Attorney has prepared the necessary papers.

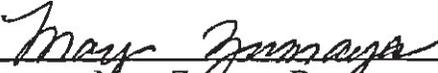
We are forwarding the original of the permit to your office. Certified copies of the resolution are attached to the original. Please obtain the signature(s) of the permittee(s). These signatures must be properly notarized.

**To ensure that the Original Permit becomes part of the City Clerk's Official Records, when preparing the original permit for recordation with the County Recorder, please ensure that there is a notation on the upper left-hand corner stating that "after recording, please return the permit to the Office of the City Clerk, MS 2A."**

***Please deliver a conformed copy of the permit, with the recording stamp, to the Office of the City Clerk, Hearings Section Supervisor, as soon as possible.***

A Photocopy of the recorded permit will be sent to your department for your distribution.

ELIZABETH S. MALAND  
City Clerk

By   
Mary Zumaya, Deputy

Enclosure (1)  
Rev. 01/08  
[LXH]FORMS  
permit transmittal

**ORIGINAL**

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

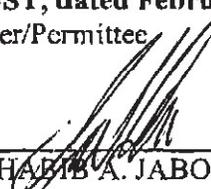
5582

  
\_\_\_\_\_  
Mike Westlake  
Program Manager

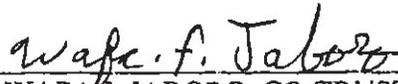
**NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**HABIB AND Wafa JABORO FAMILY TRUST, dated February 24, 2005**  
Owner/Permittee

By   
\_\_\_\_\_  
HABIB A. JABORO, CO-TRUSTEE

**HABIB AND Wafa JABORO FAMILY TRUST, dated February 24, 2005**  
Owner/Permittee

By   
\_\_\_\_\_  
Wafa J. JABORO, CO-TRUSTEE

**NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.**

**ORIGINAL**

R-306256

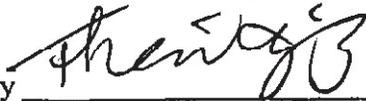
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The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

WISAM NAEIM AZIZ, an unmarried man  
Owner

By   
WISAM NAEIM AZIZ

THAEIR AZIZ, as his sole and separate  
Property Owner

By   
THAEIR AZIZ

VOLTAIRE & NIMITZ, LLC  
Permittee

By   
BRIAN RUCKER, Managing Member

NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

State of California

County of San Diego

On Oct. 16, 2013 before me, Stacie L. Maxwell, Notary Public

personally appeared Mike Westlake

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/hers/their authorized capacity(ies), and that by his/hers/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Point Plaza - PTS 164585

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

Capacity(ies) Claimed by Signer(s)

Signer's Name: \_\_\_\_\_ Signer's Name: \_\_\_\_\_

Corporate Officer - Title(s): \_\_\_\_\_  Corporate Officer - Title(s): \_\_\_\_\_

Individual  Partner -  Limited  General  Individual  Partner -  Limited  General

Attorney in Fact  Attorney in Fact

Trustee  Trustee

Guardian or Conservator  Guardian or Conservator

Other: \_\_\_\_\_  Other: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signer Is Representing: \_\_\_\_\_ Signer Is Representing: \_\_\_\_\_

\_\_\_\_\_

ORIGINAL



# All-purpose Acknowledgment California only

State of California

County of San Diego

On 10/14/13 before me, Laura E Figueroa Notary Public (here insert name and title of the officer),

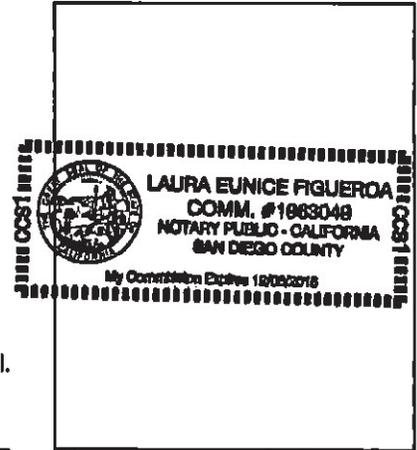
personally appeared Habib A. Jaboro

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



Notary Seal



F001-000DSG5350CA-01

**ORIGINAL**

Scanner Enabled Stores should scan this form  
Memorial Submission Route to Deposit Operations  
0563350 CA (12-07 113424)

5586



# All-purpose Acknowledgment California only

State of California

County of San Diego

On 10/14/13 before me, Laura E. Figueroa Notary Public (here insert name and title of the officer),

personally appeared Wafa F. Jaboro.

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

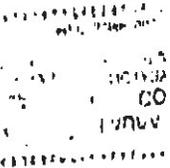
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



Notary Seal



Scanner Enabled Stores should scan this form  
Manual Submission Route to Deposit Operations

DSG5350 CA (12-07 113424)



F001-000DSG5350CA-01

# ORIGINAL

5587



# All-purpose Acknowledgment California only

State of California

County of San Diego

On 11/14/13 before me, Laura E. Figueroa Notary Public (here insert name and title of the officer),

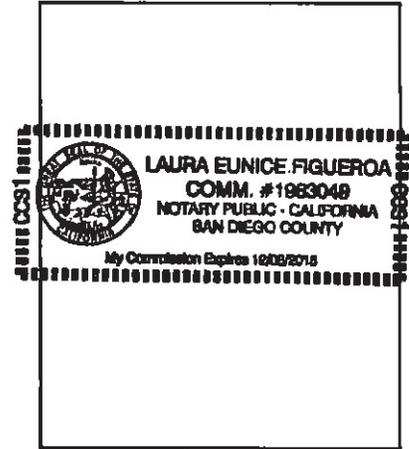
personally appeared Wisam N. Aziz

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



Notary Seal

Scanner Enabled Stores should scan this form  
Manual Submission Route to Deposit Operations

DSG5350 CA (12-07 113424)



FO01-000DSG5350CA-01

# ORIGINAL

5588



# All-purpose Acknowledgment California only

State of California

County of San Diego

On 10/14/13 before me, Laura E. Figueroa Notary Public (here insert name and title of the officer),

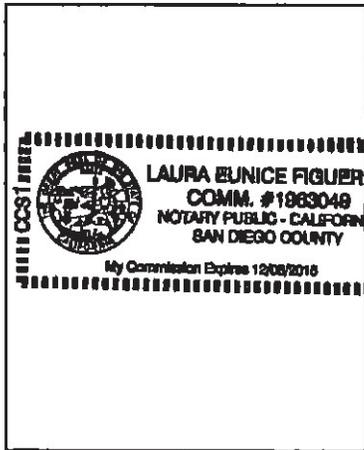
personally appeared Thaeir Aziz

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



Notary Seal



F001-000DSG5350CA-01

Scanner Enabled Stores should scan this form Manual Submission Route to Deposit Operations

DSG5350 CA (12-07 113424)

# ORIGINAL

**ACKNOWLEDGMENT**

State of California  
County of San Diego

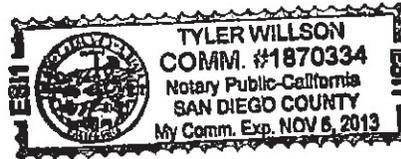
On 10/15/13 before me, Tyler Willson, Notary Public  
(insert name and title of the officer)

personally appeared Brian Rucker,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/~~she~~/they executed the same in  
his/~~her~~/their authorized capacity(ies), and that by his/~~her~~/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing  
paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



(Seal)

**ORIGINAL**



THE CITY OF SAN DIEGO

DATE OF NOTICE: October 13, 2021

# NOTICE OF DECISION

## DEVELOPMENT SERVICES DEPARTMENT

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<b>PROJECT NO:</b>	<b>682499</b>
<b>PROJECT NAME:</b>	<b><u>NIMITZ CROSSING</u></b>
<b>PROJECT TYPE:</b>	<b>NEIGHBORHOOD USE PERMIT, 15162 CONSISTENCY DETERMINATION, PROCESS TWO</b>
<b>APPLICANT:</b>	<b>VOLTAIRE 24, LP</b>
<b>COMMUNITY PLAN AREA:</b>	<b>PENINSULA</b>
<b>COUNCIL DISTRICT:</b>	<b>2</b>
<b>CITY PROJECT MANAGER:</b>	<b>Martha Blake, Development Project Manager</b>
<b>PHONE NUMBER/E-MAIL:</b>	<b>(619) 446-5375/ mblake@sandiego.gov</b>

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On October 13, 2021, Development Services Department approved an application for a Neighborhood Use Permit (Process Two) for a project proposing Interim Ground Floor Residential Use for up to twelve studio apartments on the first floor that was permitted as retail/commercial space at 3903 Voltaire Street. The 0.54-acre site is in the CC-3-5 Zone, ALUCP Noise Contours (SDIA), AAOZ, AIA (Rev Area 1 - SDIA), FAA (SDIA/NAS), CHLOZ, CPIOZ-B within the Peninsula Community Plan area.

If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by Development Services Department staff can be appealed to the **Planning Commission** no later than ten (10) business days after the decision date. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the Planning Commission must be filed by email or US mail as follows:

- 1) Appeals filed via E-mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by email to [PlanningCommission@sandiego.gov](mailto:PlanningCommission@sandiego.gov). Your email appeal will be acknowledged within 24 hours. You must separately mail the appeal fee by check payable to the City Treasurer to: Planning Commission/Appeal, MS 501, 1222 First Avenue, 5<sup>th</sup> Floor, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked within 5 business days of the date the appeal is filed.
- 2) Appeals filed via US Mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by US Mail to Planning Commission/Appeal, MS 501, 1222 First Avenue, 5<sup>th</sup> Floor, San Diego, CA 92101. Appeals filed by US Mail must be USPS postmarked by the appeal deadline to be considered valid. The completed appeal form

shall include the required appeal fee, with a check payable to: City Treasurer.

The Development Services Department has determined that the project would not introduce additional impacts or increase the severity of impacts beyond those already analyzed in the previous Mitigated Negative Declaration No. 164585 for the Point Plaza Project, which was Adopted on October 19, 2010 by Resolution No. R-306256.

This information will be made available in alternative formats upon request.

Internal Order No.: 11004543

cc: Fred Kosmo, Interim Chair Peninsula Community Planning Board

td 04.2020



**Development Services Department**

Martha Blake / Project No. 682499  
1222 First Ave., MS 501  
San Diego, California 92101-4140

RETURN SERVICE REQUESTED

	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101	<b>Development Permit/ Environmental Determination Appeal Application</b>	<b>FORM DS-3031</b>  November 2017
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**In order to assure your appeal application is successfully accepted and processed, you must read and understand Information Bulletin 505, "Development Permits/Environmental Determination Appeal Procedure."**

**1. Type of Appeal:**  Appeal of the Project  
 Appeal of the Environmental Determination

**2. Appellant:** Please check one  Applicant  Officially recognized Planning Committee  "Interested Person"  
(Per M.C. Sec. 113.0103)

Name: STEVEN BARBARO E-mail: SMBAR136@GMAIL.COM  
 Address: 3827 UDALL ST. SAN DIEGO, CA 92107 Telephone: 619 808-2752

**3. Project Name:** NIMITZ CROSSING

**4. Project Information**  
 Permit/Environmental Determination & Permit/Document No.: PROJECT NO: 682499 Date of Decision/Determination: 10/13/21 City Project Manager: MARTHA BLAKE

Decision(Describe the permit/approval decision):  
THE DEVELOPMENT SERVICES DEPARTMENT APPROVED AN APPLICATION FOR A NEIGHBORHOOD USE PERMIT (PROCESS TWO) FOR A PROJECT PROPOSING INTIRIM GROUND FLOOR RESIDENTIAL USE FOR UP TO 12 STUDIO APARTMENTS THAT WAS PERMITTED AS RETAIL SPACE AT 3827 UDALL ST.

**5. Ground for Appeal(Please check all that apply):**  
 Factual Error  New Information  
 Conflict with other matters  City-wide Significance (Process Four decisions only)  
 Findings Not Supported

**Description of Grounds for Appeal** (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

SEE ATTACHED.

THIS APPEAL IS MADE BY MYSELF AND FOR ADDITIONAL INTERESTED PERSONS AS PER MARTHA BLAKE (CITY PROJECT MANAGER)

**6. Appellant's Signature:** I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: [Handwritten Signature] Date: 10/26/21  
CK 150 WF  
\$100

**Note: Faxed appeals are not accepted.**

**5. Description of Grounds for Appeal**

The approval of 12 more units to be added without additional parking will have an immediate impact on the ability for homeowners on Udall St to find reasonable parking near our homes, many of which were built without driveways or garages.

The current residents of Nimitz Crossing are already impacting the availability of street parking. It is most noticeable after 8:00pm when no parking on the 3800 block is available forcing us to park two blocks away or more and some of which is 2 hour parking starting at 8:00am. This starts becoming a quality of life issue.

12 more units means likely 12-24 more cars will be added to an already challenging parking situation. Many residents of the neighboring apartment complex use Udall St. as well as the guests of the California Dreams youth hostel on the corner of Udall St and Worden St. Adding more cars will be asking us to look outside of our neighborhood for parking. The impact on our quality of life will be immediate and long term.

The developer designed Nimitz Crossing for a specific use with a long-term assessment of the neighborhood. I believe he should stick to his long-term plan. I do not think it is reasonable to tell homeowners on Udall St to sacrifice our right to reasonable street parking because the developer decided the short-term climate does not benefit his design. I believe we have a right to a certain quality of life and approving these additional units will immediately and negatively impact the quality of life on Udall St. and it should not be approved.

PLANNING COMMISSION RESOLUTION NO. XXXXX  
NEIGHBORHOOD USE PERMIT NO. 2508504  
**NIMITZ CROSSING – PROJECT NO. 682499**

WHEREAS, on January 12, 2021, VOLTAIRE 24, LP, Owner/Permittee, filed an application with the City of San Diego for a Neighborhood Use Permit pursuant to San Diego Municipal Code (SDMC) Section 141.0309 to amend Site Development Permit (SDP) No. 589770 (Project No. 164585) to allow Interim Residential Ground Floor Use of the vacant commercial space, as described in and by reference to the approved Exhibit “A” and corresponding conditions for the associated Permit No. 2508504 on portions of a 0.54-acre site; and

WHEREAS, the project site is located at 3903 Voltaire Street. The 0.54-acre site is in the CC-3-5 Zone, ALUCP Noise Contours (SDIA), AAOZ, AIA (Rev Area 1 - SDIA), FAA (SDIA/NAS), CHLOZ, CPIOZ-B within the Peninsula Community Plan area; and

WHEREAS, the project site is legally described as Lot 1 of Nimitz Center, Map No. 4584 filed in the Office of the County Recorder July 11, 1960; and

WHEREAS, on October 19, 2010, City Council adopted Mitigated Negative Declaration No. 164585 for the Point Plaza Project, which included rezoning of the property and SDP No. 589770 to construct a mixed use commercial and multifamily residential development. Pursuant to CEQA Guidelines Section 15162, there are no conditions that require preparation of any additional documentation pursuant to CEQA (subsequent/supplemental EIR; subsequent ND/MND; or addendum) for Neighborhood Use Permit No. 2508504; and

WHEREAS, on October 23, 2021, the Development Services Department issued the City’s Notice of Decision approving Neighborhood Use Permit No. 2508504, which includes a condition that the interim ground floor residential use will expire no later than ten years from approval; and

WHEREAS, on October 26, 2021, Steven Barbaro filed an Appeal of the Notice of Decision, citing Conflict with Other Matters; and

WHEREAS, on December 2, 2021, the City of San Diego Planning Commission considered the Appeal and Neighborhood Use Permit No. 2508504 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego that it adopts the following findings with respect to Neighborhood Use Permit No. 2508504:

FINDINGS:

**Neighborhood Use Permit – SDMC Section 126.0205(a)**

**(1) The proposed development will not adversely affect the applicable land use plan.**

The proposed project is the conversion of vacant ground floor commercial space in a mixed-use project in the CC-3-5 Zone for interim ground floor residential use for up to ten years. This conversion is permitted with a Neighborhood Use Permit pursuant to SDMC Section 131.0522, Table 131-05B. The interim ground floor use is a separately regulated residential use accessory to the mixed-use development, and therefore is not a dwelling unit subject to the maximum permitted density. The initial project was approved by the City of San Diego in 2010 with the issuance of Site Development Permit No. 589770, as a mixed-use development with 12,000 gross square feet of ground floor commercial space (approximately 8,500 net square feet) with 24 residential units on the second and third floors, including two affordable bonus units.

The goals of the Peninsula Community Plan include providing housing opportunities for residents of all levels and age groups. By providing new studio apartments, the project will provide housing opportunities to more economically diverse tenants than are accommodated in the two-bedroom units on the second and third floors. The proposed project is the use of the vacant commercial space for resident use on an interim basis and it does not propose a change the community plan land use; therefore, the project will not adversely affect the applicable land use plan.

**(2) The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed project is the conversion of ground floor commercial space in mixed-use project in the CC-3-5 Zone for interim ground floor residential use for up to ten years. This conversion is permitted with a Neighborhood Use Permit pursuant to SDMC Section 131.0522, Table 131-05B. The interim ground floor use is a separately regulated residential use accessory to the mixed-use development, and therefore is not a dwelling unit subject to the maximum permitted density. The initial project was approved by the City of San Diego in 2010 with the issuance of Site Development Permit No. 589770, as a mixed-use development with 12,000 gross square feet of ground floor commercial space (approximately 8,500 net square feet) with 24 residential units on the second and third floors, including two affordable bonus units.

SDMC Section 141.0309 does not require that the interim ground floor use provide additional parking; however, the project provides 12 parking spaces that will be used by the tenants of the 12 apartments.

A new construction permit for the building is required to convert the commercial shell use to the residential use and will comply with all applicable building and safety codes, including the California Building Code and California Fire Code. Therefore, as conditioned, including the conditions of Site Development Permit No. 589777 issued in 2010 and the construction building permit issued in 2019, the project will not be detrimental to the public health, safety, and welfare.

**(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The proposed project is the conversion of ground floor commercial space in mixed-use project in the CC-3-5 Zone for interim ground floor residential use for up to ten years. This conversion is permitted with a Neighborhood Use Permit pursuant to SDMC Section 131.0522, Table 131-05B. The interim ground floor use is a separately regulated residential use accessory to the mixed-use development, and therefore is not a dwelling unit subject to the maximum permitted density. The initial project was approved by the City of San Diego in 2010 with the issuance of Site Development Permit No. 589770, as a mixed-use development with 12,000 gross square feet of ground floor commercial space (approximately 8,500 net square feet) with 24 residential units on the second and third floors, including two affordable bonus units.

The initial project as constructed complies with the approved SDP No. 598770, and utilizing the ground floor retail space as residential will not require any deviations nor any change in the existing development footprint, setbacks, height, bulk, or scale with no deviations. Therefore, the project complies with the Land Development Code regulations.

**Supplemental Findings – Interim Ground floor Residential - SDMC Section 126.0205 (c)**

**(1) The proposed development is physically suitable for residential use and located within an existing vacant commercial space that has been vacant for a minimum of six consecutive months.**

The proposed project is the conversion of ground floor commercial space in mixed-use project in the CC-3-5 Zone for interim ground floor residential use for up to ten years as permitted with a Neighborhood Use Permit pursuant to SDMC Section 131.0522, Table 131-05B. The interim ground floor use is a separately regulated residential use accessory to the mixed-use development, and therefore is not a dwelling unit subject to the maximum permitted density. The project was approved by the City of San Diego in 2010 with the issuance of Site Development Permit No. 589770, as a mixed-use development with 12,000 gross square feet of ground floor commercial space (approximately 8,500 net square feet) with 24 residential units on the second and third floors, including two affordable bonus units.

The commercial space will be modified in accordance with approved construction building permits and shall be in compliance with the California Building Code and California Fire Code for the residential use at the time of the conversion. The mechanical, plumbing and electrical systems

constructed for the anticipated commercial use will be adapted for residential use. The commercial space has been vacant for more than six consecutive months and is physically suitable for residential use.

**(2) The ground floor height complies with SDMC Section 131.0548.**

The project is in the Coastal Height Limit Overlay Zone, and the ground-floor height requirement does not apply to development in the Coastal Height Limit Overlay Zone pursuant to SDMC Section 131.0548 which states: "The ground-floor height requirement shall not apply to development in the Coastal Height Limit Overlay Zone or the Clairemont Mesa Height Limit Overlay Zone."

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Neighborhood Use Permit No. 2508504 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in NEIGHBORHOOD USE PERMIT NO. 2508504, a copy of which is attached hereto and made a part hereof, and with associated Exhibit "A".

---

Martha Blake  
Development Project Manager  
Development Services

Adopted on December 2, 2021

Job Order No. 11004543

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

INTERNAL ORDER NUMBER: 11004543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD USE PERMIT NO. 2508504  
**NIMITZ CROSSING PROJECT NO. 682499**  
AMENDMENT TO SITE DEVELOPMENT PERMIT NO. 589770  
PLANNING COMMISSION

This Neighborhood Use Permit [Permit] No. 2508504 is granted by the Planning Commission of the City of San Diego to Voltaire 24, LP, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0205. The 0.54-acre site is located at 3903 Voltaire Street in the CC-3-5 zone of the Peninsula Community Plan. The project site is legally described as Lot 1 of Nimitz Center, in the City of San Diego, State of California, according to Map thereof No. 4584 filed in the Office of the County Recorder of San Diego County, July 11, 1960.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow Interim Ground Floor Residential Use on the first floor of an existing mixed-use project that was constructed as commercial space subject to the City's land use regulations] described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 2, 2021, on file in the Development Services Department.

The project shall include:

- a. Interim ground floor residential use of vacant commercial space for up to twelve residential units in the three-story over basement parking Nimitz Center mixed-use development, previously approved by the City Council of the City of San Diego on October 19, 2010 as Site Development Permit No. 589770 (Project No. 164585, Point Plaza), which has already been constructed.
- b. Private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this Permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by December 2, 2024.
2. This Neighborhood Use Permit and corresponding ground floor residential use of the of this site shall expire on December 2, 2031. Upon expiration of this Permit, the facilities and improvements described herein for residential use shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. Except as amended by this Permit, all conditions of Site Development Permit No. 589770 (Project No. 164585, Point Plaza) remain in full force and effect.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
9. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

13. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**AIRPORT REQUIREMENTS:**

14. Prior to issuance of a construction permit, all habitable rooms must be sound-attenuated to an maximum interior noise level of 45 dB CNEL, to the satisfaction of the Development Services Department.

15. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an aviation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the aviation easement.

**PLANNING/DESIGN REQUIREMENTS:**

16. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 2, 2021 and Resolution No. XXXXX.

Neighborhood Development Permit No. 2508504  
Date of Approval: December 2, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Martha Blake  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**VOLTAIRE 24, LP**  
Owner/Permittee

By \_\_\_\_\_  
Richard Simis  
General Partner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



**PCPB- July 22, 2021 Draft Minutes  
(Pending Approval at September meeting.)**

PCPB meeting  
July 22nd, 2021 meeting

Zoom conference

**General**

Meeting called to order at 6:03 pm by Fred Kosmo.

Present: Fred Kosmo, Margaret Virissimo, Brad Herrin, Korla Eaquinta, Mandy Havlik, Don Sevrens, Tina Compton, Angela Vedder, Don Sevrens, Paul Webb, Matt Schalles, Sam Laub, Tracy Dezenzo, Cameron Havlik, Elizabeth Getzoff, Andrew Luce, Kathi Riser, Rudy Medina, Richard Simis, Cole Reed, Kohta Zaiser, Monique Tello

Absent: Eva Schmitt, Robert Tripp Jackson, Nicole Burgess, Joe Holasek

Approval of the agenda. Margaret makes a motion to approve the agenda. Tina seconds the motion. The motion passes unanimously.

Approval of May meeting minutes. Margaret makes a motion to approve the meeting minutes. Sam seconds the motion. Motion passes unanimously.

Approval of June meeting minutes. Tina makes a motion to approve the meeting minutes. Sam seconds the motion. Margaret abstains from the vote. Motion passes with one abstention.

**Board Officer Reports**

Fred states that redistricting continues to move forward and reports that the planning board is doing well.

Korla reports that \$435 has been donated to the PCPB on behalf of Robert for his birthday celebration. The new balance is \$693.93.

**Non-Agenda Public Comment**

Tracy reports on behalf of the commission for Arts and Culture, who announced 174 funding awards for the fiscal year 2022.

**Government and Community Reports**

Kohta Zaiser with Mayor Gloria's office reports that there are new policy points to help meet the growth in need of affordable housing in San Diego.

Cole Reed shares the allocation of budget to several different San Diego projects.

### **APPLICANT-INITIATED ACTION ITEMS**

**1. Nimitz Crossing NUP. Neighborhood Use Permit (NUP) to convert 12,000 square feet of commercial space for interim ground floor residential use with 12 dwelling units, at a development that was permitted as retail/commercial space, at 3903 Voltaire St. The 0.55-acre site is in the CC3-5 Zone. Applicant: Kathi Riser.**

Brad shares that there was a change in policy with the city that allowed the applicants to complete this project. The project has since been completed, and the units remain vacant.

Kathi shares that the new plan is to convert the current commercial units and generate up to 12 studio apartments on the ground floor. The studios would feature street-front patios. This repurposing of the space would better serve all the current residents.

Mandy suggests that more units within the building be designated as affordable housing to accommodate the current deficit. Two of the 24 units are currently designated as affordable, and none of the proposed studios will be designated as affordable units.

Paul Webb suggests the project go through the community plan and rezoning process.

Margaret makes a motion to support the request for the neighborhood use permit. Don seconds the motion.

Margaret asks for the consideration of adding one additional unit of affordable housing.

Motion to approve the permit passes. Those who voted in favor were Mandy, Don, Brad, Matt, Angela, Tina, Margaret, and Sam. Opposed is Paul. Korla abstains. **Motion passes 8 to 1 to 1.**

### **INFORMATION ITEMS**

#### **1. Discuss upcoming CPC items and guide our CPC representative. (Korla Eaquinta)**

Korla shares that she voted yes on a motion by the PARC committee to support the efforts of working with the city to create more parkland.

#### **2. Update on Famosa Canyon (Cameron Havlik)**

Cameron shares that the City Council has allowed the San Diego Housing Commission to enter into exclusive negotiations regarding Famosa Canyon.

### **BOARD-INITIATED ACTION ITEMS**

**1. In-Person Meeting Schedule. Discussion and potential action on procedures and scheduling in-person meetings for the PCPB. (Fred Kosmo)**

Mandy shares that she agrees with Eva's professional opinion to continue meetings via zoom. Paul concurs. Korla notes the environmental impact of commuting to the meetings and agrees that they should remain online.

The Brown Act expansion continues until September 30th.

Cameron encourages the board to table this conversation until September 30th.

Fred tables the discussion until September.

Margaret V. left the meeting at 8 pm.

**2. Review and approve of comment letters on the San Diego International Airport (SDIA) draft Environmental Assessment for the SDIA Airport Improvement Plan. (Paul Webb)**

Within his letter, Paul notes that there may not be the need for eleven total additional gates. Paul notes air quality as well, saying that the airport needs to improve its ground service infrastructure to alleviate the total carbon emission. Lastly, Paul notes that the project analysis is based on a forecast, however this does not mean that the project should ignore the sound effects on the residential community.

Don opposes the letter, stating that utilizing phases may have negative effects.

Korla makes a motion to approve Paul's letter. Sam seconds the motion. Those in favor include Korla, Sam, Mandy, Angela, Paul, Matt. Don and Brad oppose. Motion passes 6 to 2.

**3. Traffic and Transportation Committee: Approval of Dalana Pursel to the Traffic and Transportation subcommittee. Approved unanimously by the subcommittee. (Mandy Havlik)**

The vote was unanimous within the Traffic and Transportation Subcommittee.

Mandy makes a motion to approve Dalana Pursel to the subcommittee. Don seconds the motion. Motion passed unanimously.

**4. Traffic and Transportation Committee: Letter requesting Safe pedestrian facilities on Rosecrans and Scott Streets. (Mandy Havlik)**

Brad suggests an alteration to the letter to feature a HAWK style crosswalk recommendation.

Fred suggests tabling the letter until the Traffic and Transportation Committee considers the changes to include the HAWK option.

Matt suggests including a simple revision to the letter to mention the HAWK option and allow the city to determine which solution is most viable.

Don suggests revisiting this letter in a future meeting.

Fred tables the motion for a revision to the letter for a future meeting.

**5. Environmental Committee: Approval of Leah Schaperow to the Environmental subcommittee. Approved unanimously by the subcommittee. (Eva Schmitt)**

The vote at the Environmental subcommittee was unanimous.

Mandy makes a motion to approve Leah Schaperow to the Environmental subcommittee. Don seconds the motion. Motion passed unanimously.

**6. Environmental Committee: Approve draft process for establishing a high school student liaison for the board. (Eva Schmitt)**

Korla suggests there be a GPA requirement for the applicants.

Mandy makes a motion to approve the student liaison requirements along with the friendly amendments. Angela seconds the motion. Motion passed unanimously.

**Meeting adjourned at 8:46 pm.**

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>
			<b>October 2017</b>

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** Nimitz Crossing **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 3903 Voltaire Street, San Diego, CA 92107

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General – What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

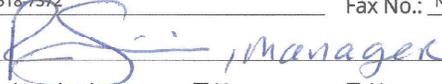
**Property Owner**

Name of Individual: Richard Simis, General Partner of Voltaire 24, LP  Owner  Tenant/Lessee  Successor Agency

Street Address: 2820 Shelter Island Drive

City: San Diego State: CA Zip: 92106

Phone No.: 858-518-7372 Fax No.: N/A Email: Richard@pbsconstructionservices.com

Signature:  manager Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

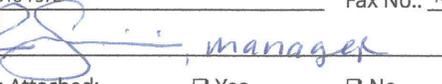
**Applicant**

Name of Individual: Richard Simis for PBS Real Estate Investments, LLC  Owner  Tenant/Lessee  Successor Agency

Street Address: 2820 Shelter Island Drive

City: San Diego State: CA Zip: 92106

Phone No.: 858-518-7372 Fax No.: N/A Email: Richard@pbsconstructionservices.com

Signature:  manager Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: Richard Simis for PBS Construction Services,  Owner  Tenant/Lessee  Successor Agency

Street Address: 2820 Shelter Island Drive

City: San Diego State: CA Zip: 92106

Phone No.: 858-518-7372 Fax No.: N/A Email: Richard@pbsconstructionservices.com

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.

Nimitz Crossing

Ownership Disclosure Statement DS 318 Attachment

Owner:

Voltaire 24, LP

By: PBS Real Estate Investments, LLC

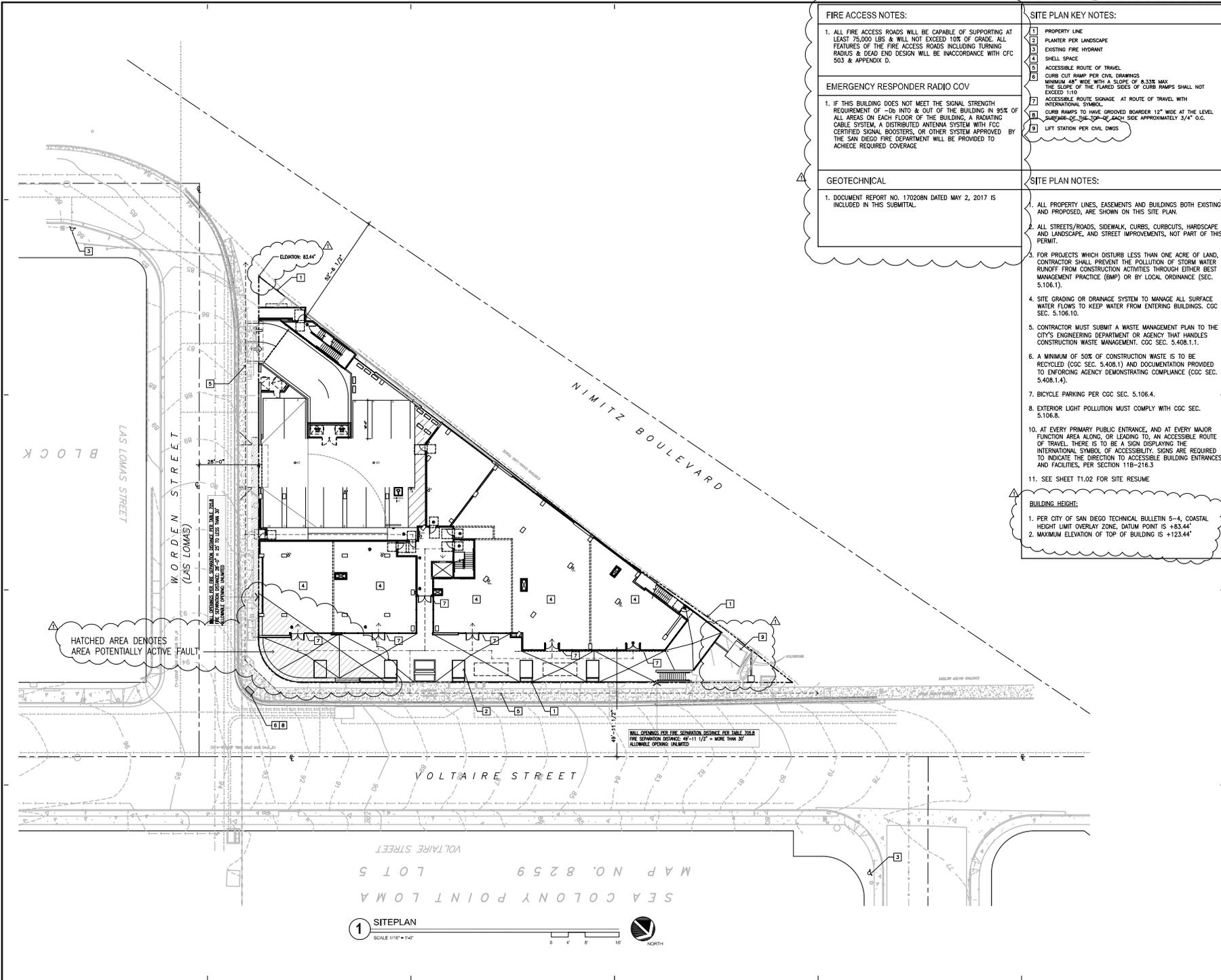
Its General Partner

Richard Simis owns 100% of PBS Real Estate Investments, LLC

PBS Real Estate Investments owns 100% of Voltaire 24, LP

Richard Simis owns 100% of PBS Construction Services, Inc.





**FIRE ACCESS NOTES:**

- ALL FIRE ACCESS ROADS WILL BE CAPABLE OF SUPPORTING AT LEAST 75,000 LBS & WILL NOT EXCEED 10% OF GRADE. ALL FEATURES OF THE FIRE ACCESS ROADS INCLUDING TURNING RADIUS & DEAD END DESIGN WILL BE IN ACCORDANCE WITH CFC 503 & APPENDIX D.

**EMERGENCY RESPONDER RADIO COV**

- IF THIS BUILDING DOES NOT MEET THE SIGNAL STRENGTH REQUIREMENT OF -65 INTO & OUT OF THE BUILDING IN 95% OF ALL AREAS ON EACH FLOOR OF THE BUILDING, A RADIATING CABLE SYSTEM, A DISTRIBUTED ANTENNA SYSTEM WITH FCC CERTIFIED SIGNAL BOOSTERS, OR OTHER SYSTEM APPROVED BY THE SAN DIEGO FIRE DEPARTMENT WILL BE PROVIDED TO ACHIEVE REQUIRED COVERAGE.

**GEOTECHNICAL**

- DOCUMENT REPORT NO. 170208N DATED MAY 2, 2017 IS INCLUDED IN THIS SUBMITTAL.

**SITE PLAN KEY NOTES:**

- PROPERTY LINE
- PLANTER PER LANDSCAPE
- EXISTING FIRE HYDRANT
- SHELL SPACE
- ACCESSIBLE ROUTE OF TRAVEL
- CURB CUT RAMP PER CIVIL DRAWINGS MINIMUM 48" WIDE WITH A SLOPE OF 8.33% MAX. THE SLOPE OF THE FLARED SIDES OF CURB RAMP SHALL NOT EXCEED 15%
- ACCESSIBLE ROUTE SIGNAGE AT ROUTE OF TRAVEL WITH INTERNATIONAL SYMBOL
- CURB RAMP TO HAVE GROOVED BOMBER 12" WIDE AT THE LEVEL SURFACE OF THE TOP OF EACH SIDE APPROXIMATELY 3/4" O.C.
- LIFT STATION PER CIVIL DWGS

**SITE PLAN NOTES:**

- ALL PROPERTY LINES, EASEMENTS AND BUILDINGS BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
- ALL STREETS/ROADS, SIDEWALK, CURBS, CURB CUTS, HARDSCAPE AND LANDSCAPE, AND STREET IMPROVEMENTS, NOT PART OF THIS PERMIT.
- FOR PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF LAND, CONTRACTOR SHALL PREVENT THE POLLUTION OF STORM WATER RUNOFF FROM CONSTRUCTION ACTIVITIES THROUGH EITHER BEST MANAGEMENT PRACTICE (BMP) OR BY LOCAL ORDINANCE (SEC. 5.106.1).
- SITE GRADING OR DRAINAGE SYSTEM TO MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. CCG SEC. 5.106.10.
- CONTRACTOR MUST SUBMIT A WASTE MANAGEMENT PLAN TO THE CITY'S ENGINEERING DEPARTMENT OR AGENCY THAT HANDLES CONSTRUCTION WASTE MANAGEMENT. CCG SEC. 5.408.1.1.
- A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED (CCG SEC. 5.408.1) AND DOCUMENTATION PROVIDED TO ENFORCING AGENCY DEMONSTRATING COMPLIANCE (CCG SEC. 5.408.1.4).
- BICYCLE PARKING PER CCG SEC. 5.106.4.
- EXTERIOR LIGHT POLLUTION MUST COMPLY WITH CCG SEC. 5.106.8.
- AT EVERY PRIMARY PUBLIC ENTRANCE, AND AT EVERY MAJOR FUNCTION AREA ALONG, OR LEADING TO, AN ACCESSIBLE ROUTE OF TRAVEL, THERE IS TO BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS ARE REQUIRED TO INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES, PER SECTION 11B-216.3
- SEE SHEET T1.02 FOR SITE RESUME

**BUILDING HEIGHT:**

- PER CITY OF SAN DIEGO TECHNICAL BULLETIN 5-4, COASTAL HEIGHT LIMIT OVERLAY ZONE, DATUM POINT IS +83.44'
- MAXIMUM ELEVATION OF TOP OF BUILDING IS +123.44'

**ACRM**  
AWBREY COOK INDOORS MCGILL ARCHITECTS + INTERIORS

ARCHITECTS:  
THOMAS B. AWBREY C 17378  
CLIFFORD W. COOK C 19202  
GERHART H. MCGILL C 19284  
SCOTT W. MCGILL C 21659

REGISTERED ARCHITECT  
THOMAS B. AWBREY  
CLIFFORD W. COOK  
GERHART H. MCGILL  
SCOTT W. MCGILL  
STATE OF CALIFORNIA

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AWBREY COOK MCGILL ARCHITECTS  
All ideas, designs, and arrangements included are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the architect. There shall be no change in decisions from those developed or the accompanying specifications without the written consent of the architect.

CONSULTANTS:

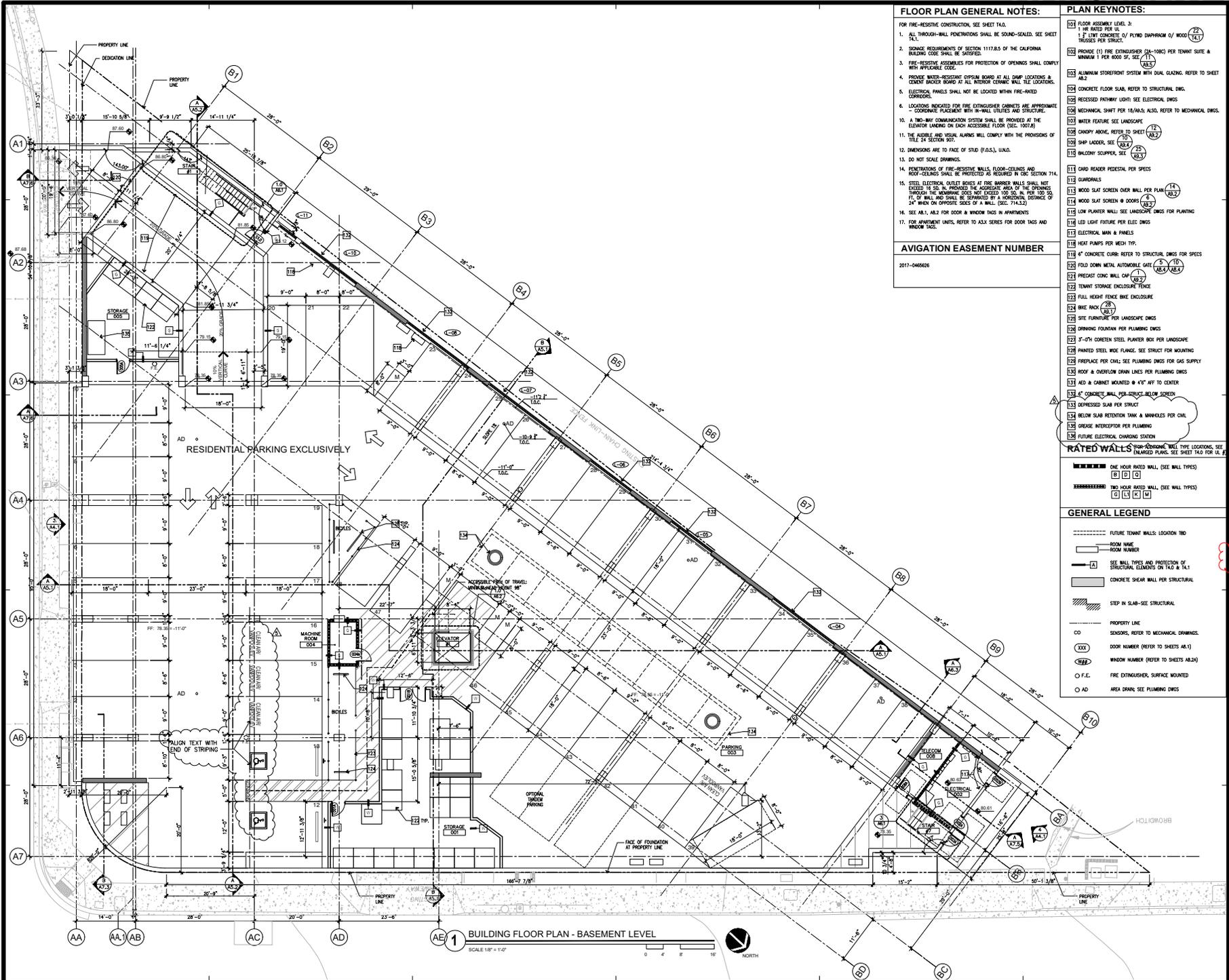
REVISIONS:  
PLAN CHECK SUBMITAL 07/07/2017  
RESUBMITAL 09/26/2017

PROJECT:  
**POINT PLAZA APARTMENTS**  
POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
CHECKED: KT  
DATE: 01-15-2015  
PROJECT NO.: 17-4203  
SHEET TITLE:  
**SITEPLAN**

SHEET NO.:  
**A0.1**

AWBREY . COOK . MCGILL . ARCHITECTS 1045 14th Street Suite 100, San Diego, California 92101.5701 Telephone 619.398.3480 Fax 619.398.3488



### FLOOR PLAN GENERAL NOTES:

- FOR FIRE-RESISTIVE CONSTRUCTION, SEE SHEET T4.0.
- ALL THROUGH-WALL PENETRATIONS SHALL BE SOUND-SEALED. SEE SHEET T4.1.
- STORAGE REQUIREMENTS OF SECTION 1117.8.5 OF THE CALIFORNIA BUILDING CODE SHALL BE SATISFIED.
- FIRE-RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH APPLICABLE CODE.
- PROVIDE WATER-RESISTIVE GYP-SUR BOARD AT ALL DAMP LOCATIONS & CEILING BRACKER BOARD AT ALL INTERIOR CONCRETE WALL TILE LOCATIONS.
- ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS.
- LOCATIONS INDICATED FOR FIRE EXTINGUISHER CABINETS ARE APPROXIMATE - COORDINATE PLACEMENT WITH IN-WALL UTILITIES AND STRUCTURE.
- A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT THE ELEVATOR LANDING ON EACH ACCESSIBLE FLOOR (SEC. 1007.8)
- THE AUDIBLE AND VISUAL ALARMS WILL COMPLY WITH THE PROVISIONS OF TITLE 24 SECTION 907.
- DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED.
- DO NOT SCALE DRAWINGS.
- PERFORATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CeilINGS AND ROOF-CeilINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
- STEEL ELECTRICAL OUTLET BOXES AT FIRE BARRIER WALLS SHALL NOT EXCEED 18 SQ. IN. PROVIDED THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AND SHALL BE SEPARATED BY A HORIZONTAL DIVIDE OF 24" WHEN ON OPPOSITE SIDES OF A WALL. (SEC. 714.3.2)
- SEE A.E.I. AREA FOR DOOR & WINDOW TAGS IN APARTMENTS.
- FOR APPOINTMENT UNITS, REFER TO A.D.J. SERIES FOR DOOR TAGS AND WINDOW TAGS.

### AVIGATION EASEMENT NUMBER

2011-046606

### PLAN KEYNOTES:

- FLOOR ASSEMBLY LEVEL 3
- 1" MIN. RATED PER UL
- 1" F. LINT CONCRETE O/ PLUMB DAPPING O/ WOOD TRUSSES PER STRUCT.
- PROVIDE (1) FIRE EXTINGUISHER (2A-10BC) PER TENANT SUITE & MINIMUM 1 PER ROOM S.F. SEE (A.1) (A.2)
- ALUMINUM STOREFRONT SYSTEM WITH DUAL GLAZING, REFER TO SHEET A.1
- CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DWGS.
- RECESSED PATHWAY LIGHTS, SEE ELECTRICAL DWGS.
- MECHANICAL SHAFT PER 18/18/18; ALSO, REFER TO MECHANICAL DWGS.
- WATER FEATURE SEE LANDSCAPE
- CANOPY ABOVE, REFER TO SHEET (A.1) (A.2)
- SHIP LADDER, SEE (A.1) (A.2)
- BALCONY SCOPPER, SEE (A.1) (A.2)
- CARD READER PEDESTAL PER SPEED
- QUINERALS
- WOOD SLAT SCREEN OVER WALL PER PLAN (A.1) (A.2)
- WOOD SLAT SCREEN @ DOORS (A.1) (A.2)
- LOW PLUNGER WALLS, SEE LANDSCAPE DWGS FOR PLUMBING
- LED LIGHT FIXTURE PER ELEC DWGS
- BALCONY SCOPPER, SEE (A.1) (A.2)
- ELECTRICAL MAIN & PANELS
- HEAT PUMPS PER MECH TYP.
- 4" CONCRETE CURB, REFER TO STRUCTURAL DWGS FOR SPECS
- FOLD DOWN METAL AUTOMOBILE GATE (A.1) (A.2)
- PRECAST CONCRETE WALL CAP (A.1) (A.2)
- TENANT STORAGE ENCLOSURE FRAME
- FULL HEIGHT FENCE BRK ENCLOSURE
- BRK RACK (A.1) (A.2)
- SITE FURNISHING PER LANDSCAPE DWGS
- DRAINING FOUNDATION PER PLUMBING DWGS
- 3"-2" CONCRETE STEEL PLUNGER BOX PER LANDSCAPE
- PAINTED STEEL WIDE FLANGE, SEE STRUCT FOR MOUNTING
- PRELAPSE PER CHAL, SEE PLUMBING DWGS FOR GAS SUPPLY
- ROOF & OVERFLOW DRAIN LINES PER PLUMBING DWGS
- CABINET MOUNTED @ 4" AFF TO CENTER
- 4" CONCRETE SLAB PER STRUCT BELOW SCREEN
- RECESSED SLAB PER STRUCT
- BELOW SLAB RETENTION TANK & MANHOLES PER CHAL
- GREASE INTERCEPTOR PER PLUMBING
- FUTURE ELECTRICAL CHANGING STATION

### RATED WALLS

- FROM EXISTING WALL TYPE LOCATIONS, SEE ENLARGED PLANS, SEE SHEET T4.0 FOR UL.
- ONE HOUR RATED WALL, (SEE WALL TYPES) [B] [D] [O]
  - TWO HOUR RATED WALL, (SEE WALL TYPES) [G] [L] [K] [M]

### GENERAL LEGEND

- FUTURE TENANT WALLS: LOCATION TWO
- ROOM NAME
- ROOM NUMBER
- SEE WALL TYPES AND PROTECTION OF STRUCTURAL ELEMENTS ON T4.0 & T4.1
- CONCRETE SHEAR WALL PER STRUCTURAL
- STEP IN SLAB-SEE STRUCTURAL
- PROPERTY LINE
- SENSORS, REFER TO MECHANICAL DRAWINGS.
- DOOR NUMBER (REFER TO SHEETS AB.1)
- WINDOW NUMBER (REFER TO SHEETS AB.2A)
- F.F.E. FIRE EXTINGUISHER, SURFACE MOUNTED
- AREA DRAIN, SEE PLUMBING DWGS

**ACRM**  
AWBREY COOK ROGERS MCGILL  
ARCHITECTS + INTERIORS

ARCHITECTS:  
THOMAS LAWREY  
CLIFFORD W. COOK  
GENEVA T. ROGERS  
SCOTT W. MCGILL

C 15758  
C 19925  
C 19264  
C 21069



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CONSULTANTS:

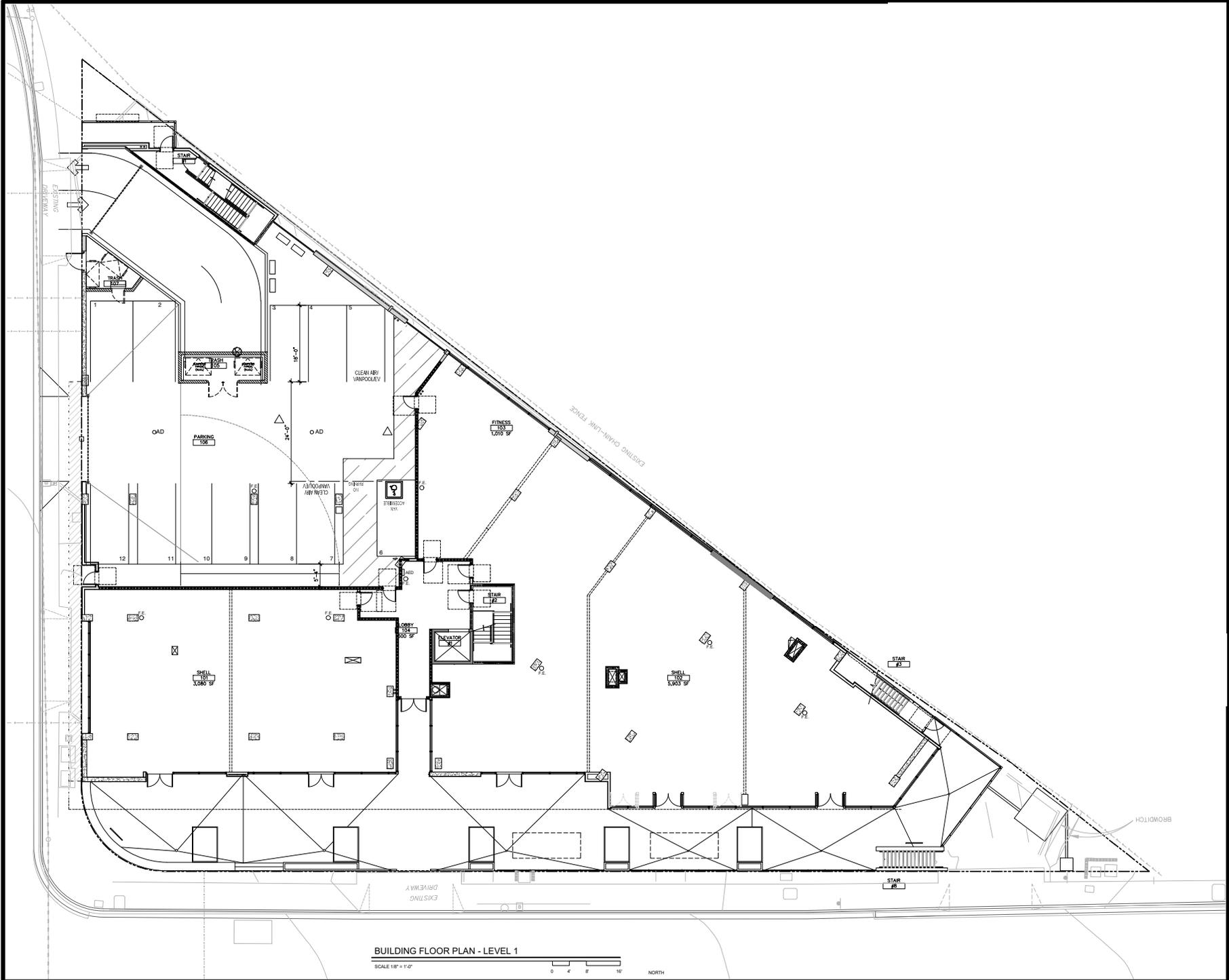
REVISIONS:

PLAN CHECK SUBMITAL	07/07/2017
REVISIONAL	09/26/2017
REVISIONAL	12/18/2017
REVISIONAL	01/15/2018
UPDATED DRAWINGS	08/12/2019

PROJECT:  
**NIMITZ CROSSING APARTMENTS**  
POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
CHECKED: KT  
DATE: 03-15-2018  
PROJECT NO.: 17-4203  
SHEET TITLE:  
**BUILDING FLOOR PLAN BASEMENT**

SHEET NO.:  
**A1.0**



BUILDING FLOOR PLAN - LEVEL 1



ARCHITECTS:  
 THOMAS B. AWBREY C. 17578  
 CLIFFORD W. COOK C. 19965  
 SERING T. ROGERS C. 19264  
 SCOTTY W. MCGILL C. 21059



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CONSULTANTS:

REVISIONS:

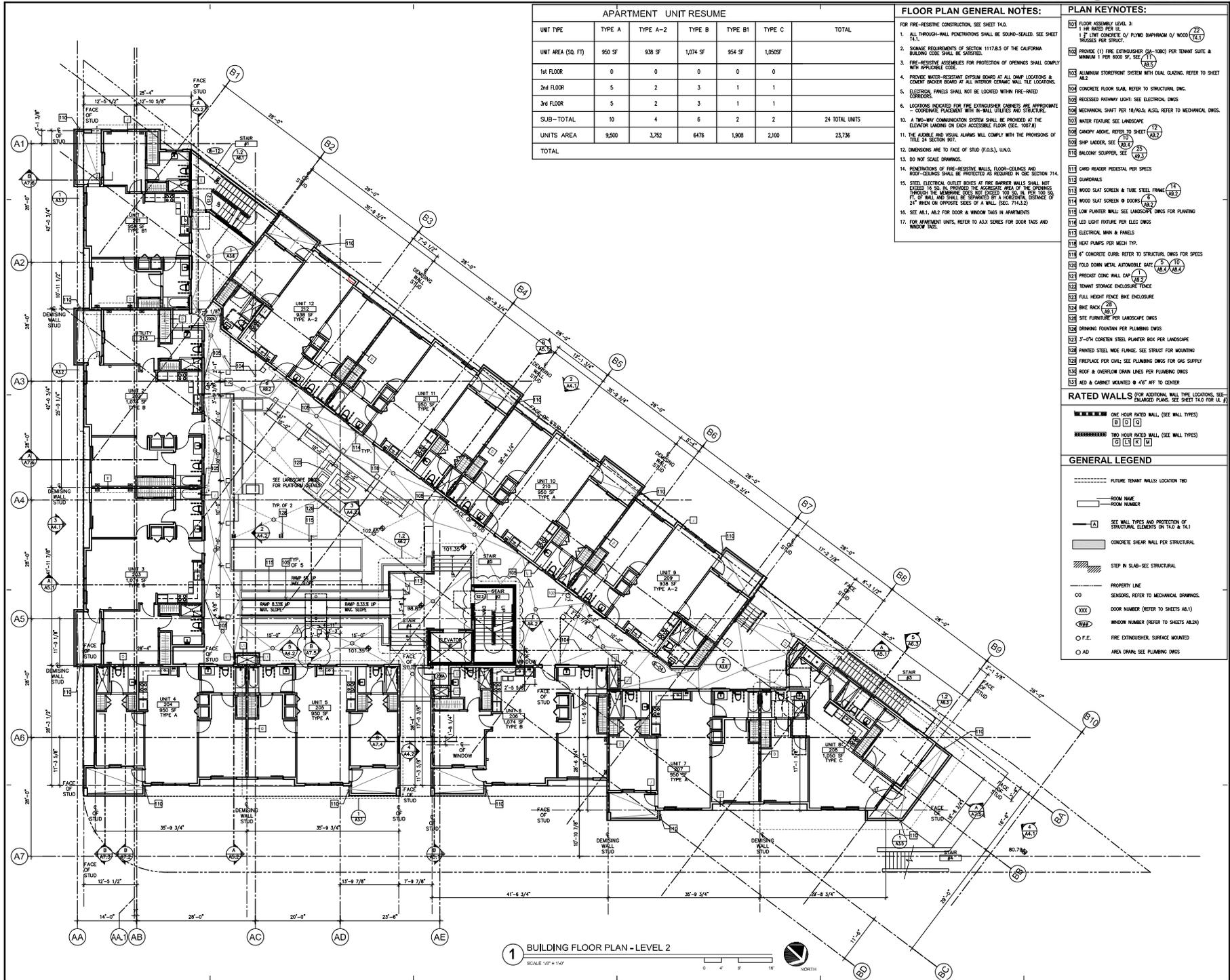
PLAN CHECK SUBMITAL	03/07/2017
RESUBMITAL	09/08/2017
RESUBMITAL	12/18/2017
RESUBMITAL	03/15/2018

PROJECT:  
**NIMITZ CROSSING APARTMENTS**  
 POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DD  
 CHECKED: KT  
 DATE: 03-15-2018  
 PROJECT NO.: 17-4203

SHEET TITLE:  
**BUILDING FLOOR PLAN LEVEL 1**

SHEET NO.:  
**A1.1**



APARTMENT UNIT RESUME						
UNIT TYPE	TYPE A	TYPE A-2	TYPE B	TYPE B1	TYPE C	TOTAL
UNIT AREA (SQ. FT)	950 SF	938 SF	1,074 SF	954 SF	1,050SF	
1st FLOOR	0	0	0	0	0	
2nd FLOOR	5	2	3	1	1	
3rd FLOOR	5	2	3	1	1	
SUB-TOTAL	10	4	6	2	2	24 TOTAL UNITS
UNITS AREA	9,500	3,752	6,476	1,908	2,100	23,736
TOTAL						

- FLOOR PLAN GENERAL NOTES:**
- FOR FIRE-RESISTIVE CONSTRUCTION, SEE SHEET T4.0.
  - ALL THROUGH-WALL PENETRATIONS SHALL BE SOUND-SEALED. SEE SHEET T4.1.
  - STORAGE REQUIREMENTS OF SECTION 1117.8.5 OF THE CALIFORNIA BUILDING CODE SHALL BE SATISFIED.
  - FIRE-RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH APPLICABLE CODE.
  - PROVIDE WATER-RESISTIVE CEILING BOARD AT ALL DAMP LOCATIONS & CORNER BRACKER BOARD AT ALL VERTICAL CORNER WALL TILE LOCATIONS.
  - ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS.
  - LOCATIONS INDICATED FOR FIRE EXTINGUISHER CABINETS ARE APPROXIMATE - CORRECTIVE PLACEMENT WITH IN-WALL UTILITIES AND STRUCTURE.
  - A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT THE ELEVATOR LANDING ON EACH ACCESSIBLE FLOOR (SEC. 1007.8).
  - THE ALARMS AND SIGNAL ALARMS SHALL COMPLY WITH THE PROVISIONS OF TITLE 24 SECTION 907.
  - DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED.
  - DO NOT SCALE DRAWINGS.
  - PERFORATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
  - STEEL ELECTRICAL OUTLET BOXES AT FIRE RAMPERS SHALL NOT EXCEED 18 SQ. IN. PROVIDED THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AND SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24" WHEN ON OPPOSITE SIDES OF A WALL. (SEC. 714.3.2)
  - SEE A6.1, A6.2 FOR DOOR & WINDOW TYPES IN APARTMENTS.
  - FOR APARTMENT UNITS, REFER TO A6.1 SERIES FOR DOOR TYPES AND WINDOW TYPES.

- PLAN KEYNOTES:**
- FLOOR ASSEMBLY LEVEL 3
  - 1" MIN. RATED PER UL
  - 1" F. LINT CONCRETE O/ PLUMB DAMPPANAM Q/ WOOD (T4.1)
  - MISCELL PER STRUCT.
  - PROVIDE (1) FIRE EXTINGUISHER (2L-10BC) PER TENANT SUITE & MINIMUM 1 PER 800 SF. SEE (T4.1)
  - ALUMINUM STOREFRONT SYSTEM WITH DUAL GLAZING, REFER TO SHEET A6.2
  - CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DWG.
  - RECESSED PATHWAY LIGHT. SEE ELECTRICAL DWGS.
  - MECHANICAL SHUNT PER 18/A/6; ALSO, REFER TO MECHANICAL DWGS.
  - WATER FEATURE SEE LANDSCAPE
  - CANOPY ABOVE, REFER TO SHEET T4.0
  - SHIP LADDER, SEE (T4.2)
  - BALCONY SCULPTOR, SEE (T4.2)
  - CARD READER PER SPEC
  - GENERAL
  - WOOD SLAT SCREEN & TUBE STEEL FRAME (A6.2)
  - WOOD SLAT SCREEN @ DOORS (A6.2)
  - LOW PLUNTER WALL SEE LANDSCAPE DWGS FOR PLANTING
  - LED LIGHT FIXTURE PER ELEC DWGS
  - ELECTRICAL MAIN & PANELS
  - HEAT PUMPS PER MECH TYP.
  - 4" CONCRETE CURBS REFER TO STRUCTURAL DWGS FOR SPEC
  - FOLD DOWN METAL AUTOMOBILE GATE (A6.2)
  - PRECAST CONCRETE WALL CAP (A6.2)
  - TENANT STORAGE ENCLOSURE TYPICAL
  - FULL HEIGHT FENCE BIKE ENCLOSURE
  - BIKE RACK (A6.2)
  - SITE FURNISHING PER LANDSCAPE DWGS
  - DRINKING FOUNTAIN PER PLUMBING DWGS
  - 3"-7" CONCRETE STEEL PLUNTER BOX FOR LANDSCAPE
  - PAINTED STEEL WIDE FLANGE. SEE STRUCT FOR MOUNTING
  - PRELACE PER CIVIL. SEE PLUMBING DWGS FOR GAS SUPPLY
  - ROOF & OVERFLOW DRAIN LINES PER PLUMBING DWGS
  - AED & CABINET MOUNTED @ 45" AFF TO CENTER
- RATED WALLS** (FOR ADDITIONAL WALL TYPE LOCATIONS, SEE ENLARGED PLANS. SEE SHEET T4.0 FOR UL #)
- ONE HOUR RATED WALL, (SEE WALL TYPES) [Symbol]
- TWO HOUR RATED WALL, (SEE WALL TYPES) [Symbol]
- GENERAL LEGEND**
- FUTURE TENANT WALLS: LOCATION TYP
  - ROOM NAME
  - ROOM NUMBER
  - SEE WALL TYPES AND PROTECTION OF STRUCTURAL ELEMENTS ON T4.0 & T4.1
  - CONCRETE SHEAR WALL PER STRUCTURAL
  - STEP IN SLAB-SEE STRUCTURAL
  - PROPERTY LINE
  - CO SENSORS, REFER TO MECHANICAL DRAWINGS.
  - XXX DOOR NUMBER (REFER TO SHEETS A6.1)
  - XXX WINDOW NUMBER (REFER TO SHEETS A6.2)
  - O F.E. FIRE EXTINGUISHER, SURFACE MOUNTED
  - AD AREA DRAIN; SEE PLUMBING DWGS

1 BUILDING FLOOR PLAN - LEVEL 2  
SCALE 1/8" = 1'-0"

**ACRM**  
AWBREY COOK INGERSOLL  
ARCHITECTS + INTERIORS

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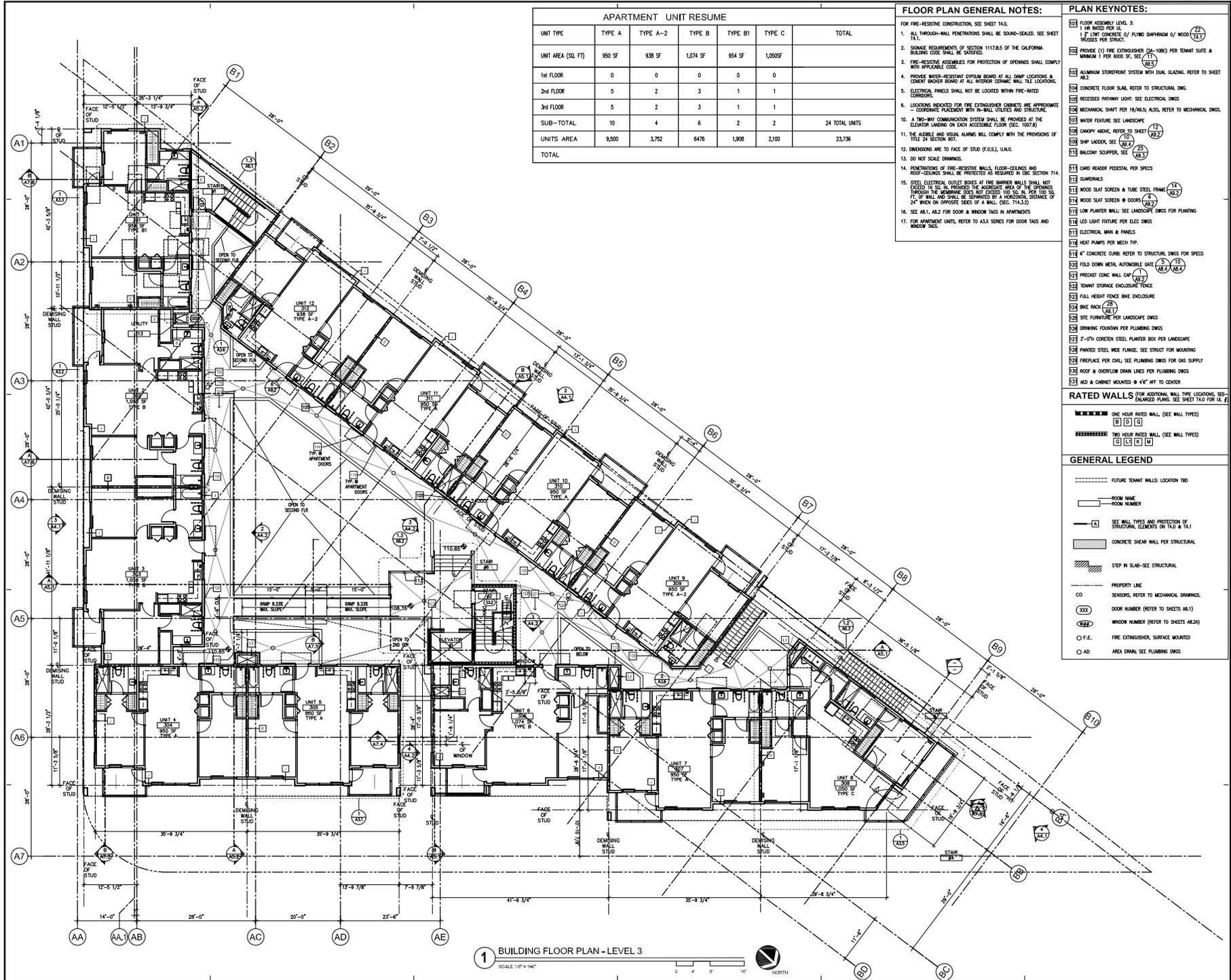
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CONSULTANTS:

REVISIONS:  
PLAN CHECK SUBMITAL 07/07/2017  
RESUBMITAL 09/09/2017

PROJECT:  
**POINT PLAZA APARTMENTS**  
POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
CHECKED: KT  
DATE: 01-15-2015  
PROJECT NO.: 17-4203  
SHEET TITLE:  
**BUILDING FLOOR PLAN LEVEL 2**  
SHEET NO.:  
**A1.2**



APARTMENT UNIT RESUME						
UNIT TYPE	TYPE A	TYPE A-2	TYPE B	TYPE B1	TYPE C	TOTAL
UNIT AREA (SQ. FT)	950 SF	938 SF	1,074 SF	954 SF	1,050 SF	
1st FLOOR	0	0	0	0	0	
2nd FLOOR	5	2	3	1	1	
3rd FLOOR	5	2	3	1	1	
SUB-TOTAL	10	4	6	2	2	24 TOTAL UNITS
UNITS AREA	9,500	3,762	6,476	1,908	2,100	23,736
TOTAL						

- FLOOR PLAN GENERAL NOTES:**
- FOR FIRE-RESISTIVE CONSTRUCTION, SEE SHEET T4.0.
  - ALL THROUGH-WALL PENETRATIONS SHALL BE SOUND-SEALED. SEE SHEET T4.1.
  - STORAGE REQUIREMENTS OF SECTION 1117.8.5 OF THE CALIFORNIA BUILDING CODE SHALL BE SATISFIED.
  - FIRE-RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH APPLICABLE CODE.
  - PROVIDE WATER-RESISTANT Gypsum BOARD AT ALL DAMP LOCATIONS & CORNER BRACKER BOARD AT ALL VERTICAL CORNER WALL FILE LOCATIONS.
  - ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS.
  - LOCATIONS INDICATED FOR FIRE EXTINGUISHER CABINETS ARE APPROXIMATE - CORRELATE PLACEMENT WITH IN-WALL UTILITIES AND STRUCTURE.
  - A TWO-WAY COMMUNICATION SYSTEM SHALL BE PROVIDED AT THE ELEVATOR LANDING ON EACH ACCESSIBLE FLOOR (SEC. 1007.8).
  - SEE A6.1, ALL FOR DOOR & WINDOW TYPES IN APARTMENTS.
  - FOR APARTMENT UNITS, REFER TO A3.1 SERIES FOR DOOR TYPES AND WINDOW TYPES.
  - DIMENSIONS ARE TO FACE OF STUD (F.O.S.), UNLESS NOTED.
  - DO NOT SCALE DRAWINGS.
  - PERFORATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILING AND ROOF-CEILING SHALL BE PROTECTED AS REQUIRED IN CBC SECTION 714.
  - STEEL ELECTRICAL OUTLET BOXES AT FIRE RAMPERS SHALL NOT EXCEED 18 IN. IN PROVIDED THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AND SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24" WHEN ON OPPOSITE SIDES OF A WALL. (SEC. 714.3.2)
  - SEE A6.1, ALL FOR DOOR & WINDOW TYPES IN APARTMENTS.
  - FOR APARTMENT UNITS, REFER TO A3.1 SERIES FOR DOOR TYPES AND WINDOW TYPES.

- PLAN KEYNOTES:**
- FLOOR ASSEMBLY LEVEL 3
  - 1" IN RATED PER I.L.
  - 1" F. LIME CONCRETE O/ PLUMB DAPPRAM O/ WOOD (T4.1)
  - MISCELL PER STRUCT.
  - PROVIDE (1) FIRE EXTINGUISHER (20-10BC) PER TENANT SUITE & MINIMUM 1 PER 800 SF. SEE (T4.5)
  - ALUMINUM STOREFRONT SYSTEM WITH DUAL GLAZING. REFER TO SHEET A6.2
  - CONCRETE FLOOR SLAB, REFER TO STRUCTURAL DWG.
  - RECESSED PATHWAY LIGHT. SEE ELECTRICAL DWGS.
  - MECHANICAL SHUNT PER 18/18/2; ALSO, REFER TO MECHANICAL DWGS.
  - WATER FEATURE SEE LANDSCAPE
  - CANOPY ABOVE, REFER TO SHEET (A6.2)
  - SHIP LADDER, SEE (A6.2)
  - BALCONY SCOURER, SEE (A6.2)
  - CARD READER PEDESTAL PER SPICES
  - QUINALS
  - WOOD SLAT SCREEN & TUBE STEEL FRAME (A6.2)
  - WOOD SLAT SCREEN @ DOORS (A6.2)
  - LOW PLUNGER WALL SEE LANDSCAPE DWGS FOR PLANNING
  - LED LIGHT FIXTURE PER ELEC DWGS
  - ELECTRICAL MAIN & PANELS
  - HEAT PUMPS PER MECH TYP.
  - 4" CONCRETE CURBS REFER TO STRUCTURAL DWGS FOR SPICES
  - FOLD DOWN METAL AUTOMOBILE GATE (A6.2)
  - PRECAST CONCRETE WALL CAP (A6.2)
  - REINFORC STORAGE ENCLOSURE TRENCH
  - FULL HEIGHT FENCE BIKE ENCLOSURE
  - BIKE RACK (A6.2)
  - SEE FURNISHING PER LANDSCAPE DWGS
  - DRINKING FOUNTAIN PER PLUMBING DWGS
  - 3"-4" CONCRETE STEEL PLUNGER BOX FOR LANDSCAPE
  - PAINTED STEEL WIDE FLANGE. SEE STRUCT FOR MOUNTING
  - PRELACE PER CIVIL. SEE PLUMBING DWGS FOR GAS SUPPLY
  - ROOF & OVERFLOW DRAIN LINES PER PLUMBING DWGS
  - AED & CABINET MOUNTED @ 45" AFF TO CENTER
- RATED WALLS (FOR ADDITIONAL WALL TYPE LOCATIONS, SEE ENLARGED PLANS. SEE SHEET T4.0 FOR I.L.)**
- ONE HOUR RATED WALL (SEE WALL TYPES)
- TWO HOUR RATED WALL (SEE WALL TYPES)
- GENERAL LEGEND**
- FUTURE TENANT WALLS: LOCATION TRO
  - ROOM NAME
  - ROOM NUMBER
  - SEE WALL TYPES AND PROTECTION OF STRUCTURAL ELEMENTS ON T4.0 & T4.1
  - CONCRETE SHEAR WALL PER STRUCTURAL
  - STEP IN SLAB-SEE STRUCTURAL
  - PROPERTY LINE
  - SENSORS, REFER TO MECHANICAL DRAWINGS.
  - DOOR NUMBER (REFER TO SHEETS A6.1)
  - WINDOW NUMBER (REFER TO SHEETS A6.2)
  - F.E. FIRE EXTINGUISHER, SURFACE MOUNTED
  - AD AREA DRAIN; SEE PLUMBING DWGS

**ACRM**  
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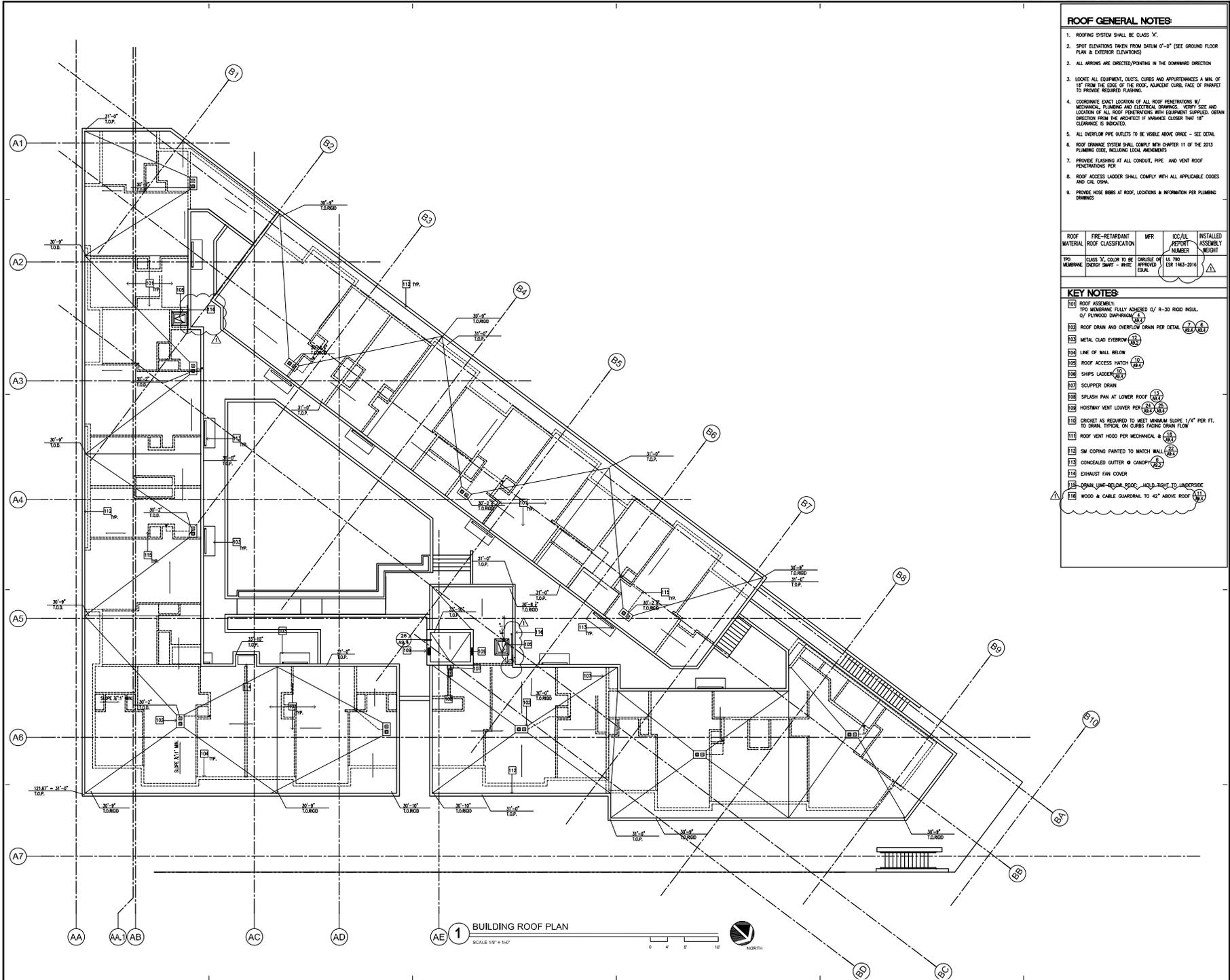
CONSULTANTS:

REVISIONS:  
PLAN CHECK SUBMITAL 07/07/2017  
RESUBMITAL 09/09/2017

PROJECT:  
**POINT PLAZA APARTMENTS**  
POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
CHECKED: KT  
DATE: 01-15-2015  
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SHEET TITLE:  
**BUILDING FLOOR PLAN LEVEL 3**  
SHEET NO.:  
**A1.3**

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### ROOF GENERAL NOTES:

1. ROOFING SYSTEM SHALL BE CLASS 'X'.
2. SPOT ELEVATIONS TAKEN FROM DATUM 0'-0" (SEE GROUND FLOOR PLAN & EXTERIOR ELEVATIONS)
3. ALL ARROWS ARE DIRECTED/PPOINTING IN THE DOWNWARD DIRECTION
4. LOCATE ALL EQUIPMENT, DUCTS, CURBS AND APPURTENANCES A MIN. OF 18" FROM THE EDGE OF THE ROOF, ADJACENT CURB, FACE OF PARAPET TO PROVIDE REQUIRED FLASHING.
5. COORDINATE EXACT LOCATION OF ALL ROOF PENETRATIONS W/ MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. VERIFY SIZE AND LOCATION OF ALL ROOF PENETRATIONS WITH EQUIPMENT SUPPLIER. OBTAIN PERMISSION FROM THE ARCHITECT IF VARIANCE CLOSER THAN 18" CLEARANCE IS INDICATED.
6. ALL OVERFLOW PIPE OUTLETS TO BE VISIBLE ABOVE GRADE - SEE DETAIL.
7. ROOF DRAINAGE SYSTEM SHALL COMPLY WITH CHAPTER 11 OF THE 2013 PLUMBING CODE, INCLUDING LOCAL AMENDMENTS
8. PROVIDE FLASHING AT ALL CONDUIT, PIPE AND VENT ROOF PENETRATIONS PER DETAIL.
9. ROOF ACCESS LADDER SHALL COMPLY WITH ALL APPLICABLE CODES AND CAL OSHA.
10. PROVIDE HOSE BIBBS AT ROOF, LOCATIONS & INFORMATION PER PLUMBING DRAWING.

ROOF MATERIAL	FIRE-RETARDANT ROOF CLASSIFICATION	MFR	IC/AL REPORT NUMBER	INSTALLED ASSEMBLY WEIGHT
110	CLASS 'X', COLOR TO BE APPROVED EQUAL	110	IC 710	UL 710
111	CLASS 'X', COLOR TO BE APPROVED EQUAL	111	IC 710	UL 710

### KEY NOTES:

- 101 ROOF ASSEMBLY: 110 MEMBRANE FULLY ADHERED TO/ R-30 RIGID INSUL. / FLYWOOD SHEATHING (101)
- 102 ROOF DRAIN AND OVERFLOW DRAIN PER DETAIL (102)
- 103 METAL CLAD EYEBROW (103)
- 104 LINE OF WALL BELOW (104)
- 105 ROOF ACCESS HATCH (105)
- 106 SHIPS LADDERS (106)
- 107 SCUPPER DRAIN (107)
- 108 SPLASH PAN AT LOWER ROOF (108)
- 109 HOISTWAY VENT LOUVER PER (109)
- 110 CROCKET AS REQUIRED TO MEET MINIMUM SLOPE 1/4" PER FT. TO DRAIN TYPICAL ON CURBS/FACING DRAIN FLOW (110)
- 111 ROOF VENT HOOD PER MECHANICAL & (111)
- 112 SM COPING PAINTED TO MATCH WALL (112)
- 113 CONCEALED GUTTER @ CANOPY (113)
- 114 EXHAUST FAN COVER (114)
- 115 DRAIN LINE-BELOW-SIDE HOLD-TIGHT TO UNDERSIDE (115)
- 116 WOOD & CABLE GUARDRAIL TO 42" ABOVE ROOF (116)

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REVISIONS:

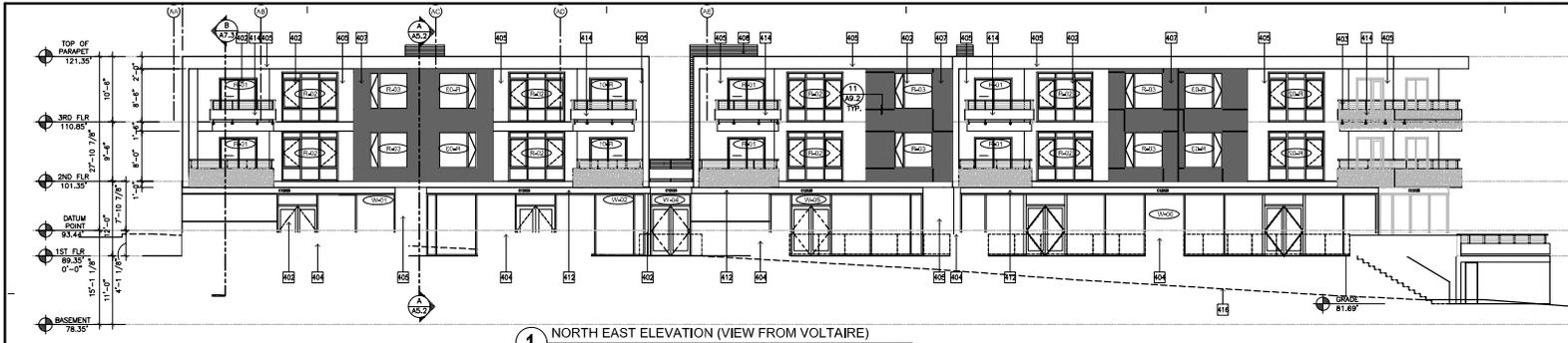
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RESUBMITAL	09/08/2017

PROJECT:  
**POINT PLAZA APARTMENTS**  
POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
CHECKED: KT  
DATE: 01-15-2015  
PROJECT NO.: 17-4203

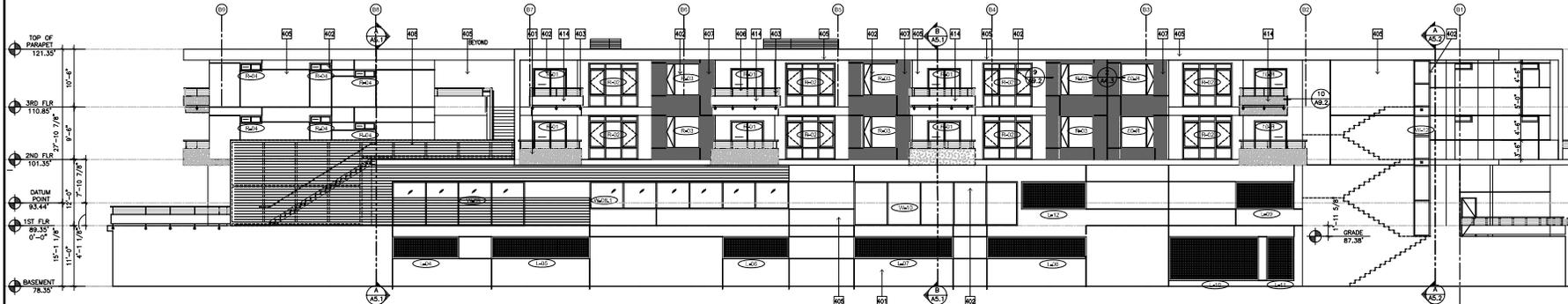
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**BUILDING ROOF PLAN**

SHEET NO.:  
**A1.4**



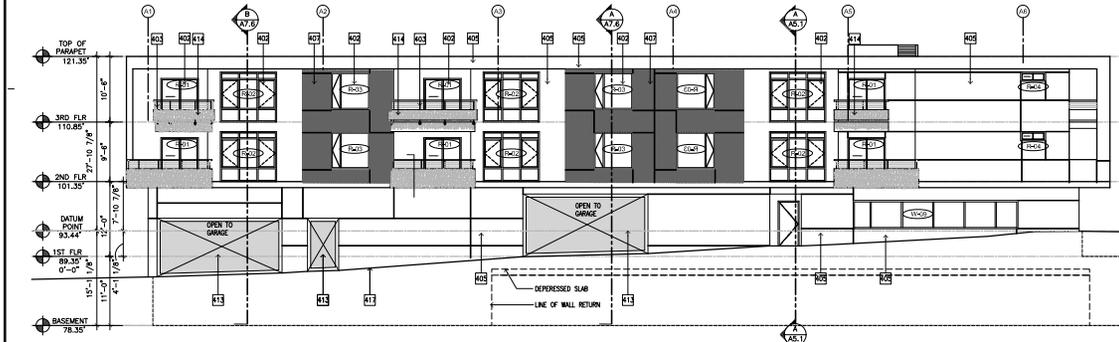
1 NORTH EAST ELEVATION (VIEW FROM VOLTAIRE)

SCALE 1/8" = 1'-0"



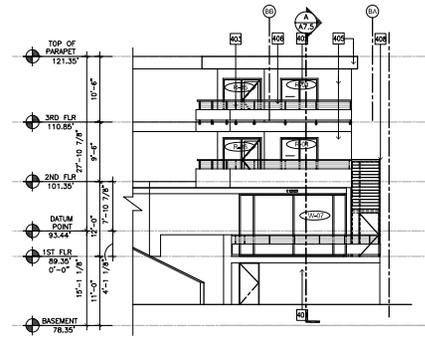
2 NORTH WEST ELEVATION (VIEW FROM NIMITZ)

SCALE 1/8" = 1'-0"



3 SOUTH EAST ELEVATION (VIEW FROM LAS LOMAS)

SCALE 1/8" = 1'-0"



4 PARTIAL NORTH ELEVATION

SCALE 1/8" = 1'-0"

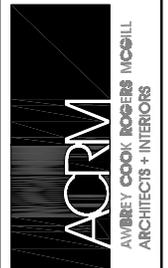
**EXTERIOR ELEVATIONS KEYNOTES:**

- 001 EXPOSED CONCRETE
- 002 ALUMINUM STOREFRONT SYSTEM (08 41 13), SEE WINDOW SCHEDULE ON SHEET A4.2
- 003 PAINTED STEEL HANDRAIL PER STRUCT
- 004 CONCRETE PLANTER
- 005 EXTERIOR PLASTER SYSTEM (09 24 00) O/ METAL LATH O/ BUILDING PAPER O/ PL WOOD O/ METAL STUDS
- 006 CABLE RAILING
- 007 COPPER CLAO PANELS (07 42 10)
- 008 WOOD PLANK FINISH SYSTEM ACCOVA OR EQUAL: COLOR TBD
- 009 PLASTER CONTROL JOINT
- 010 3M CORING PAINTED TO MATCH PLASTER

- 111 PAINTED W/IL DOOR OVERHANG (11 A8.7)
- 112 12" C-CHANNEL PAINTED MATCH STOREFRONT
- 113 PAINTED METAL GATE, FINISH TBD
- 114 FIBER CEMENT PANELS (12 A8.2)
- 115 CABLE & WOOD CWP GUARDRAIL (11 A8.4)
- 116 EXISTING GRADE
- 117 NEW GRADE PER CIVIL

**GENERAL NOTES - EXTERIOR ELEVATIONS**

- 1. EXTERIOR SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE SIGN PERMIT.
- 2. (W) DENOTES WINDOW TYPE. FOR ADDITIONAL INFORMATION, REFER TO WINDOW SCHEDULE ON SHEETS A4.2
- 3. (L) DENOTES LOUVER TYPE. FOR ADDITIONAL INFORMATION, REFER TO WINDOW SCHEDULE ON SHEETS A4.2
- 4. WOOD FINISH CLADDING: CLADDING IS O/ FROM WALL. ALLOWABLE COMBUSTIBLE MATERIAL AREA PER CBC SECTION 1406.10% FACADE AREA: 10,230 SF WOOD PLANK AREA: 1/8" @ 1/2"



ARCHITECTS:  
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 GERRIT J. INOBERG  
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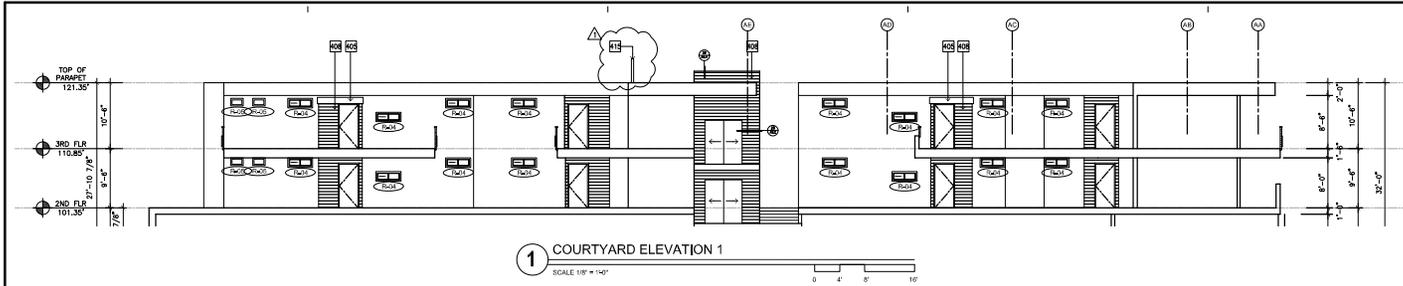
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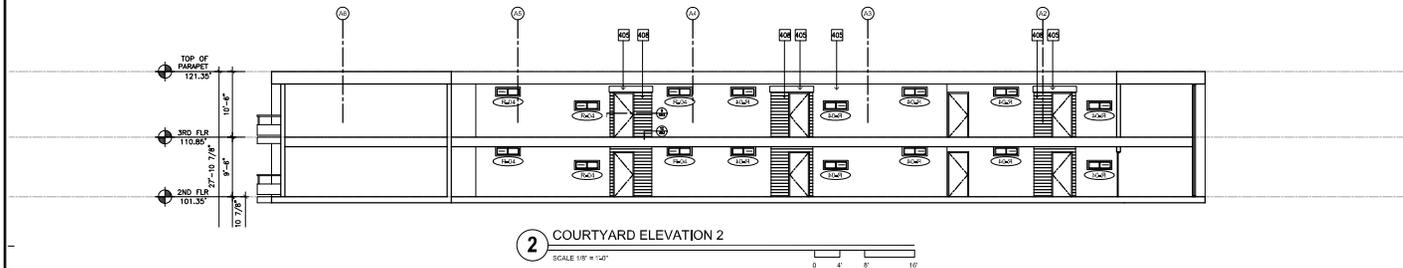
PROJECT:  
**POINT PLAZA APARTMENTS**  
 POINT LOMA SAN DIEGO, CA

DRAWN: KT, PK, DG  
 CHECKED: KT  
 DATE: 01-15-2015  
 PROJECT NO.: 17-4203  
 SHEET TITLE:  
**BUILDING ELEVATIONS**

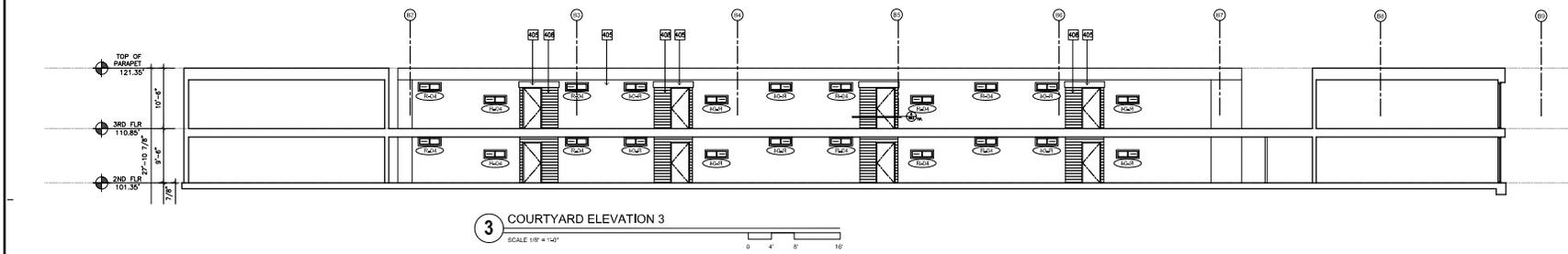
SHEET NO.:  
**A4.1**



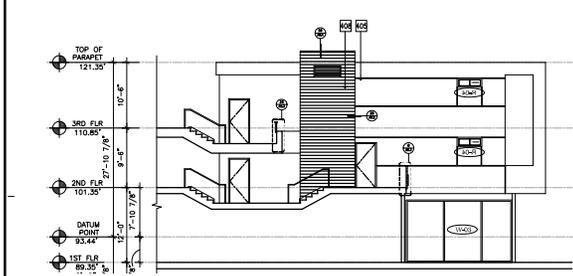
**1** COURTYARD ELEVATION 1  
SCALE 1/8" = 1'-0"



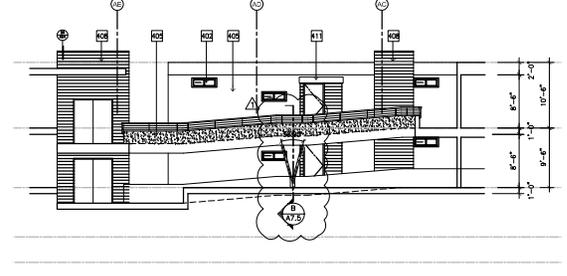
**2** COURTYARD ELEVATION 2  
SCALE 1/8" = 1'-0"



**3** COURTYARD ELEVATION 3  
SCALE 1/8" = 1'-0"



**4** COURTYARD ELEVATION 4  
SCALE 1/8" = 1'-0"



**5** COURTYARD ELEVATION 5  
SCALE 1/8" = 1'-0"

- EXTERIOR ELEVATIONS KEYNOTES:**
- 001 EXPOSED CONCRETE
  - 002 ALUMINUM STOREFRONT SYSTEM (08 41 13), SEE WINDOW SCHEDULE ON SHEET A6.2
  - 003 PAINTED STEEL HANDRAIL PER STRUCT
  - 004 CONCRETE PLANTER
  - 005 EXTERIOR PLASTER SYSTEM (09 24 00) O/ METAL LATH O/ BUILDING PAPER O/ PLYWOOD O/ METAL STUDS
  - 006 CABLE RAILING
  - 007 COPPER CLAD PANELS (07 42 10)
  - 008 WOOD PLANK FINISH SYSTEM ACCORDA OR EQUAL COLOR TBD
  - 009 PLASTER CONTROL JOINT (A5.2)
  - 010 SM COPPING PAINTED TO MATCH PLASTER
  - 011 PAINTED METAL DOOR OVERHANG (A6.2)
  - 012 12" C-CHANNEL PAINTED MATCH STOREFRONT
  - 013 PAINTED METAL GATE: PATTERN TBD
  - 014 HIGH-CORNER PANELS (A5.2)
  - 015 CABLE & WOOD CAP QUADRANT (A6.4)

**GENERAL NOTES - EXTERIOR ELEVATIONS**

1. EXTERIOR SOURCE SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE SIGN PERMIT.

W DENOTES WINDOW TYPE. FOR ADDITIONAL INFORMATION, REFER TO WINDOW SCHEDULE ON SHEETS A6.2  
L DENOTES LOWER TYPE. FOR ADDITIONAL INFORMATION, REFER TO WINDOW SCHEDULE ON SHEETS A6.2

**ACRM**  
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**CONSULTANTS:**

**REVISONS:**

PLAN CHECK SUBMITAL	07/07/2017
RESUBMITAL	09/06/2017

**PROJECT:**

**POINT PLAZA APARTMENTS**  
 POINT LOMA SAN DIEGO, CA

**DRAWN:** KT, PK, DG  
**CHECKED:** KT  
**DATE:** 01-15-2015  
**PROJECT NO.:** 17-4203

**SHEET TITLE:**  
**BUILDING COURTYARD ELEVATIONS**

**SHEET NO.:**  
**A4.2**



KEYNOTES	
NO.	DESCRIPTION
1	NEW CEILING MOUNTED, RECESSED PRESENTATION SCREEN.
2	NEW MANUAL INTERIOR ROLLER SHADES THROUGHOUT.
3	NEW FLORESTONE 30" x 66" ADA FIBERGLASS SHOWER.
4	NEW DEHWASHER.
5	NEW COUNTERTOP WITH UPPER AND LOWER CABINERY.

### FLOOR PLAN GENERAL NOTES

- ALL WALLS TO BE 5/8" GWS W/ LEVEL 5 FINISH.
- ALL INTERIOR PARTITIONS TO BE WALL TYPE (M010) 3-5/8" METAL STUDS, U-GUN
- DIMENSIONS SHOWN ON PLANS ARE TO FACE OF EXTERIOR MASONRY, CONCRETE COLUMN OR GRID LINES AND FACE OF GWS UNLESS NOTED OTHERWISE OR DETAILED.
- ALL ROOM AND AREA DIMENSIONS ARE CRITICAL AND SHOULD NOT CHANGE. ALL ROOM AND AREA DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO DESIGNER IMMEDIATELY.
- ALL EXISTING WALL PENETRATIONS TO BE FIRE PROTECTED BY LANDLORD. ALL NEW WALL PENETRATION TO BE FIRE PROTECTED BY THE GENERAL CONTRACTOR. PENETRATIONS OF NON-RATED WALLS, PARTITIONS AND FLOORS OF NON-RATED COMBUSTIBLE CONSTRUCTION SHALL BE FIRE STOPPED WITH NON-COMBUSTIBLE MATERIALS. PENETRATION OF NON-RATED WALLS, PARTITIONS AND FLOORS OF COMBUSTIBLE CONSTRUCTION SHALL BE FIRE STOPPED. FIRE-STOPPING SHALL COMPLY WITH SPECIFICATIONS.
- ALL JOINTS MUST BE FIRE TAPED AS REQUIRED. EXPOSED WALLS WILL BE FINISHED WITH THREE (3) COATS OF JOINT COMPOUND AND SANDED SMOOTH, READY FOR PAINT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL DISCIPLINES AND THE REQUIREMENTS NOTED ON ALL PLANS.
- GENERAL CONTRACTOR IS TO RECEIVE APPROVAL FOR ALL FIELD CHANGES PRIOR TO IMPLEMENTATION FROM THE TENANT/OWNER. REFER TO REFLECTED CEILING PLANS FOR ADDITIONAL INFORMATION.

### FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- FULL HEIGHT WALL - REFER TO A500
- (E) WINDOW FRAME

- EXTERIOR/INTERIOR DOOR
- DOOR PER DOOR SCHEDULE
- WINDOW PER WINDOW SCHEDULE
- WALL TYPE PER SHEET A500
- INDICATES NOT A PART, TYP.

### FIRE RATING

- 1 HOUR FIRE RATED WALL
- 2 HOUR FIRE RATED WALL

**NIMITZ CROSSING TENANT  
 IMPROVEMENT B**  
 3909 VOLTAIRE STREET, SAN DIEGO CA 92106

No.	Description	Date

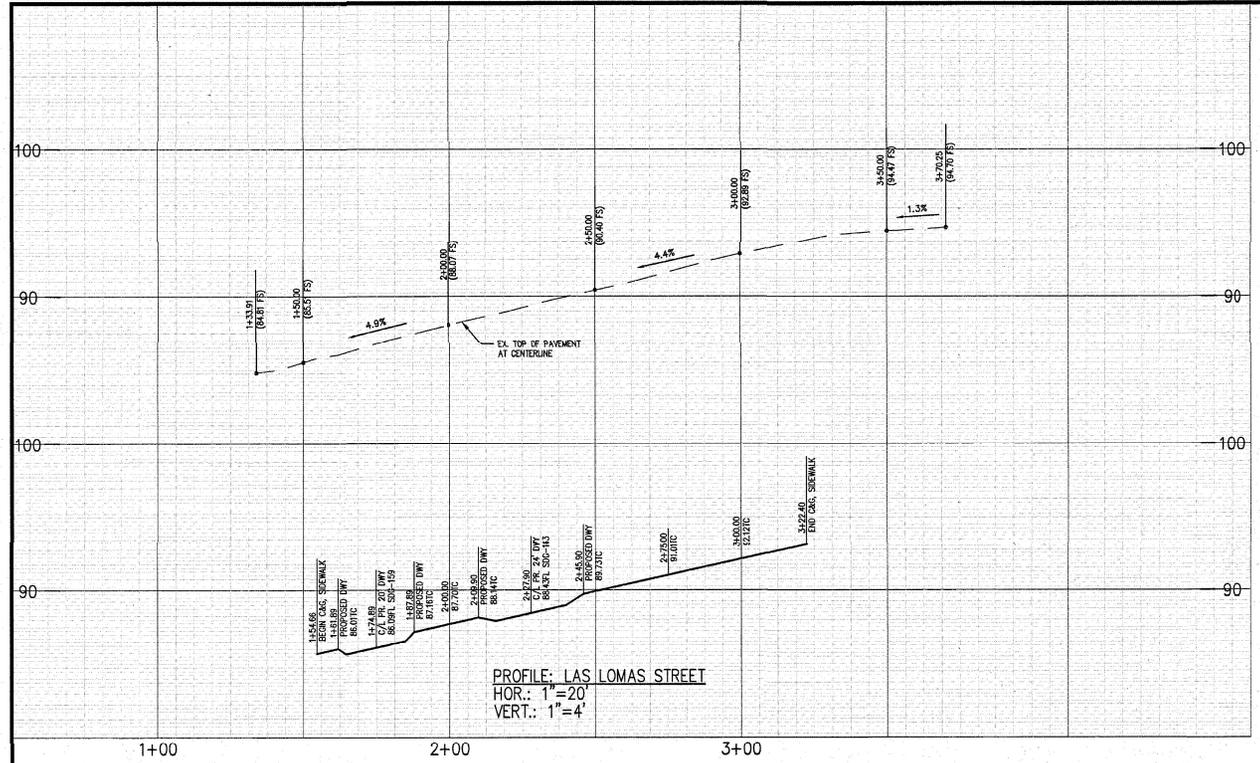
Sheet Name  
**FIRST FLOOR  
 PLAN**

161  
 Date 07/19/2021  
 Drawn by NR  
 Checked by NR  
 Sheet Number

**A101**

**1 FIRST FLOOR PLAN**  
 Scale: 1" = 10'-0"





PROFILE: LAS LOMAS STREET  
HOR.: 1"=20'  
VERT.: 1"=4'

CONSTRUCTION NOTES:

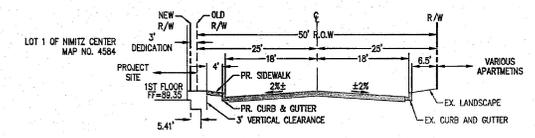
- ① CLOSE EXISTING DRIVEWAY
- ② CONSTRUCT CURB AND GUTTER AND SIDEWALK PER CITY OF SAN DIEGO STD. DWG. SDG-151 AND SDG-155 MAINTAIN EXISTING SIDEWALK SCORING PATTERN AND PRESERVE ANY CONTRACTOR'S STAMP
- ③ CONSTRUCT CONCRETE DRIVEWAY PER CITY OF SAN DIEGO STD. DWG. SDG-159
- ④ CONSTRUCT MODULAR WETLAND PER DETAIL SHEET 3
- ⑤ CONSTRUCT STREET LIGHT PER CITY OF SAN DIEGO STD. DWG. SDE-101
- ⑥ REPLACE EXISTING CURB RAMP PER CITY OF SAN DIEGO STD. DWG. SDG-133 TYPE A
- ⑦ CONSTRUCT CONCRETE DRIVEWAY PER CITY OF SAN DIEGO STD. DWG. SDG-163
- ⑧ VISIBILITY TRIANGLES, NO OBSTACLES HIGHER THAN THIRTY SIX INCHES SHALL BE LOCATED IN THIS AREA
- ⑨ CONSTRUCT CURB OUTLET PER CITY OF SAN DIEGO STD. DWG. D-25
- ⑩ CONSTRUCT 3'x3' BROOKS BOX OR EQUIVALENT
- ⑪ INSTALL RED CURB, NO PARKING ZONE

UTILITY NOTES:

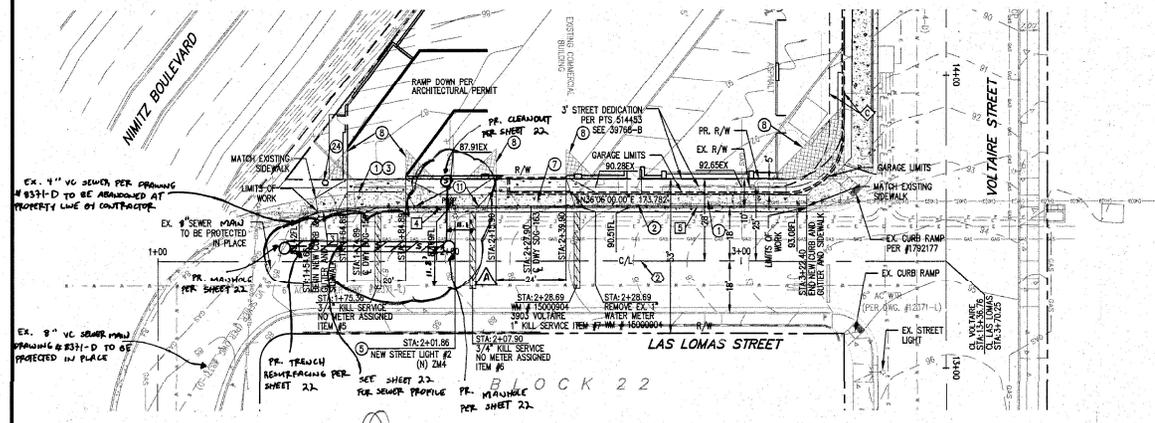
- ⑫ CONSTRUCT 4" FIRE SERVICE PER CITY OF SAN DIEGO STANDARDS
- ⑬ CONSTRUCT 2" WATER SERVICE PER CITY OF SAN DIEGO STANDARDS
- ⑭ CONSTRUCT 1.5" WATER METER PER CITY OF SAN DIEGO STANDARDS
- ⑮ TRENCH PER CITY OF SAN DIEGO STD. DWG. SDW-107
- ⑯ CONSTRUCT SEWER CLEANOUT PER CITY OF SAN DIEGO STD. DWG. SDS-103
- ⑰ CONSTRUCT BACKFLOW PREVENTER PER APOLLO RPLF4A 1.5"
- ⑱ CONSTRUCT BACKFLOW PREVENTER PER APOLLO RPLF4A 4A 4"

BUILDING PERMIT:

BUILDING PTS #65698



LAS LOMAS AVENUE  
TYPICAL CROSS-SECTION



CENTERLINE DATA			
NO.	BEARING/DELTA	RADIUS	REMARKS
②	N36°06'00.00"E	-	187.81' LAS LOMAS CENTERLINE

EASEMENTS:

- ◆ EARTH EXCAVATION OR EMBANKMENT, SLOPE OR SLOPES TO CITY OF SAN DIEGO RECORDED SEPTEMBER 19, 1957 PER BOOK 8752, PAGE 516
- ◆ EMBANKMENT SLOPE OR SLOPES TO CITY OF SAN DIEGO RECORDED SEPTEMBER 19, 1957 PER BOOK 8755, PAGE 324
- ◆ STREVESED FOR FUTURE STREET PER MAP NO. 4584, RECORDED JULY 11, 1960
- ◆ SDC&E TRANSMISSION AND DISTRIBUTION OF ELECTRICITY RECORDED MAY 5, 1978 AS DOCUMENT NO. 76-13931

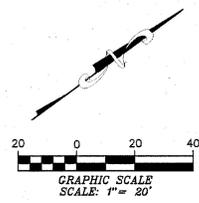
**CAUTION!!**  
EXISTING UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS WHICH IN MOST CASES ARE SCHEMATIC PLANS. THESE PLANS MAY NOT REFLECT ALL EXISTING UTILITIES. EXACT LOCATION AND DEPTH OF EXISTING UTILITIES ARE UNKNOWN. SUBCONTRACTOR TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF WORK, AND NOTIFY ENGINEER OF WORK OF ANY DISCREPANCIES.

IMPROVEMENT PLANS FOR:  
**LAS LOMAS STREET**  
LOT 1 NIMITZ CENTER MAP NO. 4584

CITY OF SAN DIEGO, CALIFORNIA  
DEPARTMENT SERVICES DEPARTMENT  
SHEET 6 OF 19 SHEETS

DATE: 8/1/19  
DATE FILMED: 8/30/19

AS-BUILTS: \_\_\_\_\_  
CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_ DATE COMPLETED: 40332-6-D



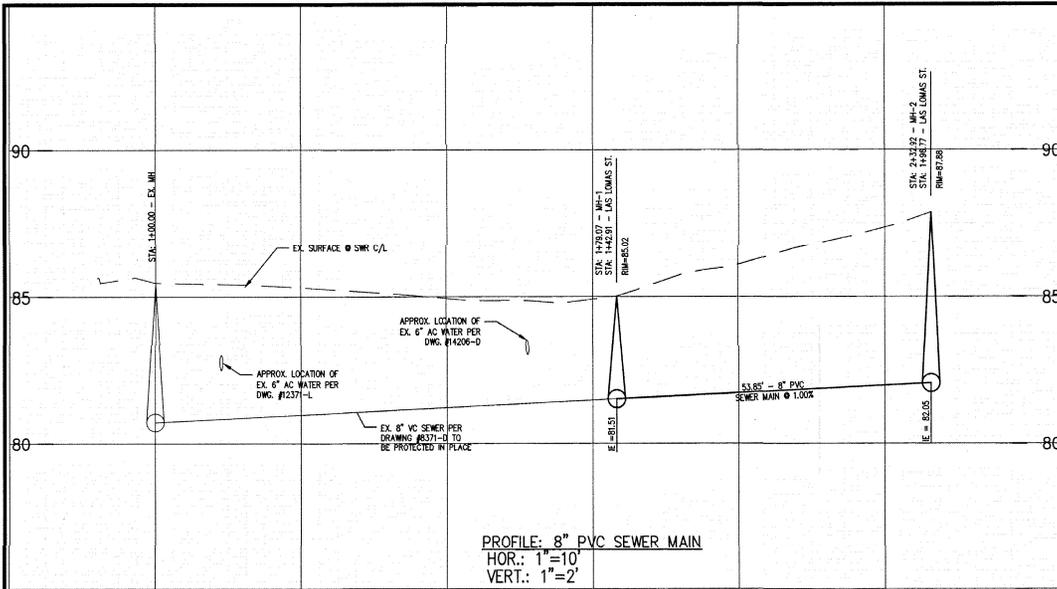
AGREEMENT DATA			
APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	SEE SHEET NUMBER(S)
EMRA	SHOWING AND TIE BACK	202852	5-7, 8-12
EMRA	UNDERGROUND GARAGE	2030106	5-7
EMRA	PRIVATE CURB OUTLET	2030098	5-7
EMRA	PRIVATE SEWER LATERAL AND CLEANOUT	2419771	6, 22

CURB DATA				
NO.	BEARING/DELTA	RADIUS	LENGTH	REMARKS
①	N63°21'35.86"E	-	7.13'	TYPE 'G' CURB & GUTTER
②	N36°10'51.16"E	-	22.00'	TYPE 'G' CURB & GUTTER
③	N36°10'50.16"E	-	76.51'	TYPE 'G' CURB & GUTTER

**Civil Landworks**  
110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058  
PH: 760-908-8745 • info@civillandworks.com



▲ ADD SEWER MAIN, REVISE AGREEMENT DATA TABLE



STREET EXCAVATION TABLE (CONTINUED FROM SHEET 2)

STREET SEGMENT	STREET NAME	STREET CLASSIFICATION (ARTERIAL, MAJOR, COLLECTOR, RESIDENTIAL)	UTILITY TYPE (WET OR DRY)	LATERAL OR MAIN	LAST STREET OVERLAY DATE	INFLUENCE AREA WIDTH (FT) PER SEMC 62.1208-10	TRENCH WIDTH (FT)	TRENCH LENGTH (FT)	STREET MORATORIUM (Y/N)
LAS LOMAS ST.	UDALL ST. TO VOLTAIRE ST.	LOCAL	WET	LATERAL	2/28/16	6.17'	2.4'	11.0'	N
LAS LOMAS ST.	UDALL ST. TO VOLTAIRE ST.	LOCAL	WET	MAIN	2/28/16	6.17'	2.0'	50.9'	N
LAS LOMAS ST.	UDALL ST. TO VOLTAIRE ST.	LOCAL	DRY	LATERAL	2/28/16	3.8'	2.0'	9.5'	N

NOTE: ALL TRENCHES GREATER THAN 6 INCHES WIDE ON A STREET NOT UNDER MORATORIUM, SHALL BE SLURRY SEALED FROM CURB TO CURB, OR RAISED MEDIAN, TO SATISFACTION OF CITY ENGINEER.

PRIVATE SEWER LATERAL TABLE

LOT #	I.E. AT MAIN	LENGTH (FT)	DROP TO MAIN (FT)	I.E. AT R	TOP OF CURB ELEV. (T.C.)	DEPTH BELOW F.C. AT R	STA. #	SURVEY LOCATION OF CLEANOUT	REMARKS
1	82.05	201	N/A	82.40	87.44	5.00	1+98.77	N/A	N/A

AGREEMENT DATA

APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	SEE SHEET NUMBER(S)
EMRA	SHORING AND TIE BACK	2029650	5-7, 9-12
EMRA	UNDERGROUND GARAGE	2030106	5-7
EMRA	PRIVATE CURB OUTLET	2030068	5-7
EMRA	PRIVATE SEWER LATERAL AND CLEANOUT	2419771	6, 22

UTILITY NOTES:

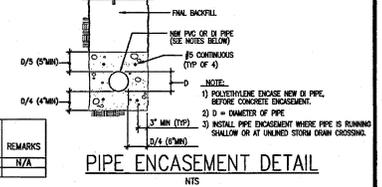
- CONSTRUCT SEWER MANHOLE
- CONSTRUCT SEWER CLEANOUT
- CONSTRUCT PRIVATE 8" SEWER LATERAL
- CONSTRUCT PIPE ENCASEMENT PER DETAIL BELOW

CONSTRUCTION NOTES:

- CONSTRUCT TRENCH RESURFACING PER SDG-107

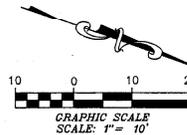
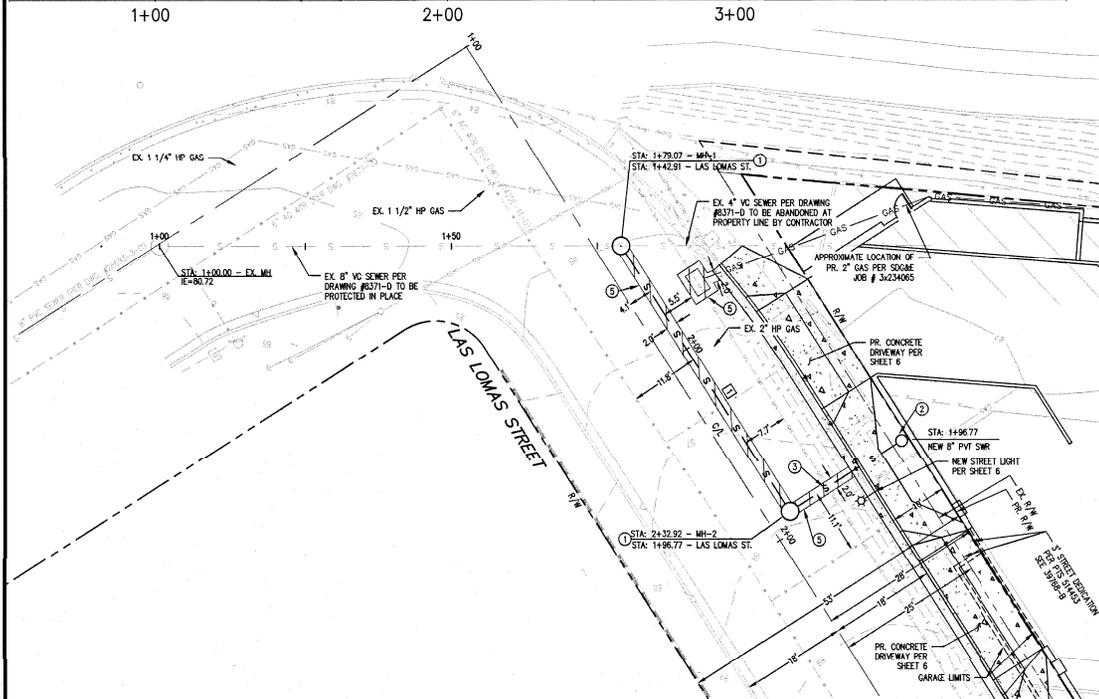
BUILDING PERMIT:

BUILDING PIS #655288



SEWER MAIN DATA TABLE

NO.	BEARINGS/Delta	RADIUS	LENGTH	REMARKS
(1)	N30° 06' 00.00"E	-	50.9'	8" PVC SEWER SDG-35



**Civil Landworks**

110 COPPERWOOD WAY, SUITE P, OCEANSIDE, CA 92058  
PH: 760-908-8745 • info@civillandworks.com



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IMPROVEMENT PLANS FOR:

**8" PVC SEWER MAIN**

LOT 1 NIMITZ CENTER MAP NO. 4584

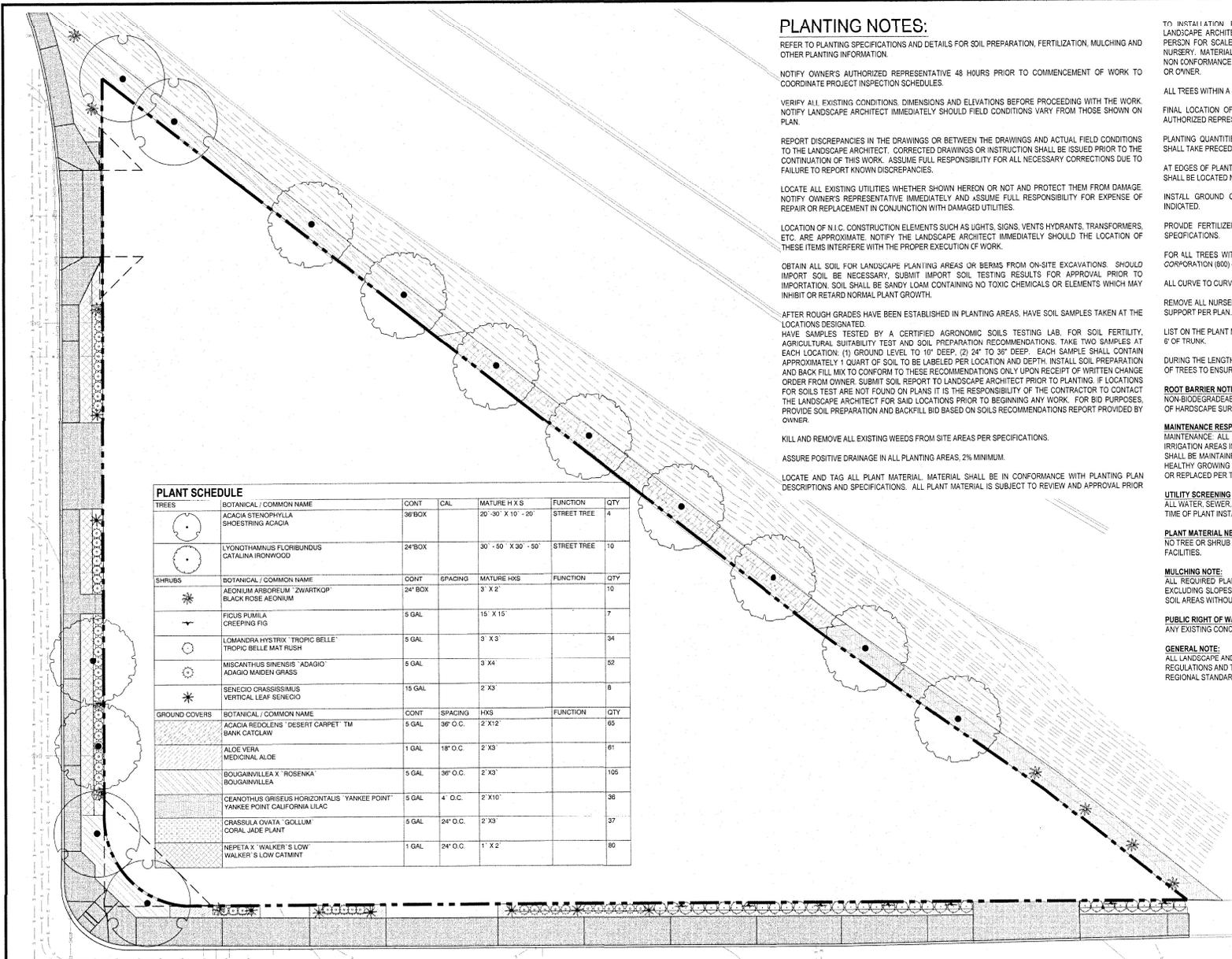
CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 22 OF 22 SHEETS

I.D. NO. \_\_\_\_\_ PROJECT NO. 574782

FOR CITY ENGINEER	DATE	V.T.M.
DESIGNER	APPROVED	DATE
ORIGINAL	CLIP	
AS-BUILTS		

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

INSPECTOR: \_\_\_\_\_



### PLANTING NOTES:

TO INSTALLATION PROVIDE PHOTOS OF REPRESENTATIVE EXAMPLES OF EACH TAGGED BLOCK TO LANDSCAPE ARCHITECT MINIMUM 21 DAYS BEFORE ANTICIPATED DELIVERY. PHOTOS SHALL INCLUDE A PERSON FOR SCALE PURPOSES. LANDSCAPE ARCHITECT MAY OPT TO REVIEW MATERIAL AT GROWING NURSERY. MATERIAL DELIVERED TO THE SITE MAY BE REJECTED BASED ON UNHEALTHFUL APPEARANCE OR NON CONFORMANCE WITH SPECIFICATIONS EVEN IF PREVIOUSLY REVIEWED BY THE LANDSCAPE ARCHITECT OR OWNER.

FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

PLANTING QUANTITIES ARE GIVEN FOR CONVENIENCE ONLY. PLANT SYMBOLS AND SPECIFIED SPACING SHALL TAKE PRECEDENCE.

AT EDGES OF PLANTING AREAS, THE CENTER LINE OF THE LAST ROW OF SHRUBS AND/OR GROUND COVER SHALL BE LOCATED NO FARTHER FROM THE EDGE THAN ONE-HALF THE SPECIFIED ON-CENTER SPACING.

INSTALL GROUND COVER AND/OR SHRUB MASSES WITH TRIANGULAR SPACING UNLESS OTHERWISE INDICATED.

PROVIDE FERTILIZER TABLETS FOR EACH CONTAINER GROWN PLANT 1 GALLON AND LARGER PER SPECIFICATIONS.

FOR ALL TREES WITHIN 5'-0" OF PAVING, INSTALL ROOT BARRIER ALONG PAVING EDGE BY DEEP ROOT CORPORATION (800) 458-7050.

ALL CURVE TO CURVE AND CURVE TO TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH AND UNIFORM.

REMOVE ALL NURSERY STAKES AND ESPALIER RACKS IMMEDIATELY AFTER INSTALLATION UPON PROVIDING SUPPORT PER PLAN.

LIST ON THE PLANT MATERIAL GUARANTEE ALL EXISTING TREES THAT HAVE HAD WORK PERFORMED WITHIN 6' OF TRUNK.

DURING THE LENGTH OF THE GUARANTEE PERIOD BE RESPONSIBLE FOR PROPER STAKING AND/OR GUYING OF TREES TO ENSURE STABILITY.

**ROOT BARRIER NOTE:**  
NON-Biodegradable ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES WITHIN 5' OF HARDSCAPE SURFACES.

**MAINTENANCE RESPONSIBILITY:**  
MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

**UTILITY SCREENING**  
ALL WATER, SEWER AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

**PLANT MATERIAL NEAR SEWER LINES:**  
NO TREE OR SHRUB EXCEEDING 3' IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES.

**MULCHING NOTE:**  
ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

**PUBLIC RIGHT OF WAY:**  
ANY EXISTING CONCRETE STAMPS ON EXISTING R.O.W. CONCRETE SHALL BE PRESERVED IN PLACE.

**GENERAL NOTE:**  
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE LANDSCAPE TECHNICAL MANUAL AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	GAL	MATURE H X S	FUNCTION	QTY
	ACACIA STENOPHYLLA SHOESTRING ACACIA	36 BOX		20' - 30' X 10' - 20'	STREET TREE	4
	LYONTHAMNUS FLORIBUNDUS CATALINA IRONWOOD	24 BOX		30' - 50' X 30' - 50'	STREET TREE	10
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	MATURE H X S	FUNCTION	QTY
	AECONIUM ARBOREUM 'ZWARTKOP' BLACK ROSE AECONIUM	24 BOX		3' X 2'		10
	FIGUS PUMILA GREEPINS FIG	5 GAL		15' X 15'		7
	LOMANDRA HYSYTRIX 'TROPIC BELLE' TROPIC BELLE MAXI RUSH	5 GAL		3' X 3'		34
	MISCANTHUS SINENSIS 'ADAGIO' ADAGIO MANDEN GRASS	5 GAL		3' X 4'		52
	SENECIO CRASSISSIMUS VERTICAL LEAF SENECIO	15 GAL		2' X 3'		8
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	HXS	FUNCTION	QTY
	ACACIA REDOLENS 'DESERT CARPET' TM BANK CATCLAW	5 GAL	36" O.C.	2' X 12'		65
	ALOE VERA MEDICINAL ALOE	1 GAL	18" O.C.	2' X 3'		61
	BOUGAINVILLEA X 'ROSENKA' BOUGAINVILLEA	5 GAL	36" O.C.	2' X 3'		105
	CEANOTHUS GRISELIUS HORIZONTALIS 'YANKEE POINT' YANKEE POINT CALIFORNIA LILAC	5 GAL	4' O.C.	2' X 10'		36
	CRASSULA OVATA 'GOLLUM' CORAL JADE PLANT	5 GAL	24" O.C.	2' X 3'		37
	NEPETA X 'WALKER'S LOW' WALKER'S LOW CATMINT	1 GAL	24" O.C.	1' X 2'		80



*M.L.A. SD*  
103 82nd Street, Suite 400  
San Diego, CA 92123  
Tel: 619-594-9300, Fax: 619-594-9305

PRIVATE CONTRACT

PLANTING PLAN FOR

## POINTE PLAZA MIXED USE

LOT 1 NIMITZ CENTER MAP NO. 4584

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 21 OF 28 SHEETS

I.G. NO. \_\_\_\_\_  
PROJECT NO. 524702

APPROVED BY: *[Signature]* DATE: 8/24/10 V.T.M. \_\_\_\_\_

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	ML/SD			

AS-BUILTS \_\_\_\_\_

CONTRACTOR \_\_\_\_\_ DATE STARTED \_\_\_\_\_  
INSPECTOR \_\_\_\_\_ DATE COMPLETED \_\_\_\_\_

1800-6237  
VADEN COORDINATES  
210-1697  
LAMBERT COORDINATES

40332-21-D

