



# TORREY PINES SCIENCE PARK, LOT 12

## COASTAL DEVELOPMENT PERMIT / SITE DEVELOPMENT PERMIT

### SUBMITTAL PACKAGE

#### PROJECT DIRECTORY

**OWNER:**  
ARF - SD REGION NO. 17, LLC  
3830 WILLOW OAK ROAD, SUITE 440  
SAN DIEGO, CA 92131  
PHONE: (619) 530-8190  
FAX: (619) 530-8191

**CONTACT:** JEFF RYAN, VICE PRESIDENT

**ARCHITECT:**  
McFARLANE ARCHITECTS  
4350 EXECUTIVE DRIVE, SUITE 315  
SAN DIEGO, CA 92121  
PHONE: (619) 453-1150  
FAX: (619) 453-1911

**CONTACT:** NEAL McFARLANE, AIA  
PRESIDENT

**CIVIL ENGINEER:**  
R3 CONSULTING  
9755 CLAYTON ROAD, SUITE 100  
SAN DIEGO, CA 92131  
PHONE: (619) 514-5000  
FAX: (619) 514-5001

**CONTACT:** BRIAN OLIVER, P.E.  
VICE PRESIDENT

**LANDSCAPE ARCHITECT:**  
NOWEL # ASSOCIATES  
401 O GILPINCH ST  
SAN DIEGO, CA 92103  
PHONE: (619) 325-1980  
FAX: (619) 325-1997

**CONTACT:** GREG NOWELL, ASLA  
PRINCIPAL

#### CODE ANALYSIS

**APPLICABLE CODES:**

- 2001 CALIFORNIA BUILDING CODE (C.B.C.)
- 2001 CALIFORNIA MECHANICAL CODE (C.M.C.)
- 2001 CALIFORNIA PLUMBING CODE (C.P.C.)
- 2001 CALIFORNIA FIRE CODE (C.F.C.)
- 2001 CALIFORNIA ELECTRICAL CODE (C.E.C.)
- APPLICABLE ORDINANCES OF THE CITY OF SAN DIEGO
- APPLICABLE ORDINANCES OF THE COUNTY OF SAN DIEGO

**EXISTING TWO STORY R&D BUILDING**

**TYPE OF CONSTRUCTION PER C.B.C.:** TYPE V-N FULLY SPRINKLERED

**OCCUPANCY PER C.B.C.:** 'B'

**NUMBER OF STORIES:** TWO STORIES ABOVE GRADE ONLY

**TABLE 3-B REQUIRED SEPARATION IN BUILDINGS OF MIXED OCCUPANCY**

OCCUPANCIES TO BE SEPARATED: NONE  
FIRE RESISTIVE REQUIREMENT: NONE

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION:**

EXTERIOR WALLS-BEARING: 1 HR LESS THAN 20' NR ELSEWHERE  
EXTERIOR WALLS-NON BEARING: SAME AS BEARING  
OPENINGS: NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 6-A TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

BUILDING ELEMENT	FIRE RESISTIVE REQUIREMENT
1. BEARING WALLS - EXTERIOR	NR
2. BEARING WALLS - INTERIOR	NR
3. NON-BEARING WALLS - EXTERIOR	NR
4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**NEW TWO STORY R&D BUILDING**

**TYPE OF CONSTRUCTION PER C.B.C.:** TYPE V-N FULLY SPRINKLERED

**OCCUPANCY PER C.B.C.:** 'B' (TWO STORIES ABOVE GRADE) 'S-3' (ONE STORY BELOW GRADE)

**NUMBER OF STORIES:** TWO STORIES ABOVE GRADE  
TWO STORY BELOW GRADE

**TABLE 3-B REQUIRED SEPARATION IN BUILDINGS OF MIXED OCCUPANCY**

OCCUPANCIES TO BE SEPARATED: B / S-3  
FIRE RESISTIVE REQUIREMENT: 1 HR

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: B OCCUPANCY**

EXTERIOR WALLS-BEARING: 1 HR LESS THAN 20' FEET NR ELSEWHERE  
EXTERIOR WALLS-NON BEARING: SAME AS BEARING  
OPENINGS: NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: S-3 OCCUPANCY**

EXTERIOR WALLS-BEARING: 1 HR LESS THAN 20' NR ELSEWHERE  
EXTERIOR WALLS-NON BEARING: SAME AS BEARING  
OPENINGS: NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 6-A TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

BUILDING ELEMENT	FIRE RESISTIVE REQUIREMENT
1. BEARING WALLS - EXTERIOR	NR
2. BEARING WALLS - INTERIOR	NR
3. NON-BEARING WALLS - EXTERIOR	NR
4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**NEW PARKING DECK**

**TYPE OF CONSTRUCTION PER C.B.C.:** TYPE V-N FULLY SPRINKLERED

**OCCUPANCY PER C.B.C.:** 'S-3' (ONE STORY BELOW GRADE)

**NUMBER OF STORIES:** ONE STORY AT GRADE  
ONE STORY BELOW GRADE

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: B OCCUPANCY**

EXTERIOR WALLS-BEARING: 1 HR LESS THAN 20' FEET NR ELSEWHERE  
EXTERIOR WALLS-NON BEARING: SAME AS BEARING  
OPENINGS: NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: S-3 OCCUPANCY**

EXTERIOR WALLS-BEARING: 1 HR LESS THAN 20' NR ELSEWHERE  
EXTERIOR WALLS-NON BEARING: SAME AS BEARING  
OPENINGS: NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

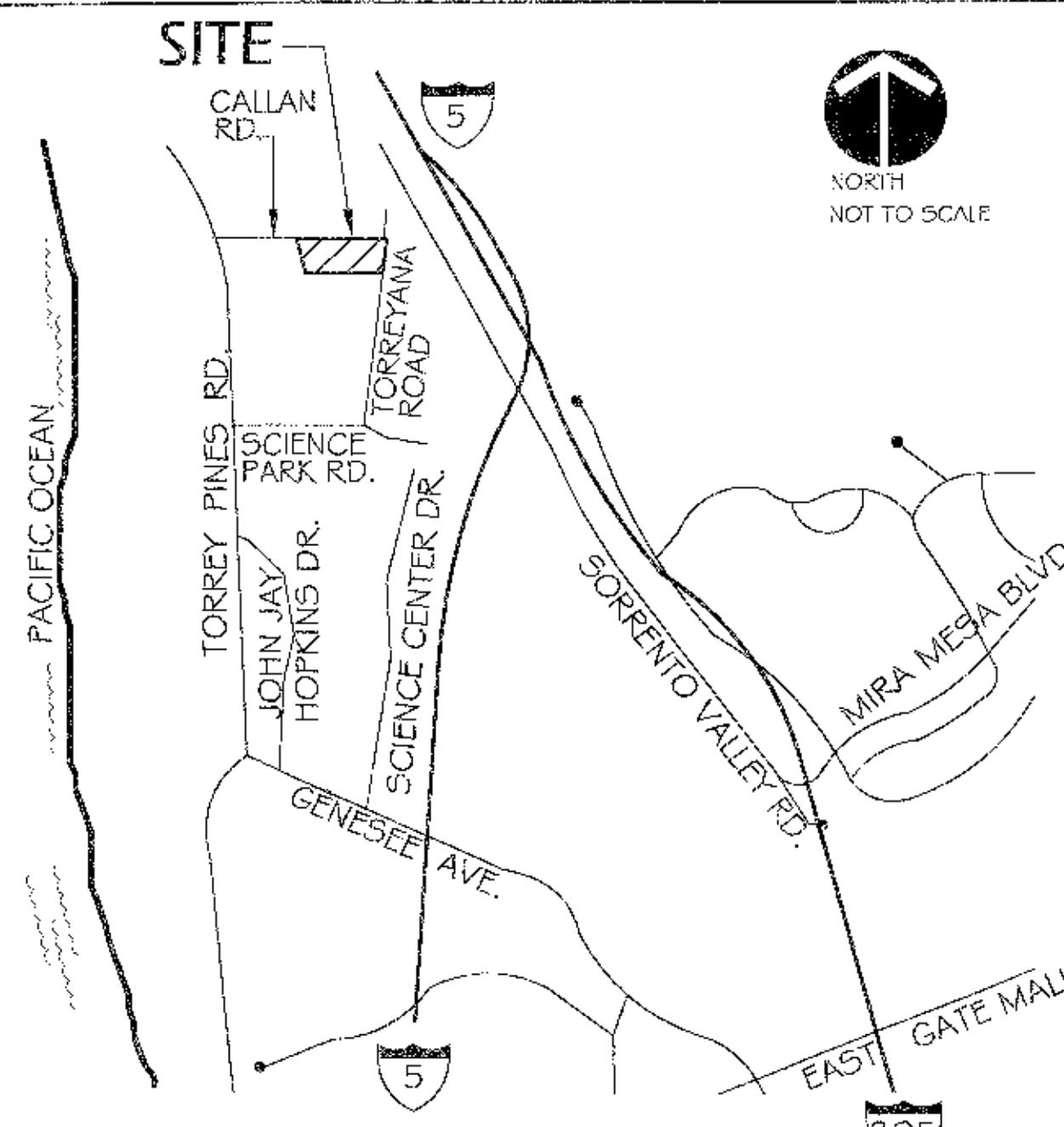
**TABLE 6-A TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

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1. BEARING WALLS - EXTERIOR	NR
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4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**ALLOWABLE FLOOR AREA CALCULATION PER C.B.C.**

SEC. 503.3, BUILDINGS ON SAME PROPERTY MAY BE COUNTED AS ONE BUILDING PER EXCEPTION  
SEC. 504.1, TABLE 5-B BASIS ALLOWABLE AREA: 8,000 S.F.  
SEC. 503.2, UNLIMITED AREA - WHEN BUILDING IS LIMITED TO 2 STORIES, B OCCUPANCY WITH 60' SIDEWAYS ON ALL SIDES (SEE BUILDING CODE ANALYSIS SHEET A1.1)

#### VICINITY MAP



#### PROJECT ASSESSMENT LETTER



June 11, 2003

Mr. Neal McFarlane  
American Institute of Architects  
2302 La Jolla Village Drive  
San Diego, CA 92037

Dear Mr. McFarlane:  
Subject: Amendment of Project Assessment Letter: Torrey Pines Science Park (P) of 17  
1096 Torreyana Rd., Coastal Development Permit (CDP) 02-04-002-01 (P)  
13-1136, P15 No. 2844

This letter is to amend the letter dated 11/16/02, to amend the letter to address issues that occurred as a result of the April 9, 2003, San Diego Coastal Development Permit (CDP) 02-04-002-01 (P) 13-1136, P15 No. 2844. The letter is to amend the letter to address issues that occurred as a result of the April 9, 2003, San Diego Coastal Development Permit (CDP) 02-04-002-01 (P) 13-1136, P15 No. 2844. The letter is to amend the letter to address issues that occurred as a result of the April 9, 2003, San Diego Coastal Development Permit (CDP) 02-04-002-01 (P) 13-1136, P15 No. 2844.

As per previous correspondence, a consultant with the State Coastal Development Permit No. 13-1136 and State Coastal Development Permit No. 13-1136, San Diego Coastal Development Permit (CDP) 02-04-002-01 (P) 13-1136, P15 No. 2844. The letter is to amend the letter to address issues that occurred as a result of the April 9, 2003, San Diego Coastal Development Permit (CDP) 02-04-002-01 (P) 13-1136, P15 No. 2844.

Development Services  
1400 La Jolla Village Drive  
San Diego, CA 92161

Page 2

Torrey Pines Science Park

June 11, 2003

Also attached is the comment letter from the MCAS. When resubmitting, please include an additional deposit of at least \$8,600 to ensure continued processing.

If you wish to discuss these issues, if you have any questions on, or if you wish to arrange a meeting to discuss the Development Services Department's assessment of your request, please contact me, Juan Balaguer, at (619) 446-5216, I am your project manager.

Sincerely,

Juan Balaguer / JRB

Juan Balaguer

Development Project Manager

Attachment: Letter from the Coastal Commission

Letter from USMC Miramar

cc: Joe Eckhardt, Engineering Review

Tracy Elliot-Yawn, Planning Review

Chris Blah, Metropolitan Transit Development Board

Will Kwan, Landscaping Review

Budy Jauregui, Transportation Development

Alan Lally, California Coastal Commission

Peter Schiller, Environmental Analysis Section

George Lutzinger, University Community Planning Group Chairperson

Cecilia Williams, Long-Range Planning

#### DEVELOPMENT SUMMARY

**PROJECT DESCRIPTION:**

- DEMOLITION OF EXISTING SITE IMPROVEMENTS (PARKING, COOLING TOWER, LANDSCAPING, DRAINAGE, ETC.), EXISTING TWO STORY BUILDING TO REMAIN.
- CONSTRUCTION OF A NEW 2 STORY RESEARCH & DEVELOPMENT BUILDING OVER 1 STORY BELOW GRADE BASEMENT PARKING STRUCTURE.
- ASSOCIATED SITE IMPROVEMENTS INCLUDING SITE UTILITIES, DRAINAGE SYSTEM, LANDSCAPING, HARDSCAPE AND GRADING.
- CONSTRUCTION OF A TWO LEVEL PARKING STRUCTURE, ONE LEVEL AT GRADE, ONE LEVEL BELOW GRADE.

**LEGAL DESCRIPTION:**  
LOT 12, UNIT #2 TORREY PINES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 6434 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO.

**SITE ADDRESS:**  
1096 TORREYANA ROAD, SAN DIEGO, CA 92121 (EXISTING STRUCTURE) UNASSIGNED (PROPOSED STRUCTURE)

**ASSESSOR'S PARCEL NO.:**  
340-010-34-00

**EXISTING CONDITIONS:**  
PREVIOUSLY DEVELOPED SITE (1096-61) WITH TWO STORY RESEARCH AND DEVELOPMENT BUILDING, LANDSCAPING AND PARKING.

**EXISTING PERMITS:**  
BUILDING PERMIT, PLAN FILE 891908, 1980  
COASTAL DEVELOPMENT PERMIT, 76913, 1979  
GRADING WORK ORDER 117237, DEC. 10, 1976; 43395, APR. 16, 1980

**PROPOSED USES:**  
RESEARCH & DEVELOPMENT (EXISTING STRUCTURE)  
RESEARCH & DEVELOPMENT (PROPOSED STRUCTURE)

**REQUIRED PERMITS:**  
SITE DEVELOPMENT PERMIT  
COASTAL DEVELOPMENT PERMIT  
PTS NO. 5844  
JOB NO. 42-1136

**LAND USE INFORMATION:**  
INDUSTRIAL PARK ZONE (IP-I)  
COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPOI)  
UNIVERSITY COMPREHENSIVE LAND USE PLAN (ACCIDENT POTENTIAL ZONE 2)  
COASTAL ZONE OVERLAY ZONE  
COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D)  
AIRPORT ENVIRONMENT OVERLAY ZONE, 60 CNE

**SITE AREA:**

	ACRES	SQ. FT.
GROSS SITE AREA (APPROX.)	6.222	271,040
LANDSCAPE AREA	1.474	71,748
HARDSCAPE AREA	2.446	106,642
BUILDING COVERAGE	1.687	68,723
BUILDING COVERAGE %	17.2	27,104

**DEVELOPMENT REQUIREMENTS:**

**FLOOR AREA RATIOS:**  
MAXIMUM ALLOWED FLOOR AREA RATIO: 1.00  
ACTUAL FLOOR AREA RATIO (142,569 SF / 1271,030 SF): .93

**SETBACKS:**

	NEW BUILDING		PARKING STRUCTURE	
	REQUIRED	PROPOSED	REQ. / PSD	PROPOSED
FRONT YARD	25'	405'-0"	25'	25'-0"
EXTERIOR SIDE YARD	25'	79'-5"	20'	60'-0"
IN DRIV. SIDE YARD	5'	69'-3"	5'	60'-0"
REAR YARD	25'	134'-6"	25'	53'-6"

**MAXIMUM BUILDING HEIGHT ALLOWED:**  
COASTAL HEIGHT OVERLAY ZONE (PROPOSITION D) PER ZONING ORDINANCE 101.045 (1) = 30'-0"  
ACTUAL BUILDING HEIGHT OF PROPOSED BUILDING PER BUILDING HEIGHT PER 2.1.4.2 (2) = 30'-0"  
(SEE SHEET A1.3 FOR GRAPHICAL DETAIL, SHOWING CONFORMANCE)

**ALLOWABLE GROSS FLOOR AREA PER UNIVERSITY PLAN:**  
SEE PAGE 146 OF UNIVERSITY COMMUNITY PLAN, TABLE 3, PREVIOUSLY APPROVED DEVELOPMENT. SEE LETTER FROM CITY OF SAN DIEGO DATED JUNE 11, 2003.  
ALLOWABLE GROSS FLOOR AREA: 42,569 S.F.\*

**GROSS FLOOR AREA:**

EXISTING BUILDINGS GROSS FLOOR AREA:	OCCUPANCY/USE	S	M	TOTAL
FIRST LEVEL		38,731 S.F.*	1,321 S.F.**	40,052 S.F.**
SECOND LEVEL		43,164 S.F.*	3,724 S.F.**	46,888 S.F.**
SUBTOTAL		81,895 S.F.*	5,045 S.F.**	86,940 S.F.**

**PROPOSED 2 STORY BUILDING'S GROSS FLOOR AREA:**

	OCCUPANCY/USE	S	M	TOTAL
FIRST LEVEL		30,971 S.F.*	1,200 S.F.**	32,171 S.F.**
SECOND LEVEL		29,203 S.F.*	1,970 S.F.**	31,173 S.F.**
SUBTOTAL		60,174 S.F.*	3,170 S.F.**	63,344 S.F.**

**GROSS FLOOR AREA OF EXISTING & PROPOSED BUILDINGS:** 142,569 S.F.\* 8,315 S.F.\*\* 150,884 S.F.\*\*

**FIRST LEVEL BASEMENT OF PROPOSED BUILDING** 36,862 S.F.\*\*  
**SECOND LEVEL BASEMENT OF PROPOSED BUILDING** 39,930 S.F.\*\*  
**SUBTOTAL** 76,792 S.F.\*\*

**TOTAL ABOVE AND BELOW GRADE SQUARE FOOTAGE OF PROPOSED BUILDING:** 140,406 S.F.\*\*

**BASEMENT LEVEL ONE OF PROPOSED PARKING DECK** 24,430 S.F.\*\*  
**BASEMENT LEVEL TWO OF PROPOSED PARKING DECK** 24,430 S.F.\*\*  
**GRADE LEVEL OF PROPOSED PARKING DECK** 24,430 S.F.\*\*  
**TOTAL ABOVE AND BELOW GRADE SQUARE FOOTAGE:** 73,290 S.F.\*\*

**GROSS FLOOR AREA OF BELOW GRADE PARKING: BOTH STRUCTURES** 48,360 S.F.\*\*  
**GROSS FLOOR AREA OF ABOVE AND BELOW GRADE, PROPOSED & EXISTING STRUCTURES:** 364,580 S.F.\*\*

\* GROSS FLOOR AREA AS DEFINED BY THE MUNICIPAL CODE  
\*\* MECHANICAL SPACE IS EXEMPT IN THE CALCULATION OF GROSS FLOOR AREA PER THE UNIVERSITY COMMUNITY PLAN  
\*\*\* THE BASEMENT LEVEL GROSS FLOOR AREA IS EXEMPT FROM INCLUSION IN THE GROSS FLOOR AREA CALCULATION PER MUNICIPAL CODE SECTION 11.3.02(A), 2.9  
\*\*\*\* THESE TOTALS ARE FOR INFORMATION ONLY. THEY ARE NOT THE GROSS FLOOR AREA TOTALS AS DEFINED BY THE MUNICIPAL CODE

**PARKING INFORMATION:**

**MINIMUM PARKING STALL REQUIREMENTS:**

STANDARD STALLS: 9'-0" WIDE X 18'-0" LONG  
9' OF WIDE X 18'-0" LONG WHERE ADJACENT TO A WALL OR COLUMN  
DISABLED PERSON STALLS: 9'-0" WIDE X 18'-0" LONG WITH 5'-0" ACCESS AISLE OR 8'-0" WIDE ACCESS AISLE AT VAN SPACE

**PARKING RATIOS PER MUNICIPAL CODE TABLE 142-05F:**

MINIMUM PARKING RATIO:	AT 142,569 S.F. =	AT 142,569 S.F. =
MINIMUM PARKING RATIO:	2.5 SPACES PER 1,000 S.F.	356
MINIMUM PARKING RATIO:	4.0 SPACES PER 1,000 S.F.	570
CARPOOL MINIMUM:	0.5 SPACES PER 1,000 S.F.	43
BICYCLE PARKING MINIMUM:	0.03 SPACES PER 1,000 S.F. (WO LOCKERS)	4
BICYCLE PARKING MINIMUM:	0.03 SPACES PER 1,000 S.F. (WITH LOCKERS)	4
MOTORCYCLE PARKING MIN.:	2% OF MIN. AUTOMOBILE PARKING	7

**PARKING TABULATION:**

ON SITE PARKING (INCLUDING DECK LEVEL)	= 183
BASEMENT LEVEL ONE PARKING AT PARKING DECK	= 53
BASEMENT LEVEL TWO PARKING AT PARKING DECK	= 59
FIRST LEVEL OF BASEMENT PARKING STRUCTURE UNDER NEW BUILDING	= 69
LOWER LEVEL OF BASEMENT PARKING STRUCTURE UNDER NEW BUILDING	= 97
TOTAL PARKING	= 461
PARKING RATIO PER 1,000 S.F.:	3.37

**CARPOOL PARKING PROVIDED:** 48  
**BICYCLE PARKING (WO LOCKERS) PROVIDED:** 10  
**BICYCLE PARKING WITH LOCKERS PROVIDED:** 4  
**MOTORCYCLE PARKING PROVIDED:** 10

#### SHEET INDEX

SHEET NO.	SHEET TITLE
TO-0	TITLE SHEET
	<b>CIVIL</b>
C1.0	EXISTING CONDITIONS GRADING AND DRAINAGE PLAN
C2.0	LANDSCAPE
L1.0	EXISTING SITE PLAN LANDSCAPE DEVELOPMENT PLAN LANDSCAPE ENLARGEMENT PLAN
L1.1	
L1.2	
	<b>ARCHITECTURAL</b>
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A1.1	BUILDING CODE ANALYSIS PLAN
A1.2	FIRE DEPARTMENT CRITERIA PLAN
A1.3	COASTAL HEIGHT COMPLIANCE PLAN
A1.4	DISABLED ACCESSIBILITY PLAN
A2.0	FIRST AND SECOND LEVEL BASEMENT FLOOR PLANS
A2.1	FIRST AND SECOND LEVEL FLOOR PLANS
A2.2	ROOF PLAN
A2.3	EASTERN PARKING STRUCTURE BASEMENT LEVEL PLAN
A3.0	EXTERIOR ELEVATIONS - PROPOSED BUILDING
A3.1	GRIFF ELEVATION / SECTION AT PARKING DECK
A4.0	PROJECT CROSS SECTIONS
A5.0	PHOTOGRAPHIC SURVEY OF LOT 12
A5.1	PHOTOGRAPHIC SURVEY OF VIEWS & ADJACENT PROPERTIES

Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL

Project No. 04-11-04



#### TORREY PINES SCIENCE PARK LOT 12

1096 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5: \_\_\_\_\_  
Revision 4: 09-09-05  
Revision 3: 05-20-05  
Revision 2: 01-01-05  
Revision 1: 11-12-04

APPROVED EXHIBIT A

PROJECT NO. 5844

APPROVED BY: JRB

APPROVED BY HEARING OFFICER: JRB

DATE: 3/15/06

SIGNATURE: JRB

Original Date: JANUARY 13, 2003

Sheet 1 of 20

DEP No. \_\_\_\_\_

SHEET TITLE

#### TITLE SHEET

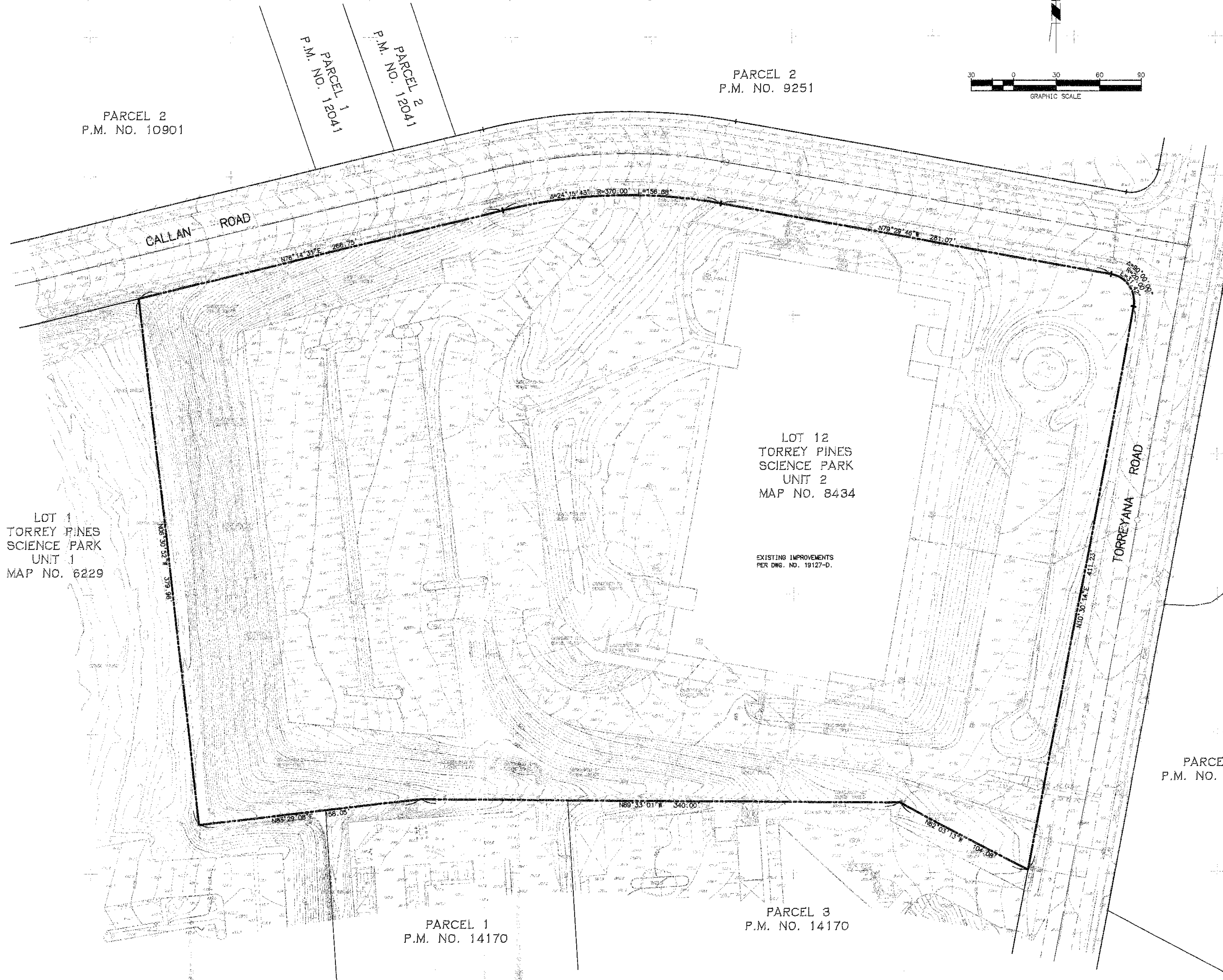
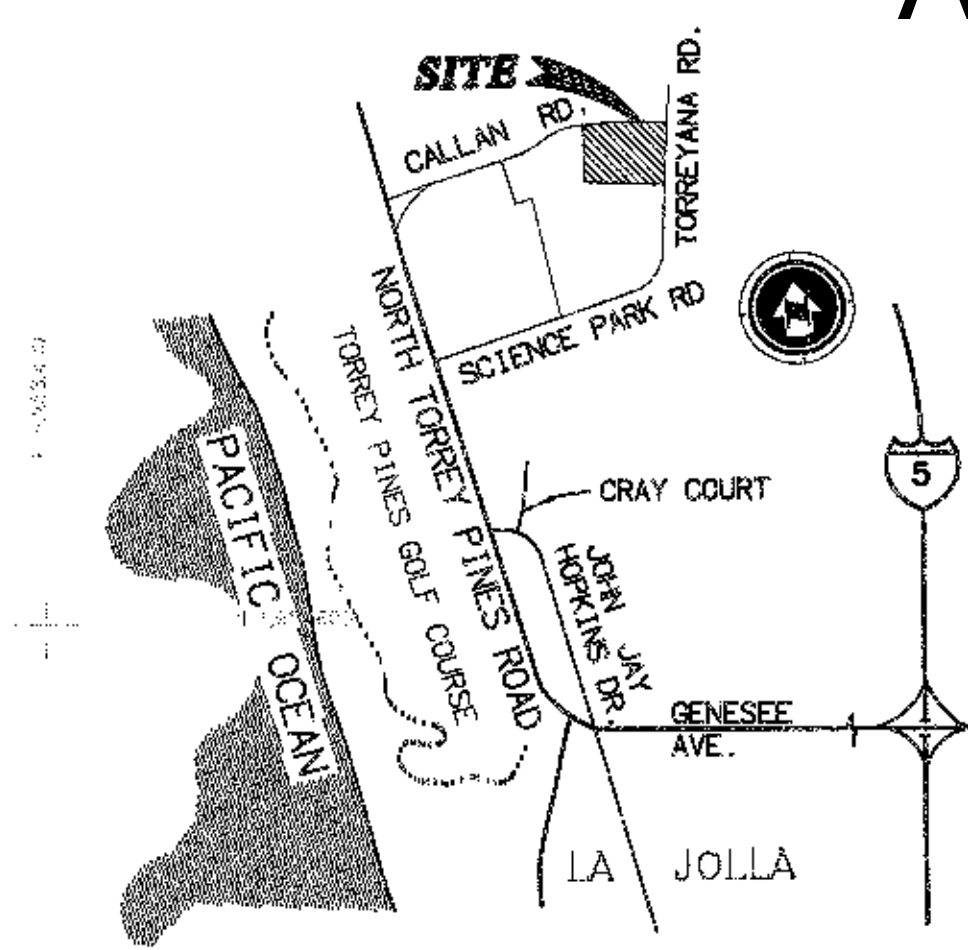
SHEET NUMBER  
TO.0

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VICINITY MAP  
NOT TO SCALE

LOT 7  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

PARCEL 1  
P.M. NO. 16609

LOT 12  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

EXISTING IMPROVEMENTS  
PER DWG. NO. 19127-D.

**LEGEND**

- EXISTING CONTOUR
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING STORM DRAIN CO
- STORM DRAIN
- SEWER
- STREET LIGHT
- CURB
- PROPERTY LINE
- EXISTING RECLAIMED WATER

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason
Project No.	04-114-04

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	04-01-05
Revision 1:	11-12-04
Orig. Date:	JANUARY 13, 2003

Sheet 2 of 20  
DEP. No.

SHEET TITLE

**EXISTING CONDITIONS/ TOPOGRAPHIC MAP**

SHEET NUMBER  
**C1.0**

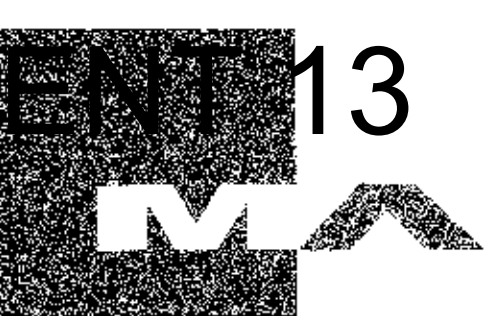
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AERIAL TOPOGRAPHY PREPARED BY:  
PHOTOGEODETIC CORPORATION  
DATE OF PHOTOGRAPHY: 8/29/02  
DATUM: MEAN SEA LEVEL

ENGINEER OF WORK  
*Brian Oliver*  
BRIAN K. OLIVER, R.C.E. 45045  
Exp. 3/31/06 DATE

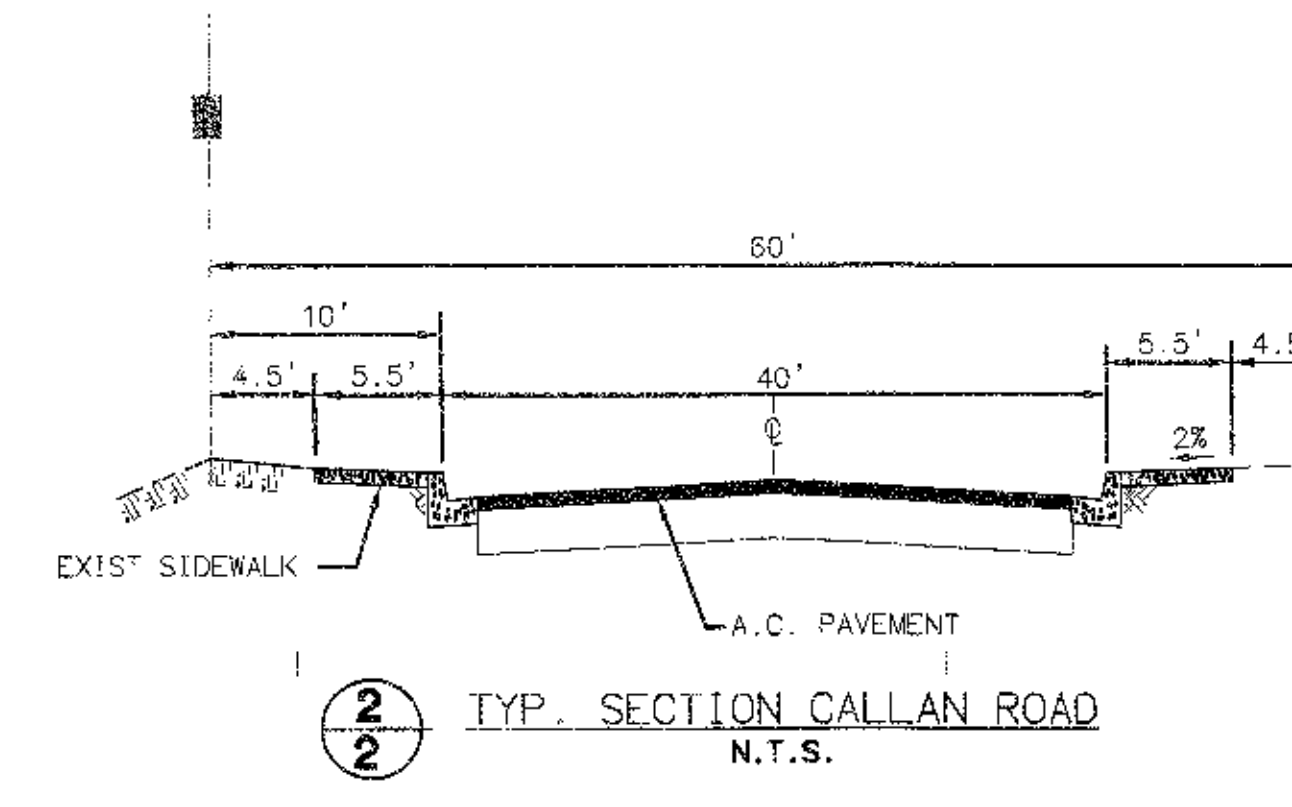
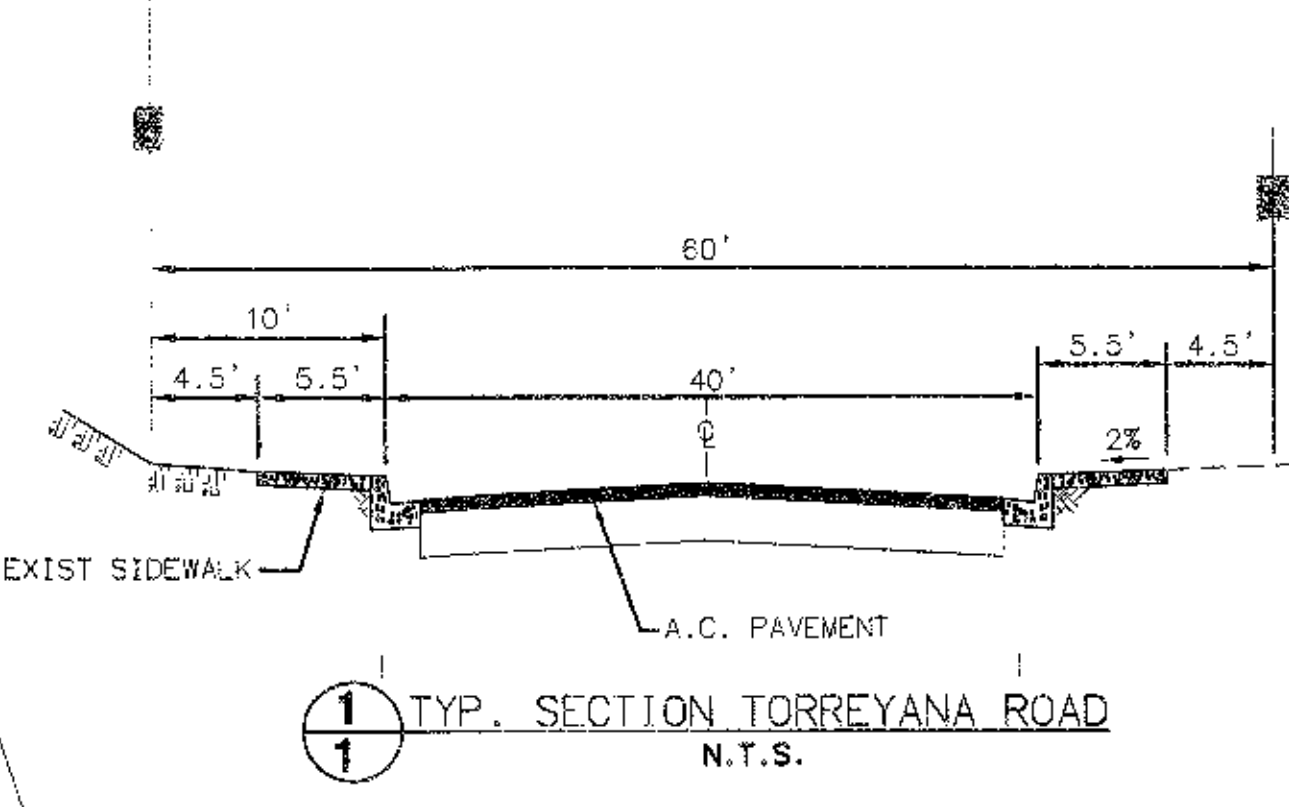
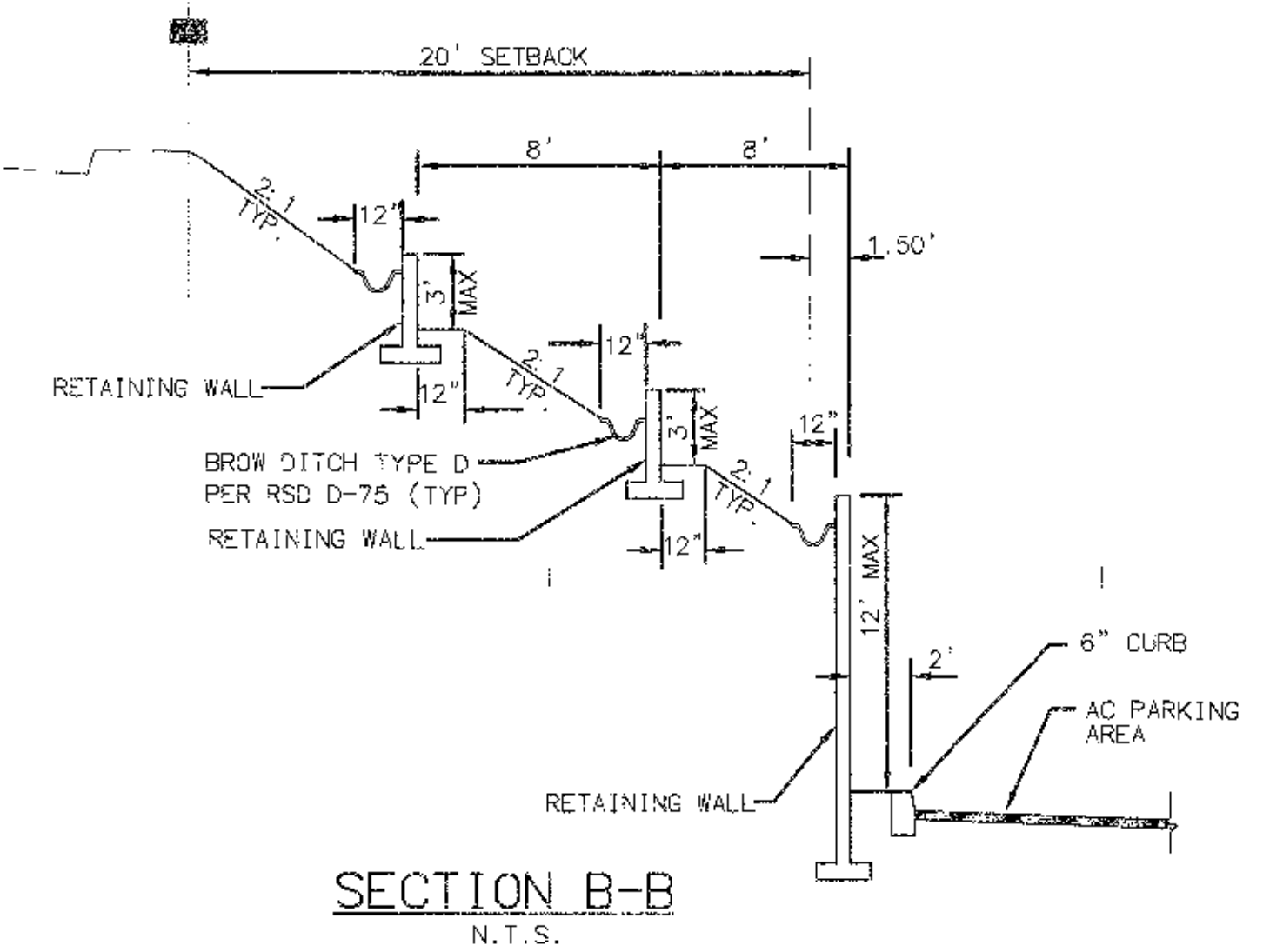
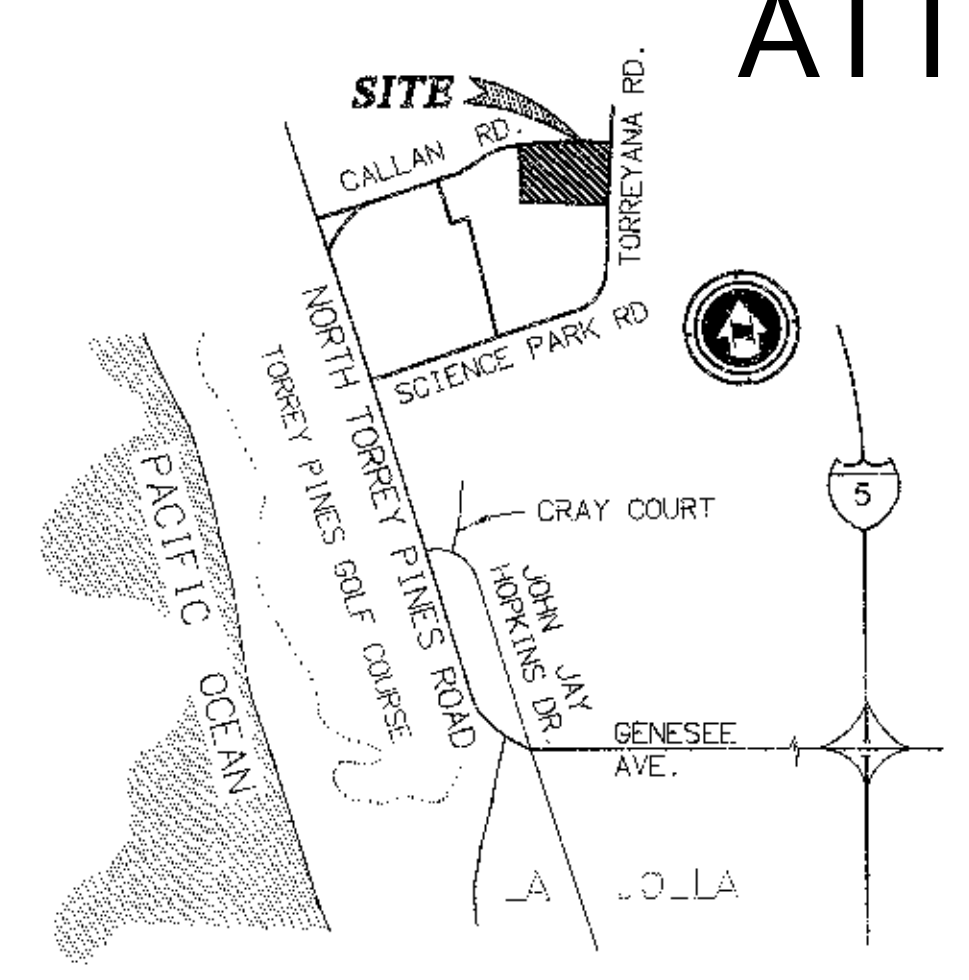


6844  
CDP 9828  
SDP 9829  
*Brian Oliver* 3/15/06





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 info@mcfarlanearchitects.com



SECTION B-B  
N.T.S.  
PARCEL 2  
P.M. NO. 10901

1 TYP. SECTION TORREYANA ROAD  
N.T.S.

2 TYP. SECTION CALLAN ROAD  
N.T.S.

PARCEL 2  
P.M. NO. 9251

VICINITY MAP  
NOT TO SCALE

LOT 7  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- EXISTING STORM DRAIN CD
- EXISTING RECLAIMED WATER
- EXISTING STORM DRAIN
- EXISTING SEWER
- EXISTING STREET LIGHT
- EXISTING CURB
- PROPOSED CURB
- PROPOSED CONTOUR
- LIMITS OF GRADING
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE PAVING
- EXTENTS OF PROPOSED ASPHALT
- PROPOSED STORM DRAIN CLEANOUT (PVT)
- PROPOSED CATCH BASIN (PVT)
- PROPOSED "TYPE F" CATCH BASIN (PVT)
- PROP. CATCH BASIN (ATRIUM DRAIN) (PVT)
- PROP. DECK DRAINS (PVT)
- SEWER CLEANOUT (PVT)
- PROPOSED STORM DRAIN (PVT)
- PROPOSED SEWER (PVT)
- PROPOSED WATER MAIN (PVT)
- PROPOSED FIRE HYDRANT (PVT)
- PROPOSED FIRE DEPT. CONNECTION
- PROPOSED POST INDICATOR VALVE



PLANNING & DESIGN CORPORATION  
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 SAN DIEGO, CALIFORNIA 92128  
 619-594-9000 • FAX: 619-594-9001 • www.rbt.com

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Revision
Project No.	04-114-04

**SHEET NOTES**

- 1. CONNECT TO EXISTING WATER MAIN.
- 2. LIMITS OF BASEMENT.
- 3. RELOCATED PRIVATE FIRE HYDRANT.
- 4. 6" P. W/ BACKFLOW AND FIRE DEPARTMENT CONNECTION.
- 5. 2-2" DOMESTIC WATER SERVICES AND BACKFLOW PREVENTERS PER CITY STANDARDS.
- 6. CATCH BASIN OR INLET WITH FILTER INSERT (TYPICAL FOR ALL CATCH BASINS AND INLETS)
- 7. CONNECT TO EXISTING SEWER.
- 8. UNDERGROUND DETENTION UNIT
- 9. REMOVE EXISTING DRIVEWAY AND CONSTRUCT NEW CURB GUTTER AND SIDEWALK.
- 10. REGRADE TOP OF SLOPE TO PROVIDE 2% DRAINAGE FROM PROPERTY LINE TO BACK OF EXISTING SIDEWALK.
- 11. REMOVE AND REPLACE DAMAGE SIDEWALK.
- 12. RELOCATE EXISTING WATER SERVICES AND METER OUT OF DRIVEWAY.
- 13. FIRE SERVICE BACKFLOW PREVENTER.
- 14. RELOCATE EXISTING SEWER THRU NEW GARAGE.
- 15. CONNECT TO EXISTING STORM DRAIN.
- 16. RELOCATED WATER SERVICES AND METER.

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
 SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5:	4.05.09.05
Revision 4:	05.09.05
Revision 3:	04.01.05
Revision 2:	04.01.05
Revision 1:	11.12.04

Orig. Date: JANUARY 13, 2003

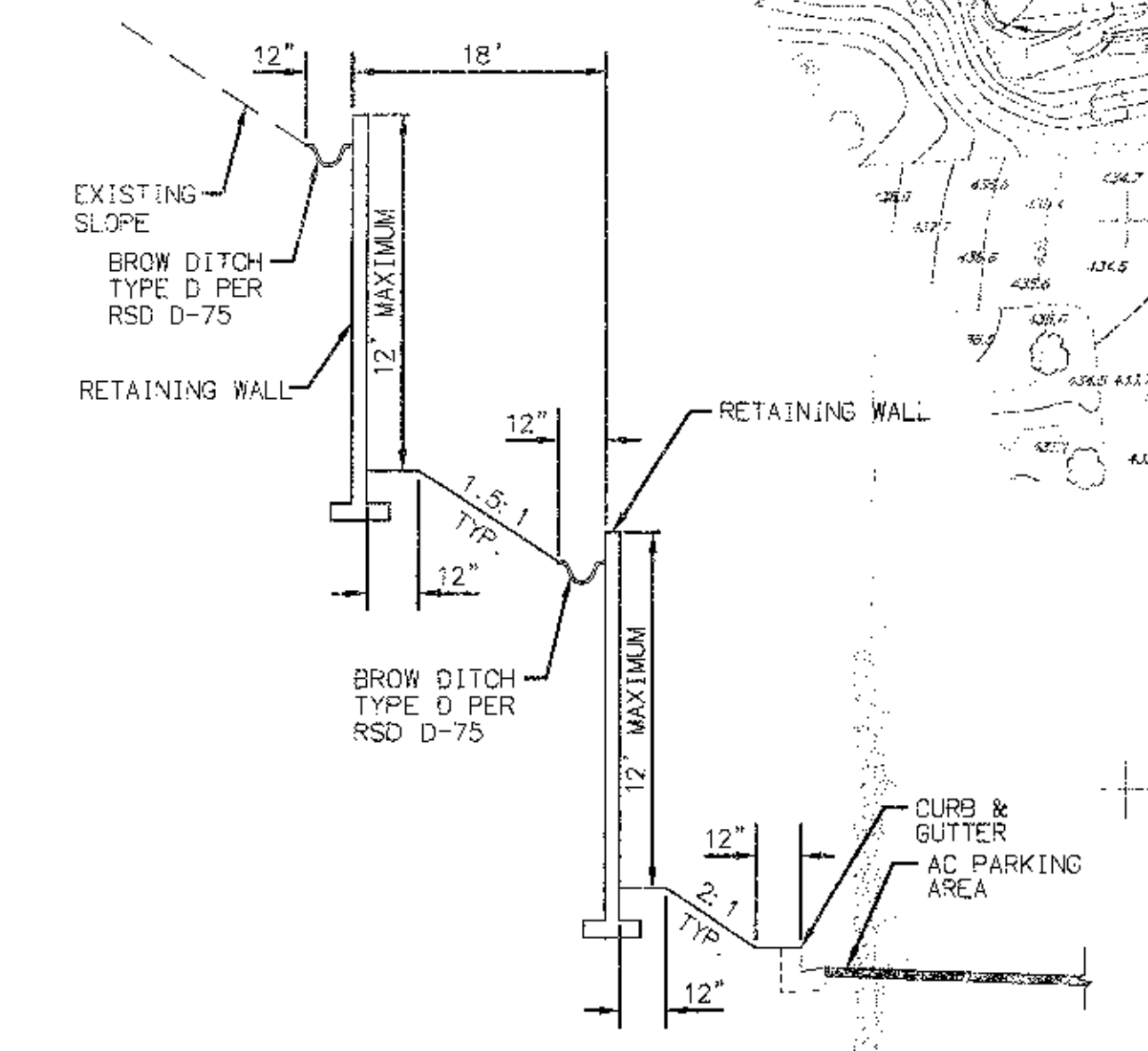
Sheet 3 of 20

DEP. No.

SHEET TITLE

**SCHEMATIC GRADING PLAN**

SHEET NUMBER  
**C2.0**



SECTION A-A  
N.T.S.

PARCEL 1  
P.M. NO. 14170

PARCEL 3  
P.M. NO. 14170

PARCEL 2  
P.M. NO. 16609

PARCEL 1  
P.M. NO. 1660

LOT 12  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

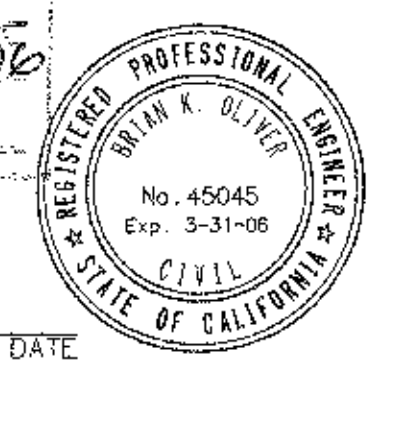
LOT 11  
TORREY PINES  
SCIENCE PARK  
UNIT 1  
MAP NO. 8229

SOURCE OF TOPOGRAPHY:  
 AERIAL TOPOGRAPHY PREPARED BY:  
 PHOTOGEODETIC CORPORATION  
 DATE OF PHOTOGRAPHY: 8/29/02  
 DATUM: MEAN SEA LEVEL

**NOTE:**  
 A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHICH INCLUDES BEST MANAGEMENT PRACTICES TO REDUCE THE POLLUTANTS TO DOWNSTREAM WATER BODIES WILL BE PREPARED PRIOR TO ISSUANCE OF GRADING PERMIT AND A NOTICE OF INTENT SUBMITTED TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD. THE SWPPP WILL INSURE REQUIREMENT FOR SCHEDULING MAINTENANCE AND CLEANUP OF SPILLS, ETC. FOR PERPETUITY.

**GRADING DATA:**  
 TOTAL AMOUNT OF SITE TO BE GRADED: 4 ACRES  
 PERCENT OF TOTAL SITE GRADED: 84.5%  
 AMOUNT OF SITE WITH 2% PERCENT SLOPES OR GREATER: 2.1 ACRES  
 PERCENT OF TOTAL SITE WITH 2% PERCENT SLOPES OR GREATER: 52.5%  
 AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0%  
 PERCENT OF TOTAL SITE WITHIN HILLSIDE REVIEW: 0%  
 AMOUNT OF CUT: 49,400 CY  
 AMOUNT OF FILL: 3,200 CY  
 MAXIMUM HEIGHT OF FILL SLOPE 14' FEET 2:1 SLOPE RATIO  
 MAXIMUM HEIGHT OF CUT SLOPE 10' FEET 2:1 SLOPE RATIO  
 AMOUNT OF EXPORT SOIL: 46,200 CY  
 RETAINING WALLS: HOW MANY: 7  
 MAXIMUM LENGTH: 2,150'  
 MAXIMUM HEIGHT: 12'

ENGINEER OF WORK  
 Brian K. Oliver  
 BRIAN K. OLIVER, R.C.E. 45045  
 EXP. 3/31/06



PROJECT NAME: CALLAN RD.  
 PROJECT NUMBER: 78802  
 DATE OF PHOTOGRAPHY: 8-29-02  
 SCALE: 1"=20'

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 LANDSCAPE ARCHITECTURE  
 4010 GOLDFINCH STREET, SAN DIEGO, CA 92103  
 TEL: 619.325.1990 FAX: 619.325.1997

APPROVED EXHIBIT 'A'  
 PROJECT NO. 5844  
 APPROVAL NO. CD 7828  
 APPROVAL NO. SD 9229  
 APPROVED BY: [Signature]  
 DATE: 3/15/04

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason
Project No.	04-114-04

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
 SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	04-01-05
Revision 1:	11-12-04

Orig. Date: JANUARY 13, 2003

Sheet 4 of 20

D&P No.

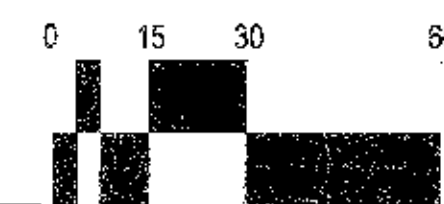
SHEET TITLE

**EXISTING TREE PLAN**

SHEET NUMBER  
**L1.0**

EXISTING TREE INVENTORY

NO.	BOTANICAL NAME / VARIETY	CM.	HEIGHT	FATE
1	Pinus halepensis	7'	20'	KEEP
2	Pinus halepensis	4'	15'	REMOVE
3	Pinus halepensis	6'	18'	REMOVE
4	Pinus halepensis	16'	15'	KEEP
5	Pinus halepensis	18'	15'	REMOVE
6	Pinus halepensis	14'	30'	REMOVE
7	Pinus halepensis	15'	30'	REMOVE
8	Pinus halepensis	8'	15'	REMOVE
9	Pinus halepensis	12'	15'	KEEP
10	Pinus halepensis	6'	18'	REMOVE
11	Pinus halepensis	5'	20'	REMOVE
12	Pinus halepensis	6'	15'	REMOVE
13	Pinus halepensis	8'	22'	KEEP
14	Pinus halepensis	5'	20'	REMOVE
15	Pinus halepensis	10'	25'	REMOVE
16	Pinus halepensis	10'	25'	REMOVE
17	Pinus halepensis	4'	14'	REMOVE
18	Pinus halepensis	12'	20'	REMOVE
19	Pinus halepensis	5'	18'	REMOVE
20	Pinus halepensis	10'	18'	REMOVE
21	Pinus halepensis	5'	15'	REMOVE
22	Pinus halepensis	5'	18'	REMOVE
23	Pinus halepensis	5'	20'	REMOVE
24	Pinus halepensis	12'	20'	REMOVE
25	Pinus halepensis	5'	18'	REMOVE
26	Pinus halepensis	5'	18'	REMOVE
27	Pinus halepensis	5'	18'	REMOVE
28	Pinus halepensis	4'	12'	REMOVE
29	Pinus halepensis	5'	18'	REMOVE
30	Pinus halepensis	5'	18'	REMOVE
31	Pinus halepensis	5'	18'	REMOVE
32	Pinus halepensis	5'	18'	REMOVE
33	Pinus attenuata	5'	25'	REMOVE
34	Pinus halepensis	12'	25'	REMOVE
35	Pinus halepensis	10'	18'	REMOVE
36	Pinus halepensis	10'	22'	REMOVE
37	Pinus halepensis	12'	22'	REMOVE
38	Pinus halepensis	16'	22'	REMOVE
39	Pinus halepensis	5'	28'	REMOVE
40	Pinus halepensis	5'	20'	REMOVE
41	Pinus halepensis	5'	22'	REMOVE
42	Pinus halepensis	5'	20'	REMOVE
43	Pinus halepensis	5'	18'	REMOVE
44	Pinus halepensis	7'	15'	REMOVE
45	Pinus halepensis	5'	15'	REMOVE
46	Pinus halepensis	5'	22'	REMOVE
47	Pinus halepensis	5'	20'	REMOVE
48	Pinus halepensis	5'	22'	REMOVE
49	Pinus halepensis	5'	25'	REMOVE
50	Pinus halepensis	10'	22'	REMOVE
51	Pinus halepensis	7'	18'	REMOVE
52	Pinus halepensis	5'	18'	REMOVE
53	Pinus halepensis	5'	14'	REMOVE
54	Pinus halepensis	5'	18'	REMOVE
55	Pinus halepensis	5'	20'	REMOVE
56	Pinus halepensis	5'	18'	REMOVE
57	Pinus halepensis	5'	18'	REMOVE
58	Pinus halepensis	7'	22'	REMOVE
59	Pinus halepensis	5'	18'	REMOVE
60	Pinus halepensis	5'	18'	REMOVE
61	Pinus halepensis	5'	24'	REMOVE
62	Pinus halepensis	5'	15'	REMOVE
63	Pinus halepensis	5'	18'	REMOVE
64	Pinus halepensis	10'	22'	REMOVE
65	Pinus halepensis	5'	18'	REMOVE
66	Pinus halepensis	5'	20'	REMOVE
67	Pinus halepensis	5'	18'	REMOVE
68	Pinus halepensis	7'	15'	REMOVE
69	Pinus halepensis	7'	18'	REMOVE
70	Pinus halepensis	5'	18'	REMOVE
71	Pinus halepensis	10'	18'	REMOVE
72	Pinus halepensis	5'	22'	REMOVE
73	Pinus halepensis	7'	20'	REMOVE
74	Pinus halepensis	5'	18'	REMOVE
75	Pinus halepensis	15'	28'	REMOVE
76	Pinus halepensis	7'	16'	REMOVE
77	Pinus halepensis	10'	12'	REMOVE
78	Pinus halepensis	10'	18'	REMOVE
79	Pinus halepensis	5'	12'	REMOVE
80	Pinus halepensis	5'	22'	REMOVE
81	Pinus halepensis	5'	22'	KEEP
82	Pinus halepensis	7'	18'	REMOVE
83	Pinus halepensis	5'	12'	KEEP
84	Pinus halepensis	5'	12'	KEEP
85	Pinus halepensis	5'	12'	KEEP
86	Pinus halepensis	5'	12'	KEEP
87	Schinus molle	7'	20'	REMOVE
88	Alnus rubra	18'	40'	REMOVE
89	Alnus rubra	14'	50'	REMOVE
90	Alnus rubra	12'	26'	REMOVE
91	Alnus rubra	12'	30'	REMOVE
92	Alnus rubra	12'	30'	REMOVE
93	Alnus rubra	14'	36'	REMOVE
94	Alnus rubra	12'	32'	REMOVE
95	Alnus rubra	18'	40'	REMOVE
96	Alnus rubra	14'	38'	REMOVE
97	Alnus rubra	12'	30'	REMOVE
98	Alnus rubra	16'	32'	REMOVE
99	Alnus rubra	18'	38'	REMOVE
100	Alnus rubra	18'	38'	REMOVE
101	Alnus rubra	10'	30'	REMOVE
102	Alnus rubra	10'	32'	REMOVE
103	Alnus rubra	14'	38'	REMOVE
104	Ficus benjamina	5'	20'	REMOVE
105	Ficus benjamina	5'	20'	REMOVE
106	Ficus benjamina	5'	20'	REMOVE
107	Alnus rubra	10'	30'	REMOVE
108	Alnus rubra	5'	26'	REMOVE
109	Alnus rubra	5'	24'	REMOVE
110	Alnus rubra	10'	30'	REMOVE
111	Alnus rubra	5'	22'	REMOVE
112	Alnus rubra	10'	28'	REMOVE
113	Melaleuca nesophila	6'	10'	REMOVE
114	Melaleuca nesophila	6'	8'	REMOVE
115	Melaleuca nesophila	6'	8'	REMOVE
116	Melaleuca nesophila	6'	8'	REMOVE
117	Melaleuca nesophila	6'	8'	REMOVE
118	Melaleuca nesophila	6'	10'	REMOVE
119	Melaleuca nesophila	5'	6'	REMOVE
120	Melaleuca nesophila	6'	8'	REMOVE
121	Melaleuca nesophila	6'	8'	REMOVE
122	Melaleuca nesophila	6'	10'	REMOVE
123	Melaleuca nesophila	6'	8'	REMOVE
124	Melaleuca nesophila	6'	8'	REMOVE
125	Melaleuca nesophila	6'	6'	REMOVE
126	Melaleuca nesophila	6'	6'	REMOVE
127	Melaleuca nesophila	6'	6'	REMOVE
128	Melaleuca nesophila	6'	8'	REMOVE
129	Melaleuca nesophila	6'	8'	REMOVE
130	Melaleuca nesophila	6'	8'	REMOVE
131	Melaleuca nesophila	6'	8'	REMOVE
132	Melaleuca nesophila	6'	6'	REMOVE
133	Melaleuca nesophila	6'	10'	REMOVE



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**LANDSCAPE NOTES**

**GENERAL**

A thorough soil analysis by a qualified agronomist will influence final plant selection, soil amendment, irrigation system design and use, and future maintenance practices.

All landscape maintenance shall be provided by the owner. The initial maintenance period will be sufficient in duration to insure that all specifications are met. This includes removal of noxious weeds, reseeded or plant replacement where necessary, insect and disease control, and continued fertilization as recommended by the agronomist.

All landscape and irrigation shall conform to the standards of the City-wide Landscape Regulations & Land Development Manual Landscape Standards, precise plan, and other applicable city and regional standards.

Plant materials have been selected that are suitable for the climate, and that integrate with the architectural theme.

Landscape drains shall be installed in planting areas as needed to prevent drainage across walkways and patio surfaces.

Tree root barriers shall be installed where trees are placed within 5 feet of public improvements.

**IRRIGATION**

All landscaped areas will be watered with a permanent below-grade, fully automatic irrigation system. This system will be controlled by a dual program electronic time clock and remote control valves. Pop-up type heads will be used adjacent to walkways and roadways. Bubbler heads will be used for landscaped areas less than 6' wide. The system will be installed as soon as possible after construction and prior to placement of plant materials.

The entire site will be irrigated with recycled water.

**MAINTENANCE**

All required landscape areas shall be maintained by the owner. The landscape areas shall be maintained in a free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the plan.

**USE AREAS: FORMS AND FUNCTIONS**

- A ± 40x80' arrival plaza area with large planting area and (3) benches. Benches shall be cast-in-place concrete, precast concrete, or powder coated steel. Paving shall be integral color concrete, concrete or brick pavers.
- B ± 40x50' informal garden seating area with (5) benches. Benches shall be cast-in-place concrete, precast concrete, or powder coated steel. Alternating bands of lawn and decomposed granite. Decomposed granite shall be New California Gold, or Coyote Gold, or Apache Brown.
- C ± 85x30' arrival plaza with (6) benches. Benches shall be as described above in 'A' and 'B'. Paving shall be as described above in 'A'.

**LANDSCAPE CALCULATIONS**

**STREET YARD AREA: 107,872 s.f.**  
Planting area required: 26,968 s.f. / Provided: 53,133 s.f. / Excess area provided: 26,165 s.f.  
Planting points required: 5,394 / Provided: 5,580 / Excess points provided: 186  
Points achieved through trees: 5,560

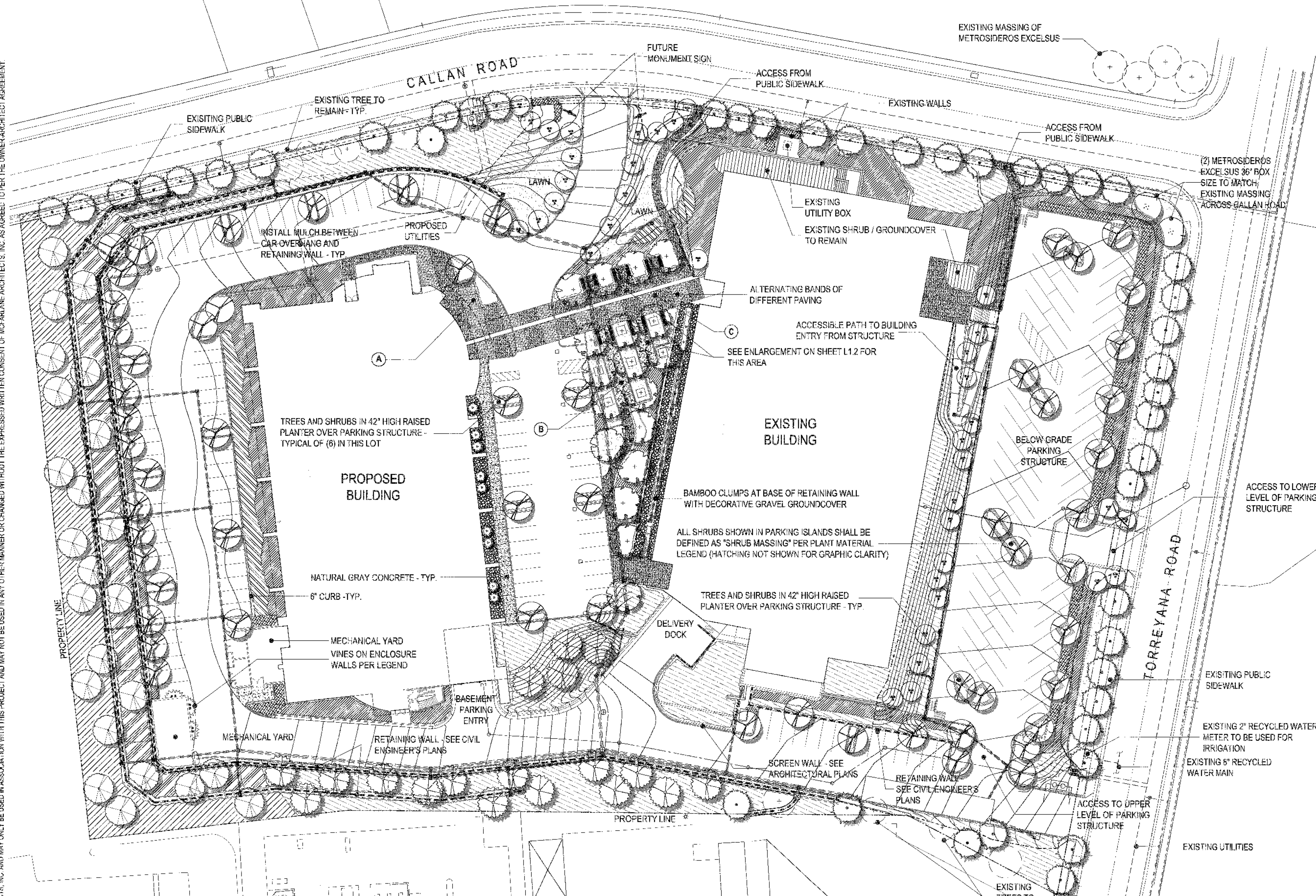
**VEHICULAR USE AREA (OUTSIDE STREETYARD)**  
Total Area: 35,524 s.f.  
Planting area required: 1,066 s.f. / Provided: 1,360 s.f. / Excess area provided: 294 s.f.  
Planting points required: 1,066 / Provided: 1,262 / Excess points provided: 196  
Points achieved through trees: 1,100

**VEHICULAR USE AREA (INSIDE STREETYARD)**  
Total Area: 42,778 s.f.  
Planting area required: 2,139 s.f. / Provided: 3,498 s.f. / Excess area provided: 1,359 s.f.  
Planting points required: 2,139 / Provided: 2,280 / Excess points provided: 141  
Points achieved through trees: 1,600

**REMAINING YARD AREA: 13,775 s.f.**  
Planting area required: 4,133 s.f. / Provided: 13,775 s.f. / Excess area provided: 9,642 s.f.  
Planting points required: 888 / Provided: 876 / Excess points provided: 188  
Points achieved through trees: 800

**STREET TREES IN PUBLIC RIGHT OF WAY:**  
Length of street property lines: 1,148'  
Street trees required: 38  
Street trees provided: 40 (1 existing)

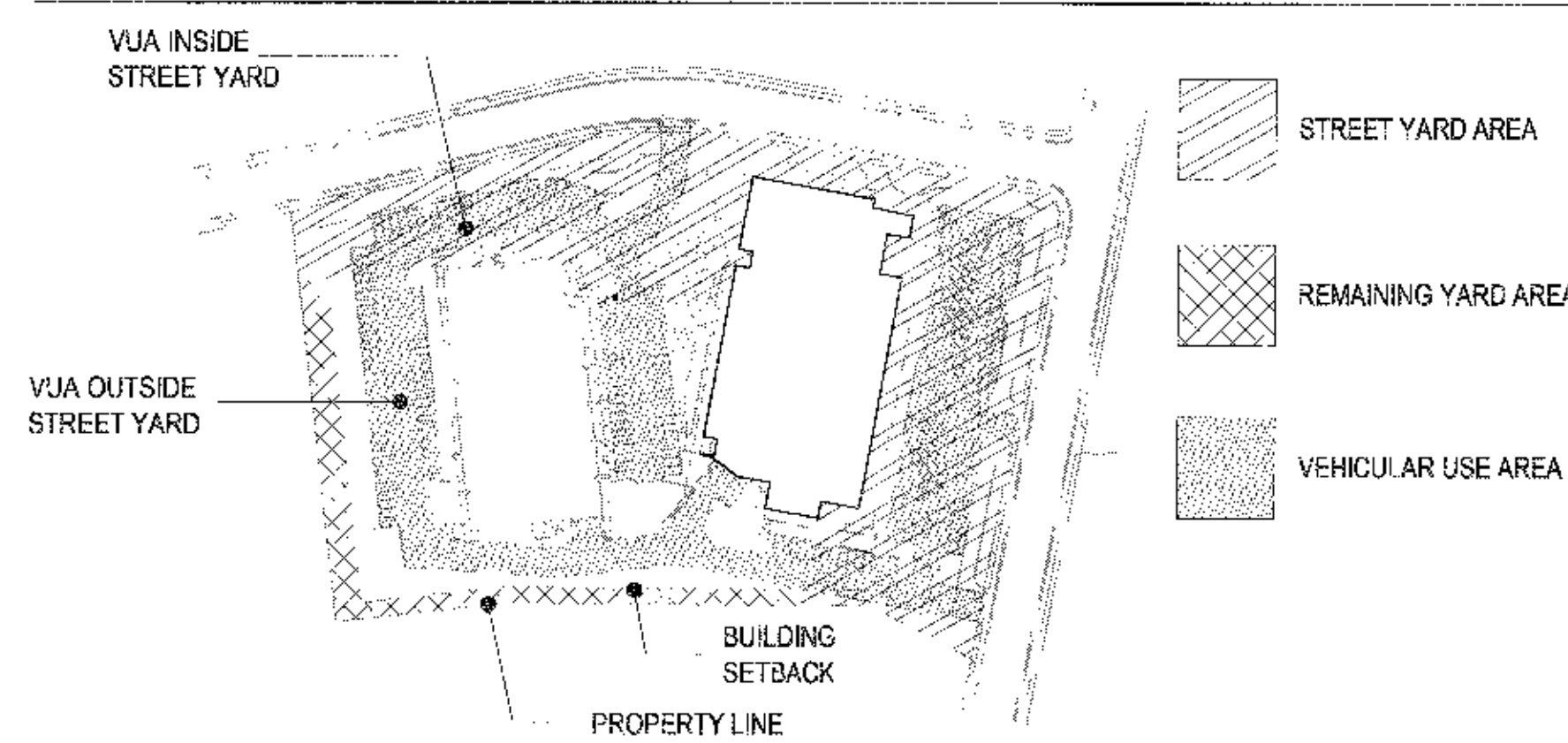
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-23-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	REASON
Project No.	04-114-04



**PLANT MATERIAL LEGEND**

- EXISTING TREES TO REMAIN**
- PARKING LOT TREE**  
(Broad-headed shade tree - 20' spread, 20-40' height)  
100% 36" box size, such as:  
Arbutus 'Marina' (NCN)  
Pyrus calleryana 'Bradford' (Bradford Pear)  
Tristania conferta (Brisbane Box)
- EVERGREEN TREES FOR PERIMETER**  
(Dense screening trees - 20-40' spread, 20-50' height)  
100% 24" box size, such as:  
Arbutus 'Marina' (NCN)  
Pinus torreyana (Torrey Pine)  
Tristania conferta (Box Brisbane)
- EVERGREEN SLOPE SCREENING TREES**  
(Dense screening trees - 20-40' spread, 20-50' height)  
100% 15 gallon size, such as:  
Pinus canariensis (Canary Island Pine)  
Pinus torreyana (Torrey Pine)  
Tristania conferta (Box Brisbane)
- SMALL TREE IN PRECAST CONCRETE POT**  
100% 15 gallon size in 36" diameter pot, such as:  
Bambusa Spp. (Clumping species)  
Eriopitys deflexa (Bronze Loquat)  
Rhapidolepis 'Majestic Beauty' (Majestic Beauty Rhaphiolepis)
- MULTI-TRUNK FLOWERING TREES FOR SITE ENTRY**  
(Accent trees - 12' spread, 15-25' height)  
100% 24" box size, such as:  
Arbutus unedo (Strawberry Madrone)  
Lagerstroemia x indica 'Tuscarora' (Tuscarora Crape Myrtle)  
Magnolia grandiflora 'Little Gem' (Little Gem Magnolia)  
Prunus caroliniana 'Purple-leaf Plum'
- SHADE TREES FOR PLAZA**  
(Openly-branched shade trees - 18' spread, 30-50' height)  
100% 24" box size, such as:  
Bambusa Spp. (Clumping species)  
Gleditsia tricanthos 'Shademaster' (Shademaster Honey Locust)  
Jacaranda mimosifolia (Jacaranda)  
Koeleria bipinnata (Chinese Flame Tree)
- EVERGREEN SLOPE SCREENING TREES - NATIVE**  
(Openly-branched shade trees - 18' spread, 30-50' height)  
100% 15 gallon size, such as:  
Pinus torreyana (Torrey Pine)  
Quercus agrifolia (Coast Live Oak)  
Heteromeles arbutifolia (Toyon)
- MEDIUM HEIGHT EVERGREEN SCREENING HEDGE**  
(Area to be covered by a 2" layer of bark mulch)  
(Dense screening shrubs - 6' spread, 5-6' height)  
100% 15 gallon size, such as:  
Bambusa Spp. (Clumping species) - 5' o.c. as shown  
Grewia occidentalis (Lavender Starflower) - 5' o.c. spacing  
Dodonea v. 'Purpurea' (Hopseed Bush) - 6' o.c. spacing  
Ligustrum japonica 'Texanum' (Texas Privet) - 36" o.c. spacing  
Prunus caroliniana 'Bright 'n' Tight' (Carolina Laurel Cherry) - 42" o.c. spacing
- SHRUB MASSING**  
(Area to be covered by a 2" layer of bark mulch)  
(Varying forms for spatial definition, 2-4' spread, height)  
100% 5 gallon size, such as:  
Abelia grandiflora 'Edward Goucher' (Glossy Abelia)  
Dielsia 'Orange Drop' (Fortnight Lily) - 48" o.c. spacing  
Eriopitys maculata (Spotted Eriopitys) - 60" o.c. spacing  
Eucalyptus x exoniensis 'Fridas' (Fridas Eucalyptus) - 50" o.c. spacing  
Euonymus japonicus 'Microphyllus' (Box Leaf Euonymus) - 36" o.c. spacing  
Lantana montevidensis (NCN) - 48" o.c. spacing  
Leptospermum scoparium 'Apple Blossom' (Apple Blossom Manuka) - 48" o.c. spacing  
Murraya exotica (Orange Jessamine) - 48" o.c. spacing  
Rhapidolepis indica 'Clara' (White Indie Hawthorne)  
Rosmarinus officinalis 'Tuscan Blue' (Tuscan Blue Rosemary) - 30" o.c. spacing  
Salvia greggii (Autumn Sage) - 36" o.c. spacing  
Vitex trifolia 'Purpurea' (Chaste Tree) - 48" o.c. spacing
- ACCENT PLANTINGS**  
(Area to be covered by a 2" layer of bark mulch)  
(Dramatic forms to accent planting beds, 2-5' spread, height)  
50% 5 gallon size, 50% 1 gallon size, such as:  
Agaveparthus hybrids (Lily of the Nile) - 24" o.c. spacing  
Callistemon viminalis 'Little John' (Little John oilcress) - 30" o.c. spacing  
Carex Spp. (Sedges) - 24" o.c. spacing  
Hebe 'Coed' (Coed Hebe) - 24" o.c. spacing  
Liriope muscari (Lily Turf) - 18" o.c. spacing  
Miscanthus transmontanus (Evergreen Miscanthus) - 60" o.c. spacing  
Phormium Spp. (New Zealand Flax) - 48" o.c. spacing  
Rosa 'Flower Carpet' (Flower Carpet Rose) - 30" o.c. spacing  
Senecio mandraliscae (Blue Chalk Sticks) - 36" o.c. spacing  
Sesleria autumnalis (Autumn Moor Grass) - 24" o.c. spacing
- LARGE EVERGREEN SHRUBS - NATIVE**  
(Slope coverage & erosion control)  
100% 5 gallon size, such as:  
Ceanothus griseus horizontalis (Wild Lilac) - 6' o.c. spacing  
Heteromeles arbutifolia (Toyon) - 6' o.c. spacing  
Myrica californica (Pacific Wax Myrtle) - 8' o.c. spacing
- MEDIUM EVERGREEN SHRUBS - NATIVE**  
(Slope coverage & erosion control)  
25% 5 gallon size, 75% 1 gallon size, such as:  
Arctostaphylos densiflora 'Howard McMillin' (Vine Hill Manzanita) - 48" o.c. spacing  
Arctostaphylos hookeri (Monte Rey Manzanita) - 60" o.c. spacing  
Ceanothus thyrsiflorus 'Skyline' (Skyline Wild Lilac) - 60" o.c. spacing  
Rhus integrifolia (Lemonrady Berry) - 48" o.c. spacing
- LOW-GROWING GROUNDCOVER ON SLOPES**  
(Slope coverage & erosion control)  
100% 1 gallon size, such as:  
Bougainvillea Spp. (Bougainvillea) - 8' o.c. spacing  
Cupressus patinii 'Verto Vista' (Verto Vista Cupressa) - 6' o.c.  
Colomeria damari (Seaberry Colomeria) - 10" o.c. spacing  
Myoporum parvifolium 'Pitah Creek' (Pitah Creek Myoporum) - 5' o.c. spacing  
Rosa banksii (Lady Bank's Rose) - 10" o.c. spacing  
Rosmarinus officinalis 'Prostratus' (Creeping Rosemary) - 30" o.c. spacing
- SMALL SCALE GROUNDCOVER**  
(Foreground planting 12-24" height)  
100% 1 gallon size, such as:  
Geranium (Cranes Bill) - 30" o.c. spacing  
Lantana montevidensis (NCN) - 36" o.c. spacing  
Rosmarinus officinalis (Rosemary) - 36" o.c. spacing  
Sollya heterophylla (Australian Bluebell Creeper) - 45" o.c. spacing  
Trachospermum jasmoides (Star Jasmine) - 48" o.c. spacing
- VINE PLANTING AT RETAINING WALLS (SCREENING WALLS)**  
100% 1 gallon size, such as:  
Ficus pumila (Creeping Fig) - 5' o.c. spacing  
Parthenocissus Incuspidata (Boston Ivy) - 8' o.c. spacing  
Distictis 'Rivers' (Royal Trumpet Vine) - 8' o.c. spacing

**LANDSCAPE CALCULATIONS DIAGRAM**



**LANDSCAPE DEVELOPMENT PLAN**

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

COP / SDP SUBMITTAL PACKAGE

Revision 1:	
Revision 2:	
Revision 3:	
Revision 4:	
Revision 5:	
Revision 6:	
Revision 7:	
Revision 8:	
Revision 9:	
Revision 10:	
Revision 11:	
Revision 12:	
Revision 13:	
Revision 14:	
Revision 15:	
Revision 16:	
Revision 17:	
Revision 18:	
Revision 19:	
Revision 20:	

Orig. Date: JANUARY 13, 2003

Sheet 5 of 20

DEP. No.

SHEET TITLE

**LANDSCAPE DEVELOPMENT PLAN**

SHEET NUMBER  
**L 1.1**

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**NOWELL & ASSOCIATES**

LANDSCAPE ARCHITECTURE

4010 GOLDFINCH STREET, SAN DIEGO, CA 92103  
TEL: 619.325.1990 FAX: 619.325.1997

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason

Project No. 06-114-C6

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

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Revision:	5:	_____
Revision:	4:	_____
Revision:	3:	_____
Revision:	2:	04-01-05
Revision:	1:	11-12-04

Orig. Date: JANUARY 13, 2003

APPROVED EXHIBIT "A"

PROJECT NO. EP04

APPROVAL NO. CDP 9828

APPROVAL NO. SDP 9827

APPROVED BY: [Signature] DATE: 01/15/06

SIGNATURE: [Signature]

LANDSCAPE ENLARGEMENT PLAN

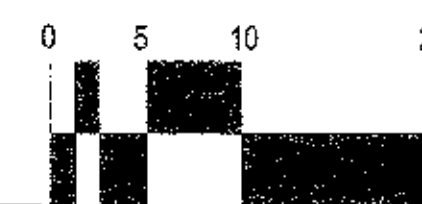
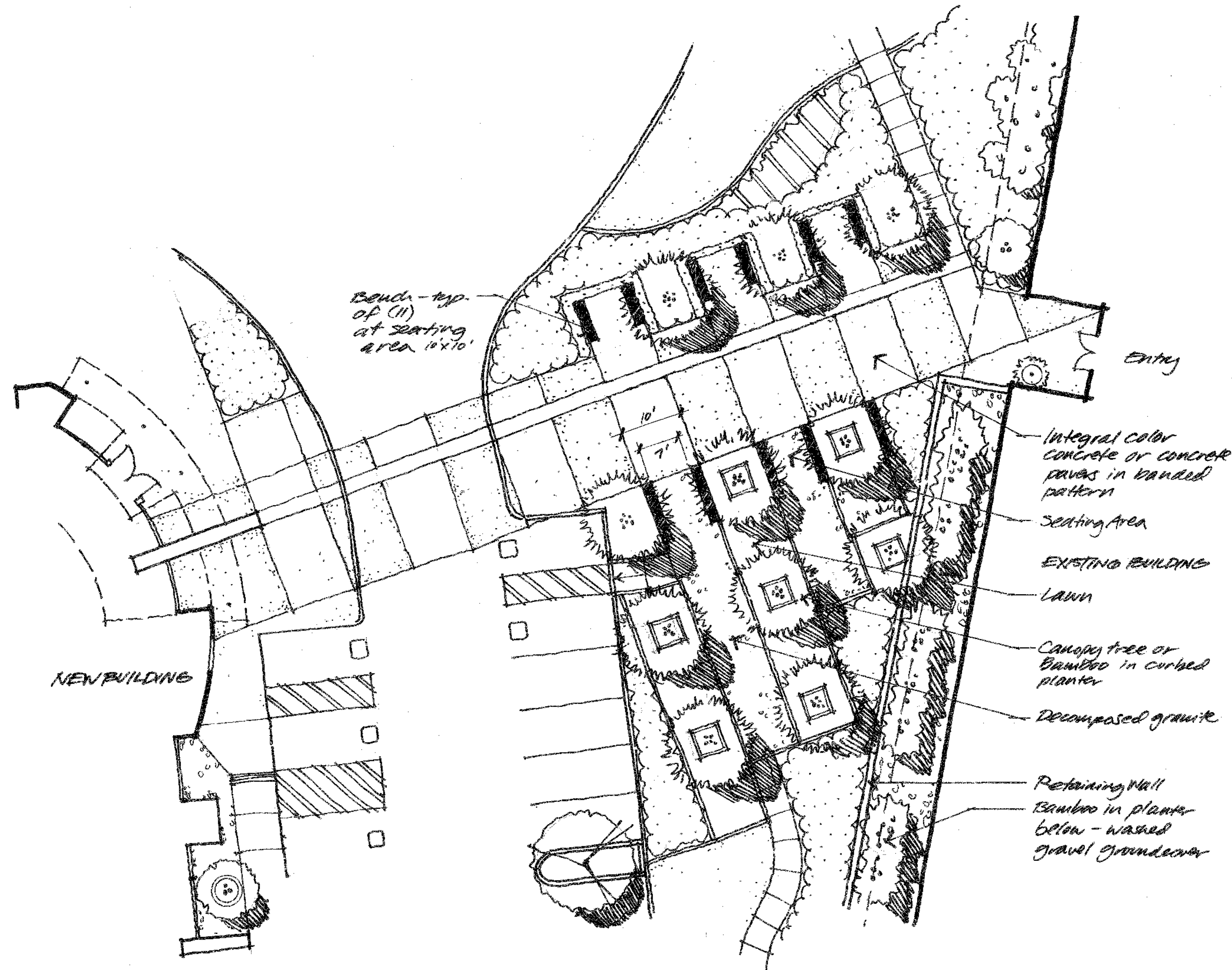
SHEET NUMBER  
**L 1.2**

**DESIGN STATEMENT**

The project is located at southwest corner of the intersection of Callan Road and Torreyana Road in the Torrey Pines Science Park. As suggested by the Design Guidelines for the Torrey Pines Sub-Area of the University Community Plan, the project is designed to blend into the surrounding landscape. We are proposing the use of Torrey Pines spaced informally along both Callan and Torreyana Roads to match the design of the surrounding properties on the East side of Torreyana Road and the north side of Callan Road. Between the existing building and Torreyana Road a new two level parking structure will be constructed. This will be screened from the street on the north and east sides by a combination of a large evergreen hedge and shrub masses along the street edge. Raised planters on the roof deck will provide landscape areas for shrubs and canopy trees to reduce heat in the parking area.

On both the south and west sides of the project are slopes that rise to meet the adjacent properties. These slopes will be planted with spreading evergreen groundcovers and a mixture of Torrey Pines and Brisbane Box. These trees along with Creeping Fig and Boston Ivy will help to screen the newly constructed retaining walls. The lowest retaining wall west of the new building will receive additional screening by a dense planting of trees along its base adjacent to the parking lot.

As one enters the site down the main driveway from Callan Road, bands of alternating colors of paving visually link the entrances of the new and existing buildings together. Between the buildings lies a large garden plaza that is intended to provide a series of smaller shaded garden room seating areas for employees or guests. The garden pattern is achieved by the use of alternating bands of stabilized decomposed granite paving and lawn that reinforces the informal garden nature of the spaces, while benches placed opposite one another offer conversational opportunities. Large clumps of Bamboo or lacy canopy trees will provide dappled shade and cover.



**GARDEN PLAZA ENLARGEMENT**

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1. SEE SHEET A1.3 FOR GRADE ELEVATIONS, BUILDING ELEVATIONS, HIGH POINT OF GRADE, LOW POINT OF GRADE, & SECTION DRAWINGS THAT DEMONSTRATE COMPLIANCE.

**ENGINEERING NOTES**  
1. NO EXISTING EASEMENTS.  
2. SEE SHEET C2.0 FOR EXISTING & PROPOSED UTILITIES.  
3. SEE SHEET A4.0 FOR SITE SECTIONS.  
4. SEE C2.0 FOR TOP OF WALL AND BOTTOM OF WALL ELEVATIONS FOR SITE RETAINING WALLS.

**SITE LIGHTING NOTES**  
1. STREET LIGHTING TO CONFORM TO CITY OF SAN DIEGO STREET DESIGN MANUAL, DOCUMENT # 769844, FILED JANUARY 12, 2001.  
2. SITE LIGHTING TO BE DIRECTED OR SHIELDED TO PREVENT LIGHT FROM SHINING OFF THE PREMISES.

**ENVIRONMENTAL NOTES**  
1. SEE BIOLOGY REPORT BY HELIX ENVIRONMENTAL.  
2. NO "STEEP HILLSIDES" EXIST ON THE PROPERTY, AS DEFINED BY MUNICIPAL CODE. THE PROPERTY WAS PREVIOUSLY DEVELOPED AND GRADED PER WORK ORDER NO. 117237 & 63595.  
3. THE SITE IS CLEAR OF ALL MHPA BOUNDARIES BY 500 FEET OR MORE. SEE BIOLOGICAL RESOURCES REPORT PREPARED BY HELIX ENVIRONMENTAL PLANNING INC. THAT HAS BEEN SUBMITTED TO THE CITY OF SAN DIEGO. THIS REPORT DOCUMENTS THE 16 PLANT SPECIES THAT EXIST ON THE SITE, NONE OF WHICH ARE SENSITIVE. STORMWATER RUNOFF WILL BE CONTROLLED PER THE CIVIL DRAWING C2.0 WITH THE REQUIRED SWPPP WHICH INCLUDES BEST MANAGEMENT PRACTICES AND THE NOTICE OF INTENT TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD.

**DISABLED ACCESS NOTES**  
1. SEE SHEET A1.4 FOR DISABLED ACCESS PLAN.

**TRANSPORTATION NOTES**  
1. SEE A1.4 FOR CLOSEST PUBLIC TRANSPORTATION STOP. NO STOPS EXIST ON CALLAN ROAD OR TORREYANA ROAD.

**MCAS MIRAMAR CLUP REQUIREMENTS**  
1. NO SUBSTANCES WILL BE RELEASED INTO THE AIR, NOR ELECTROMAGNETIC EMISSIONS, OR LIGHT EMISSIONS THAT WILL AFFECT AIRCRAFT OR GROUND INSTALLATION.  
2. THE CONSTRUCTION ASSEMBLIES OF THE SHELL BUILDING SHALL BE SUCH THAT THE INDOOR NOISE LEVELS ATTRIBUTABLE TO THE AIRCRAFT OPERATIONS OF MCAS MIRAMAR SHALL NOT EXCEED THE LEVEL INDICATED IN THE COMPREHENSIVE LAND USE PLAN.

**FIRE DEPARTMENT NOTES**  
1. SEE SHEET A1.2 FOR FIRE DEPARTMENT REQUIREMENTS.

**PARKING INFORMATION:**  
MINIMUM PARKING SHALL REQUIREMENTS:  
5' AVIARY: 6'-0" WIDE X 10'-0" LONG  
5' STALLS: 8'-0" WIDE X 18'-0" LONG WITH 1'-0" ACCESS TO A WALL OR CURB/RAIL  
DISABLED PERSON: 9'-0" WIDE X 18'-0" LONG WITH 1'-0" ACCESS TO A WALL OR CURB/RAIL AND 5'-0" WIDE ACCESS AISLE AT VAN SPACE  
PARKING SHALL BE PER MUNICIPAL CODE TABLE 142.03F:  
MINIMUM: 2.5 SPACES PER 1,000 S.F. AT 142.569 S.F. = 356 PER 1,000 S.F.  
MAXIMUM PARKING RATIO: 4.0 SPACES PER 1,000 S.F. AT 142.569 S.F. = 570  
CARPOOL MINIMUM: 0.3 SPACES PER 1,000 S.F. AT 142.569 S.F. = 43  
BICYCLE PARKING MINIMUM: 0.03 SPACES PER 1,000 S.F. (W/0 LOCKERS) AT 142.569 S.F. = 4  
MOTORCYCLE PARKING MIN.: 2% OF MIN. AUTOMOBILE PARKING A 3/16 SPACES = 7

**PARKING TABULATION:**

UPPER LEVEL BASEMENT PARKING (INCLUDING DISABLED PERSON STALLS):	89
LOWER LEVEL BASEMENT PARKING:	97
SUBTOTAL:	181
ON-SITE PARKING (INCLUDING D.P. STALLS):	183
BASEMENT LEVEL ONE PARKING AT PARKING DECK:	53
BASEMENT LEVEL TWO PARKING AT PARKING DECK:	59
TOTAL SITE PARKING COUNT:	481
PARKING RATIO PER 1,000 S.F.:	3.37

Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-14-02	COMPLETENESS SUBMITTAL

Project No. 04-114-04

Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-14-02	COMPLETENESS SUBMITTAL



**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

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Revision 5: \_\_\_\_\_  
Revision 4: 09-09-05  
Revision 3: 05-20-05  
Revision 2: 04-01-05  
Revision 1: 11-12-04

Orig. Date: JANUARY 13, 2003

Sheet 7 of 20

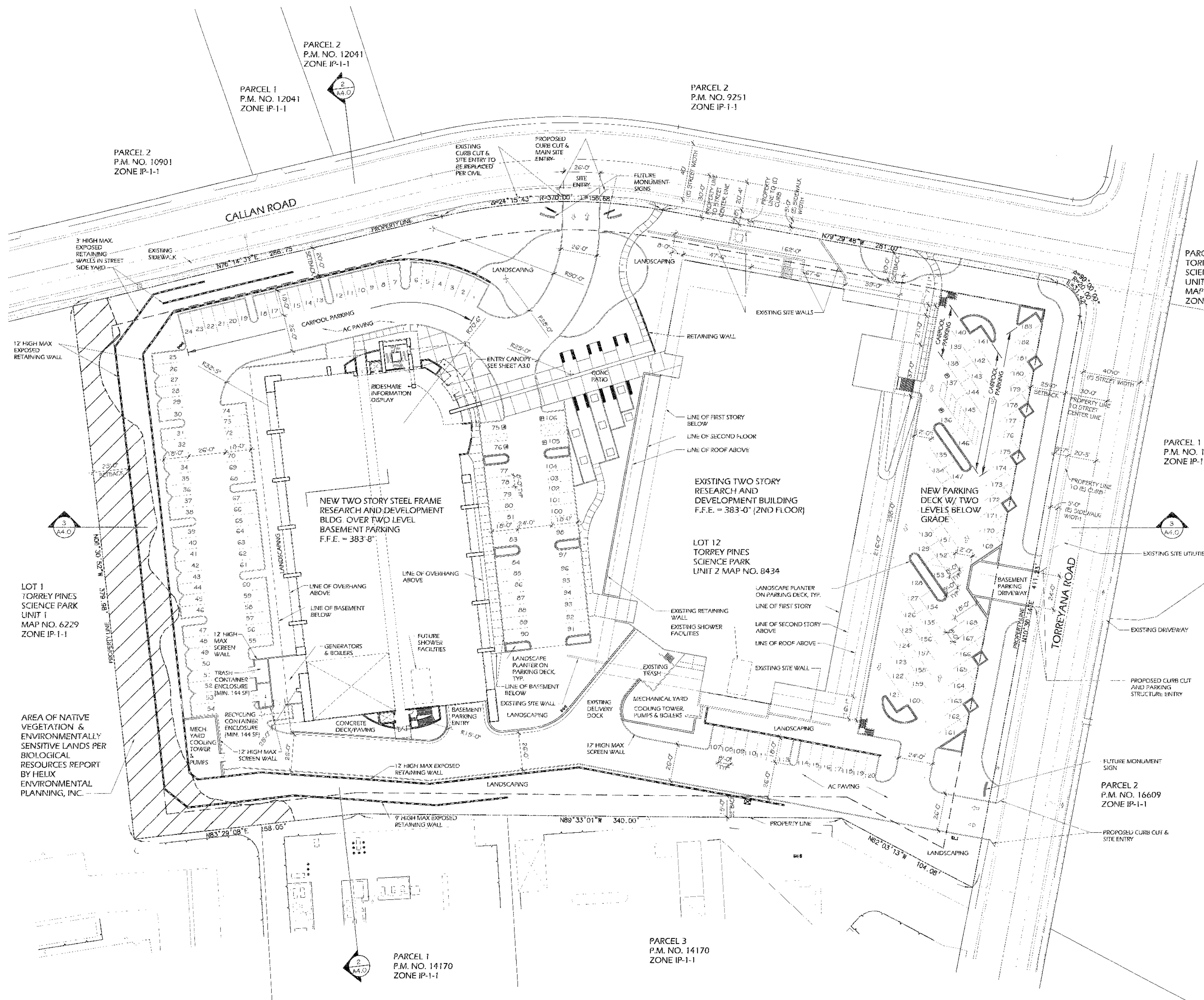
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SHEET TITLE

**SITE PLAN**

SHEET NUMBER

**A1.0**



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**SITE PLAN**  
SCALE: 1" = 30'-0"



APPROVED EXHIBIT #  
PROJECT NO. 5844  
APPROVAL NO. CDP 9828 SDP 9828  
APPROVED BY READING OFFICER  
DATE: 3/15/06  
SIGNATURE: [Signature]





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**CODE ANALYSIS**

**APPLICABLE CODES:**

1. 2001 CALIFORNIA BUILDING CODE (C.B.C.)
2. 2001 CALIFORNIA MECHANICAL CODE (C.M.C.)
3. 2001 CALIFORNIA PLUMBING CODE (C.P.C.)
4. 2001 CALIFORNIA FIRE CODE (C.F.C.)
5. 2001 CALIFORNIA ELECTRICAL CODE (C.E.C.)
6. APPLICABLE ORDINANCES OF THE CITY OF SAN DIEGO
7. APPLICABLE ORDINANCES OF THE COUNTY OF SAN DIEGO

**EXISTING TWO STORY R&D BUILDING**

TYPE OF CONSTRUCTION PER C.B.C.:	TYPE V-A FULLY SPRINKLERED
OCCUPANCY PER C.B.C.:	'B'
NUMBER OF STORIES:	TWO STORIES ABOVE GRADE ONLY

**TABLE 3-B REQUIRED SEPARATION IN BUILDINGS OF MIXED OCCUPANCY**

OCCUPANCIES TO BE SEPARATED: NONE	FIRE RESISTIVE REQUIREMENT: NONE
-----------------------------------	----------------------------------

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION:**

EXTERIOR WALLS-BEARING:	1 HR LESS THAN 20 FEET, NR ELSEWHERE
EXTERIOR WALLS-NON BEARING:	SAME AS BEARING
OPENINGS:	NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 6-A, TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

BUILDING ELEMENT	FIRE RESISTIVE REQUIREMENT
1. BEARING WALLS - EXTERIOR	NR
2. BEARING WALLS - INTERIOR	NR
3. NON-BEARING WALLS - EXTERIOR	NR
4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**NEW TWO STORY R&D BUILDING**

TYPE OF CONSTRUCTION PER C.B.C.:	TYPE V-A FULLY SPRINKLERED
OCCUPANCY PER C.B.C.:	'B' (TWO STORIES ABOVE GRADE) 'S-3' (TWO STORIES BELOW GRADE)
NUMBER OF STORIES:	TWO STORIES ABOVE GRADE TWO STORIES BELOW GRADE

**TABLE 3-B REQUIRED SEPARATION IN BUILDINGS OF MIXED OCCUPANCY**

OCCUPANCIES TO BE SEPARATED: B, S-3	FIRE RESISTIVE REQUIREMENT: 1 HR
-------------------------------------	----------------------------------

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: B OCCUPANCY**

EXTERIOR WALLS-BEARING:	1 HR LESS THAN 20 FEET, NR ELSEWHERE
EXTERIOR WALLS-NON BEARING:	SAME AS BEARING
OPENINGS:	NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: S-3 OCCUPANCY**

EXTERIOR WALLS-BEARING:	1 HR LESS THAN 20 FEET, NR ELSEWHERE
EXTERIOR WALLS-NON BEARING:	SAME AS BEARING
OPENINGS:	NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 6-A, TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

BUILDING ELEMENT	FIRE RESISTIVE REQUIREMENT
1. BEARING WALLS - EXTERIOR	NR
2. BEARING WALLS - INTERIOR	NR
3. NON-BEARING WALLS - EXTERIOR	NR
4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**NEW PARKING DECK**

TYPE OF CONSTRUCTION PER C.B.C.:	TYPE V-A FULLY SPRINKLERED
OCCUPANCY PER C.B.C.:	'B' (ONE STORY AT GRADE) 'S-3' (ONE STORY BELOW GRADE)
NUMBER OF STORIES:	ONE STORY AT GRADE ONE STORY BELOW GRADE

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: B OCCUPANCY**

EXTERIOR WALLS-BEARING:	1 HR LESS THAN 20 FEET, NR ELSEWHERE
EXTERIOR WALLS-NON BEARING:	SAME AS BEARING
OPENINGS:	NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

**TABLE 5-A EXTERIOR WALL AND OPENING PROTECTION: S-3 OCCUPANCY**

EXTERIOR WALLS-BEARING:	1 HR LESS THAN 20 FEET, NR ELSEWHERE
EXTERIOR WALLS-NON BEARING:	SAME AS BEARING
OPENINGS:	NOT PERMITTED LESS THAN 5 FT. PROTECTED LESS THAN 10 FT.

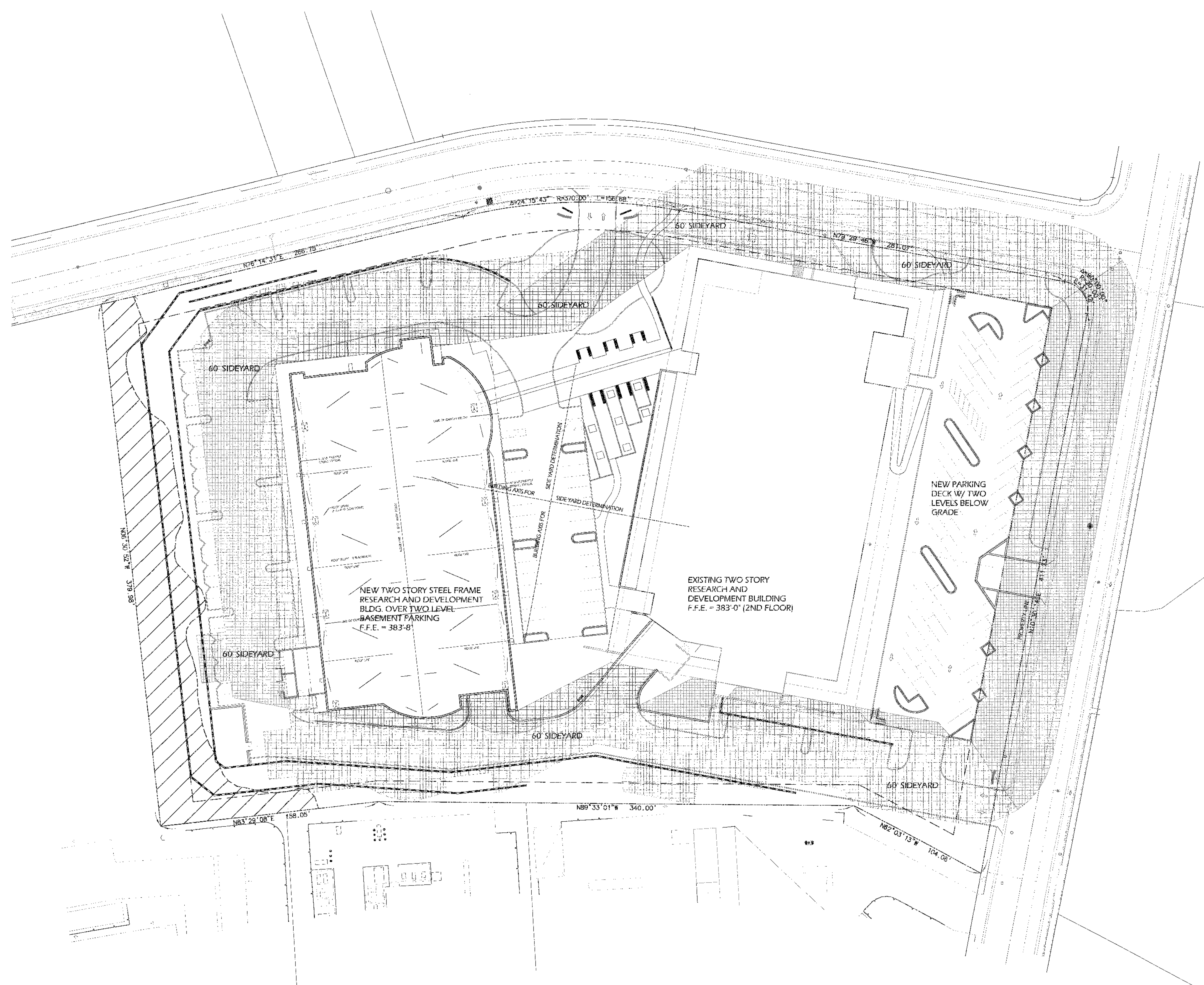
**TABLE 6-A, TYPE V - N, FIRE RESISTIVE CONSTRUCTION**

BUILDING ELEMENT	FIRE RESISTIVE REQUIREMENT
1. BEARING WALLS - EXTERIOR	NR
2. BEARING WALLS - INTERIOR	NR
3. NON-BEARING WALLS - EXTERIOR	NR
4. STRUCTURAL FRAME	NR
5. PARTITIONS - PERMANENT	NR
6. SHAFT ENCLOSURES	1 HR
7. FLOOR - FLOOR / CEILING	NR
8. ROOF - ROOF / CEILING	NR
9. EXTERIOR DOORS AND WINDOWS	PER SECTION 606.3, SEE TABLE 5-A
10. STAIRWAY CONSTRUCTION	PER SECTION 606.4, SEE TABLE 5-A

**ALLOWABLE FLOOR AREA CALCULATION PER C.B.C.**

SEC. 503.3, BUILDINGS ON SAME PROPERTY MAY BE COUNTED AS ONE BUILDING PER EXCEPTION  
SEC. 504.1, TABLE 5-B BASIC ALLOWABLE AREA: 8,000 S.F.  
SEC. 505.2, UNLIMITED AREA - WHEN BUILDING IS LIMITED TO 2 STORIES, B OCCUPANCY WITH  
60' SIDEYARDS ON ALL SIDES (SEE BUILDING CODE ANALYSIS SHEET A1.1)

APPROVED EXHIBIT "A"  
PROJECT NO. 08AA  
CDP 9828  
APPROVAL NO. SDP 9829  
APPROVED BY LEASING OFFICER  
DATE 3/15/08  
SIGNATURE [Signature]



09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FINAL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason

Project No. 04-114-04

ALEXANDRIA  
**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	04-01-05
Revision 1:	11-12-04

Orig Date: JANUARY 13, 2003

Sheet 8 of 20

DEP. No. \_\_\_\_\_

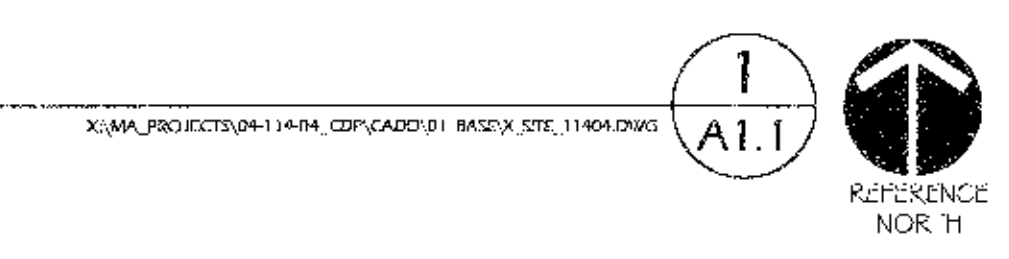
SHEET TITLE

**BUILDING CODE ANALYSIS PLAN**

SHEET NUMBER  
**A1.1**

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**BUILDING CODE ANALYSIS PLAN**  
SCALE: 1" = 30'-0"



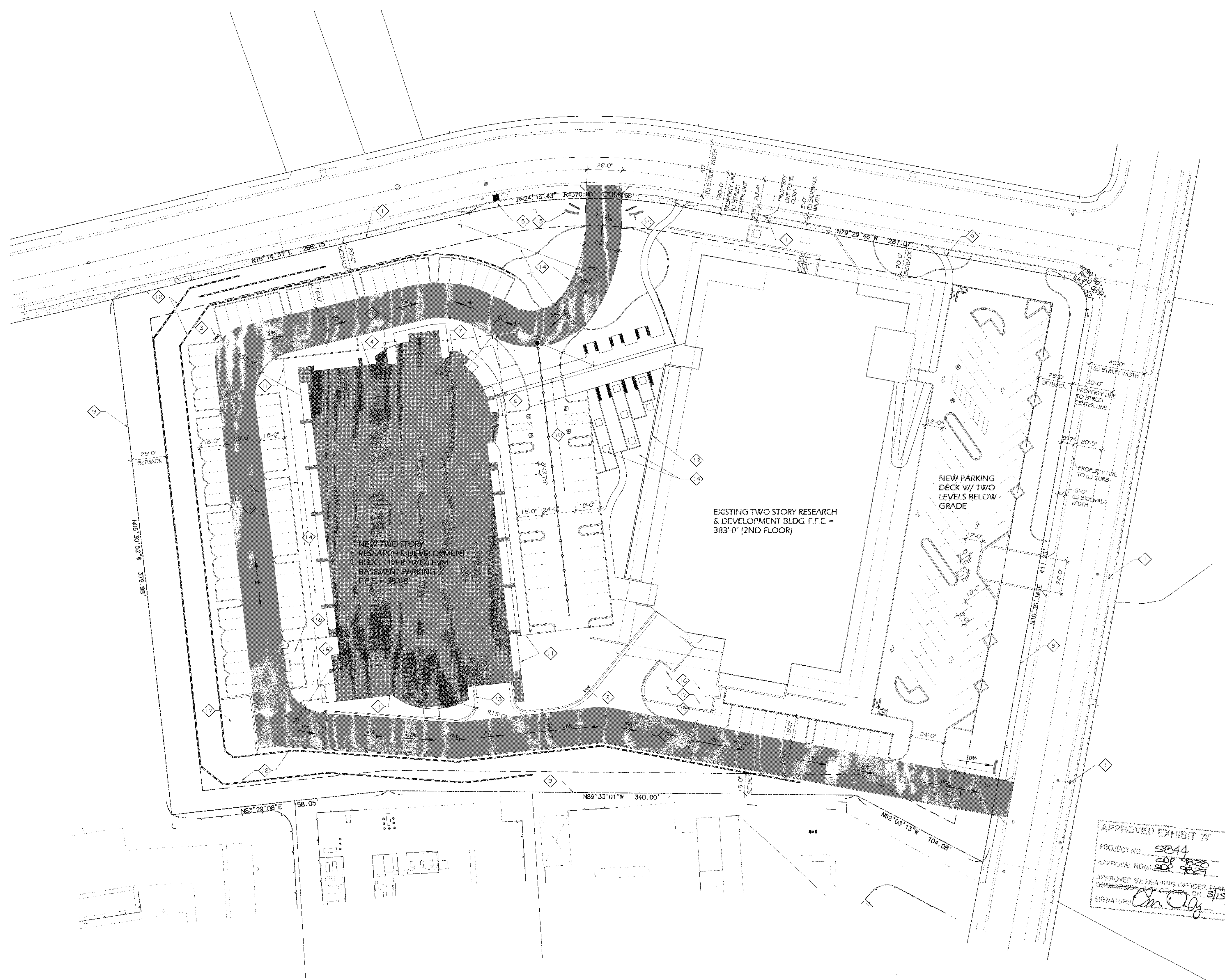


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**FIRE DEPARTMENT CRITERIA PLAN**  
SCALE: 1" = 30'-0"

**LEGEND**  
NEW 26'-0" WIDE FIRE APPARATUS ACCESS LANE



APPROVED EXHIBIT A  
PROJECT NO. SB44  
APPROVAL NO(s) 208 3838  
APPROVED BY: HEATING ENGINEER: [Signature]  
SIGNATURE: [Signature]

1. FIRE APPARATUS ACCESS AND HYDRANT LOCATIONS WERE PREVIOUSLY APPROVED BY BOS MEDIAN ON 1/21/10.
2. FIRE ACCESS LANE TO HAVE FIRE LANE SIGNAGE PER CITY OF SAN DIEGO FIRE DEPARTMENT POLICY NO. A-95-1.
3. VERTICAL DISTANCE FROM FINISH GRADE TO TOP OF PARAPET RANGE FROM 16'-0" TO 34'-0".
4. BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY OF THIS BUILDING.
5. FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. (C.F.C. 901.3, 901.4, 901.5, 901.6, 901.7, 901.8, 901.9, 901.10, 901.11, 901.12, 901.13, 901.14, 901.15, 901.16, 901.17, 901.18, 901.19, 901.20, 901.21, 901.22, 901.23, 901.24, 901.25, 901.26, 901.27, 901.28, 901.29, 901.30, 901.31, 901.32, 901.33, 901.34, 901.35, 901.36, 901.37, 901.38, 901.39, 901.40, 901.41, 901.42, 901.43, 901.44, 901.45, 901.46, 901.47, 901.48, 901.49, 901.50, 901.51, 901.52, 901.53, 901.54, 901.55, 901.56, 901.57, 901.58, 901.59, 901.60, 901.61, 901.62, 901.63, 901.64, 901.65, 901.66, 901.67, 901.68, 901.69, 901.70, 901.71, 901.72, 901.73, 901.74, 901.75, 901.76, 901.77, 901.78, 901.79, 901.80, 901.81, 901.82, 901.83, 901.84, 901.85, 901.86, 901.87, 901.88, 901.89, 901.90, 901.91, 901.92, 901.93, 901.94, 901.95, 901.96, 901.97, 901.98, 901.99, 901.100)
6. ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (C.F.C. 901.4.4)
7. BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (C.F.C. SEC. 901.4.4, C.B.C. SEC. 502)
8. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 67 (CFC 6701)
9. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. (CFC 1001.4)
10. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A PLANE RETARDANT CONDITION (C.C.R. 11-13, SEC. 114, 3.08, 3.21 AND C.F.C. SEC. 1103.3, 1501.5, SEC. 2501.6)
11. DRIVEWAY OR PARKING AREAS OVER BASEMENT SHALL BE DESIGNED TO SUPPORT A MINIMUM 95,000 LB. FIRE APPARATUS PER CITY OF SAN DIEGO FIRE DEPARTMENT POLICY NO. A-96-1.

**FIRE EXTINGUISHERS**

12. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A:10-B:C SHALL BE PROVIDED OUTSIDE OF EACH MECHANICAL, ELECTRICAL, OR BOILER ROOM. (C.F.C. 1002, UFG STANDARD 10-1, C.C.R. T-19, 3.29)
13. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A:10-B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 5,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. (CFC 1002, UFG STANDARD 10-1, C.C.R. TITLE 19, 3.29)
14. A SODIUM BICARBONATE OR POTASSIUM BICARBONATE DRY CHEMICAL TYPE PORTABLE FIRE EXTINGUISHER HAVING A MINIMUM RATING OF 30-B SHALL BE INSTALLED WITHIN 30 FEET OF COMMERCIAL FOOD PREP/PROCESSING EQUIPMENT. (CFC 1006.2.7)

**FIRE HYDRANTS**

15. FIRE HYDRANT SHALL COMPLY WITH FIRE DEPARTMENT REQUIREMENTS FOR ON-SITE FIRE HYDRANTS, FIRE AND LIFE SAFETY. (F.P.B., POLICY F-96-01 AND U.P.C. SEC. 903.4)
16. FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS. (C.F.C. 901.4.3)
17. ON-SITE FIRE HYDRANTS SHALL COMPLY WITH FIRE DEPARTMENT REQUIREMENTS AND C.F.C. SEC. 903.4.

**FIRE ALARM / EXTINGUISHING SYSTEMS**

18. STANDPIPE SYSTEMS SHALL COMPLY WITH THE REQUIREMENTS OF C.F.C. SEC. 904.3 AND UFG STANDARD 9-2. (C.F.C. SEC. 904.3.1, C.F.C. SEC. 1004.1.2)
19. INSTALLATION OF AUTOMATIC FIRE SPRINKLER SYSTEM SHALL COMPLY WITH C.B.C. STANDARD NO. 9-1.4.9.2 AND N.F.P.A. 13.
20. ALL FIRE ALARM SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH CODES AS FOLLOWS: C.B.C. ARTICLE 9-760 AND C.F.C. ARTICLE 140, C.F.C. 1007
21. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, FIRE EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY SYSTEMS; HALON SYSTEMS AND OTHER SPECIAL TYPES OF FIRE EXTINGUISHING SYSTEMS - BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPLIANCES SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (C.F.C. 1001.5)
22. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER IS 100 OR MORE. (C.F.C. 904.3.1, C.F.C. 1003.3.1)
23. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION. (C.B.C. 904.3.2, U.B.C. STANDARD 9-1)
24. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH C.F.C. 1007
25. APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEMS SHALL BE PROVIDED FOR THE PROTECTION OF COMMERCIAL-TYPE COOKING EQUIPMENT. SEPARATE COMPLETE PLANS FOR THESE SYSTEMS SHALL BE SUBMITTED TO FIRE PLAN CHECK FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 1006.2.1)

**KEYNOTES**

1. EXISTING FIRE HYDRANT. SEE CIVIL DRAWINGS
2. RELOCATED FIRE HYDRANT PER CIVIL DRAWINGS
3. NEW FIRE HYDRANT PER CIVIL DRAWINGS
4. NEW FIRE DEPARTMENT CONNECTION PER CIVIL DRAWINGS
5. BACKFLOW PREVENTERS PER CIVIL DRAWINGS
6. 200'-0" HOSE REACH LIMITATION
7. BUILDING ADDRESS PER CALIFORNIA FIRE CODE 901.4.4
8. KNOX BOX LOCATION
9. PROPERTY LINE
10. CONCRETE OR A.C. PAVING PER CIVIL DRAWINGS
11. LINE OF BASEMENT BELOW
12. RETAINING WALL
13. SCREEN WALL
14. LANDSCAPING
15. MONUMENT SIGN
16. MECHANICAL YARD
17. COOLING TOWER
18. TRASH ENCLOSURE
19. EXISTING FIRE DEPARTMENT CONNECTION

Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL

Project No. 04-114-04

**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision	Date
Revision 5	
Revision 4	
Revision 3	04-01-05
Revision 2	11-12-04
Revision 1	11-12-04

Orig. Date: JANUARY 13, 2003  
Sheet 9 of 20

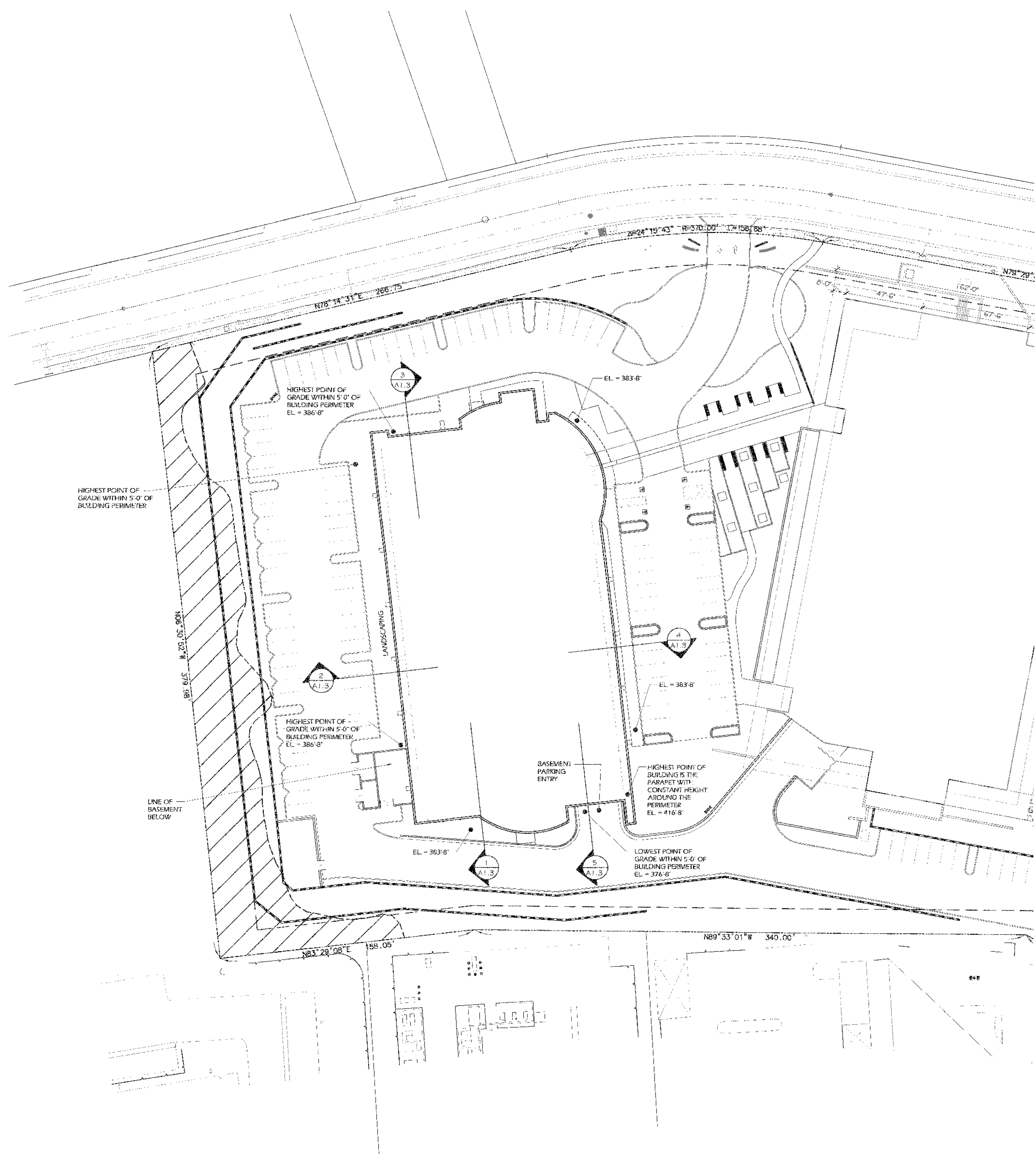
DEF. No. \_\_\_\_\_

**FIRE DEPARTMENT CRITERIA PLAN**

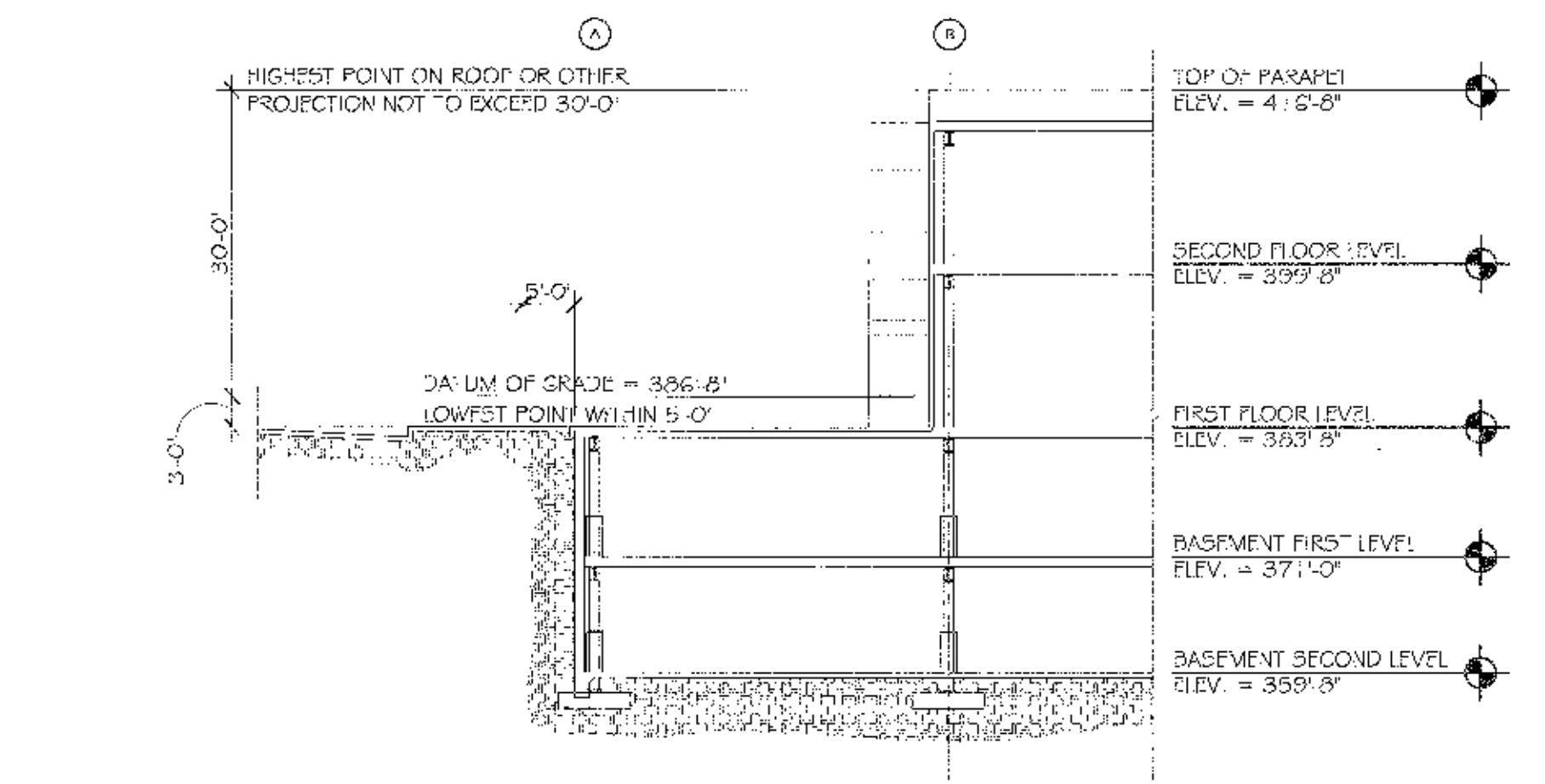
SHEET NUMBER  
**A1.2**



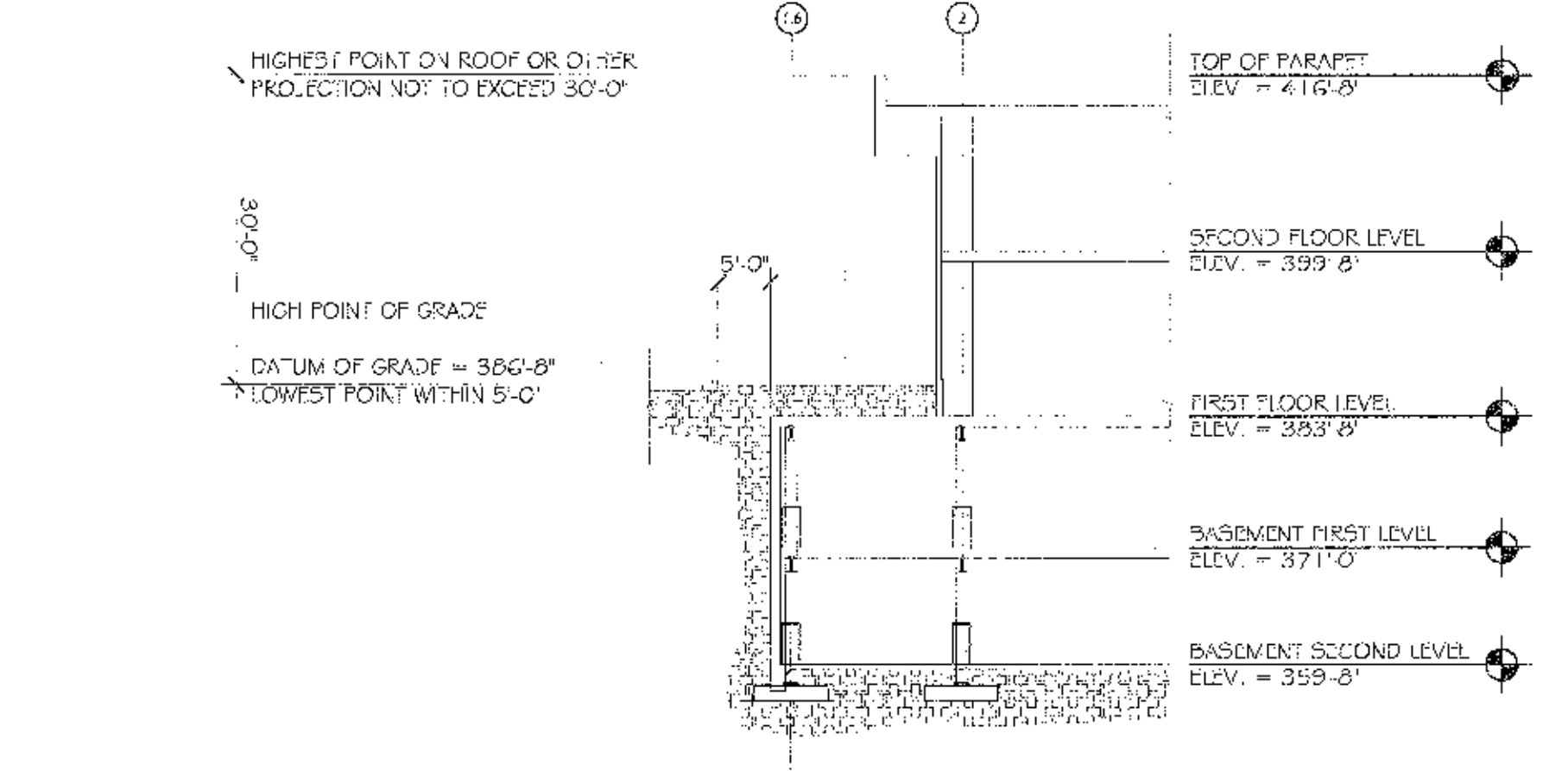
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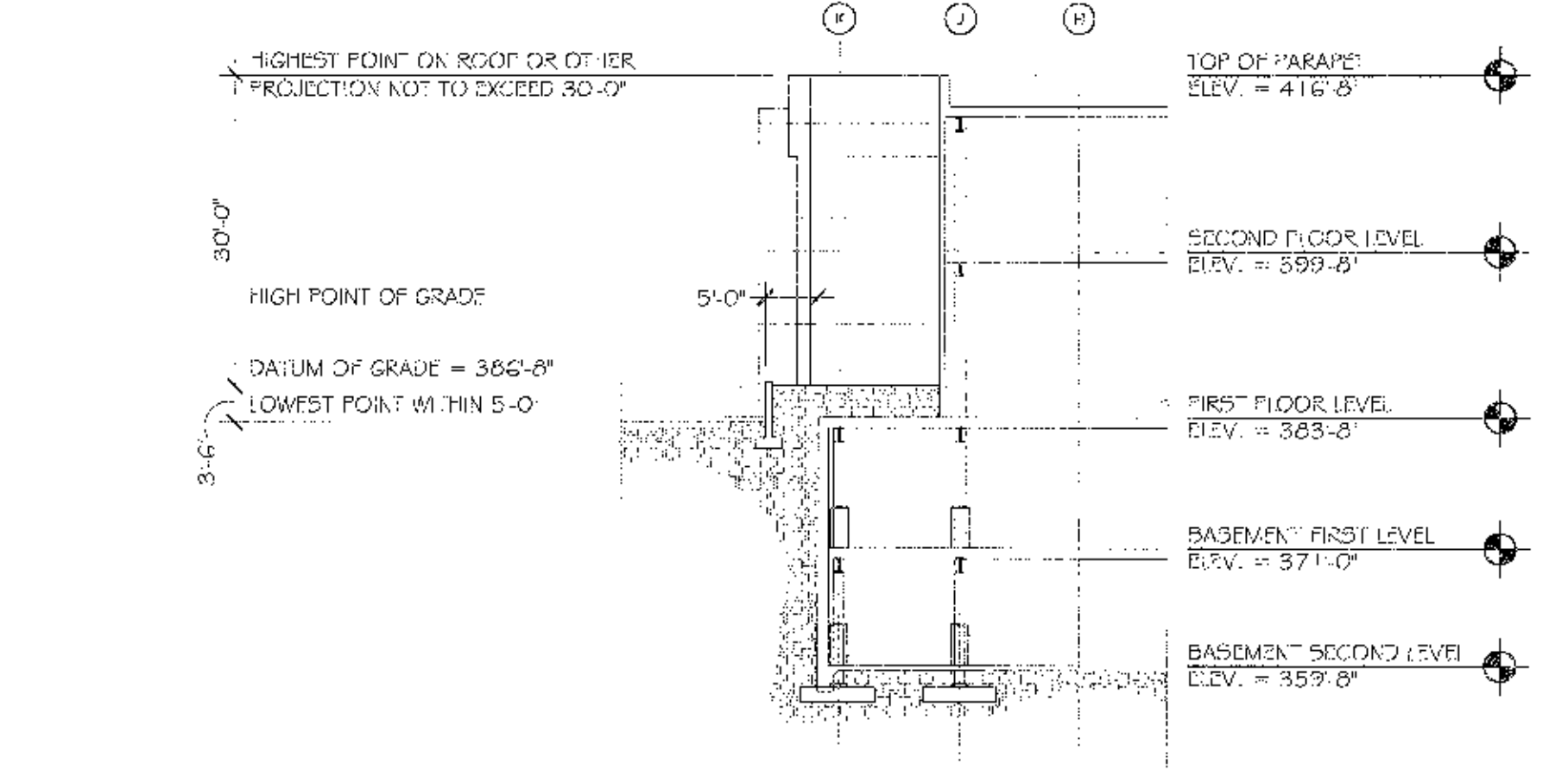
**COASTAL HEIGHT COMPLIANCE PLAN**  
SCALE: 1" = 30'-0"



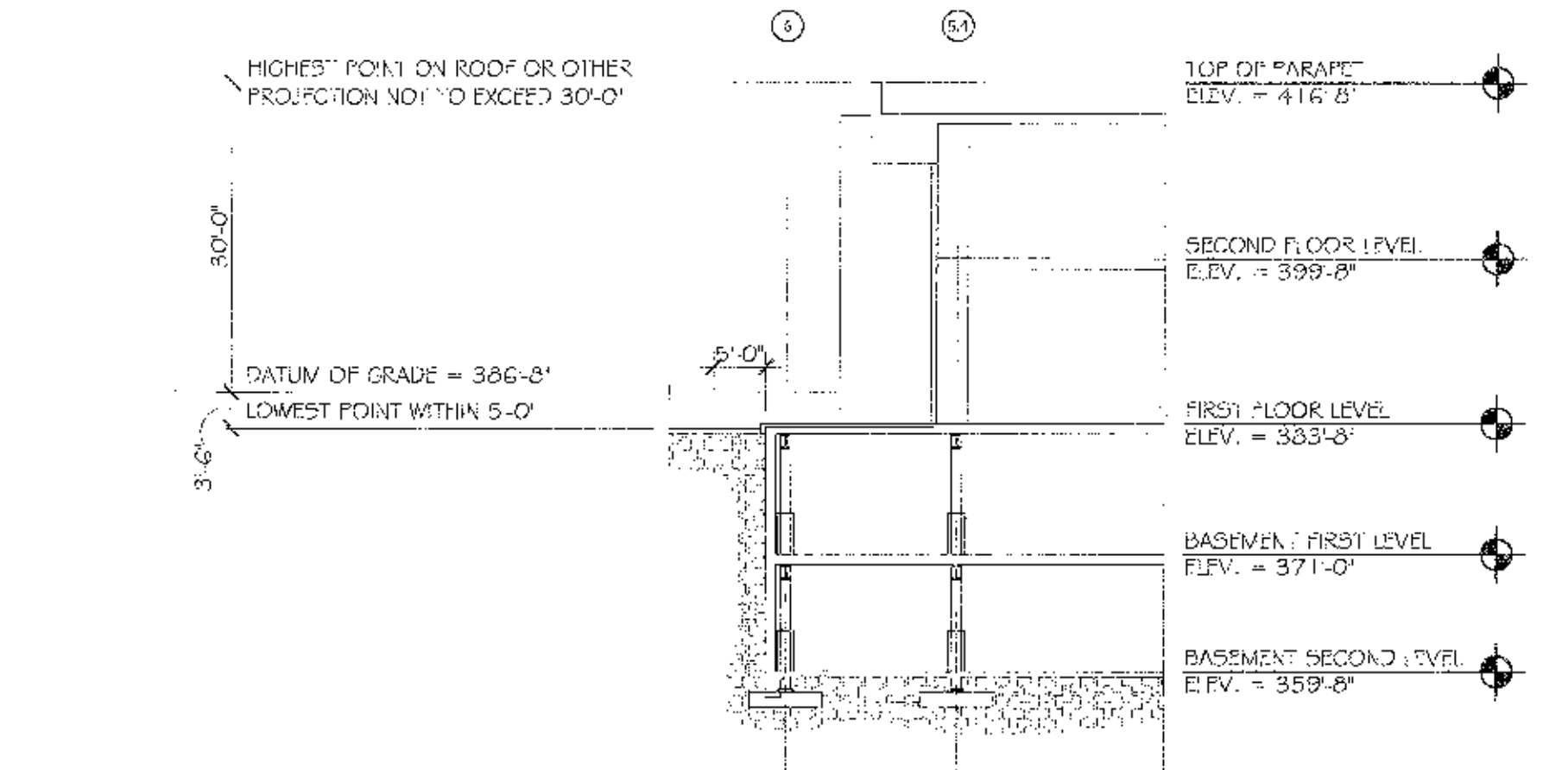
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A1.3



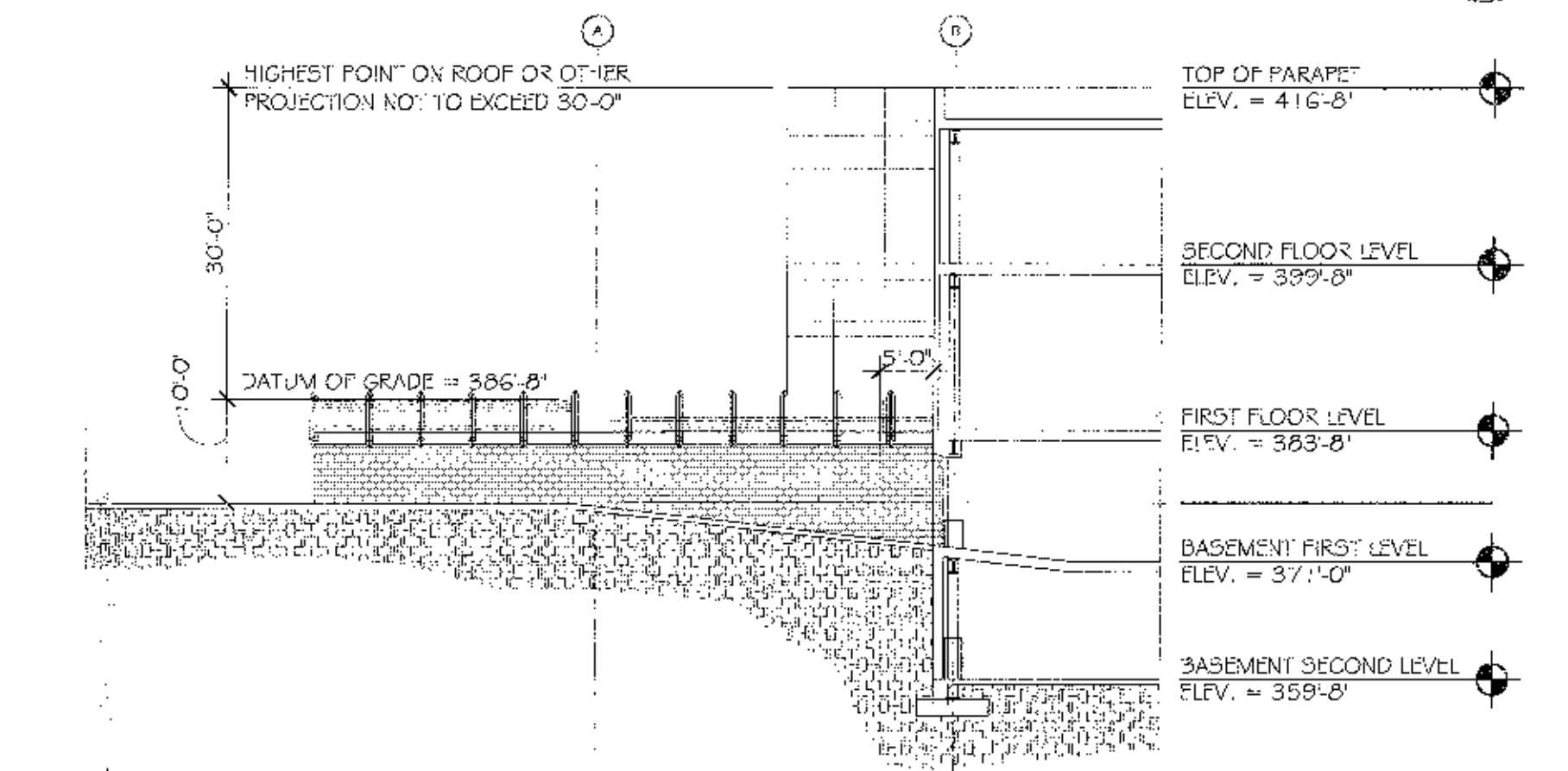
**BUILDING SECTION**  
SCALE: 1/16" = 1'-0"  
A1.3



**BUILDING SECTION**  
SCALE: 1/16" = 1'-0"  
A1.3



**BUILDING SECTION**  
SCALE: 1/16" = 1'-0"  
A1.3



**BUILDING SECTION**  
SCALE: 1/16" = 1'-0"  
A1.3



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- NOTES**
1. THE HIGHEST POINT OF THE BUILDING IS THE ROOF PARAPET (EL. 416'-8") INCLUDING ANY EQUIPMENT, VENTS, PIPES, ANTENNAE OR OTHER PROJECTIONS.
  2. GRADE HAS BEEN DEFINED PER CITY OF SAN DIEGO BUILDING DEPARTMENT 2-1 AND 2-2.
  3. DATUM OF GRADE FOR THE DETERMINATION OF PROPORTION-D COMPLIANCE IS 386'-8".

Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL



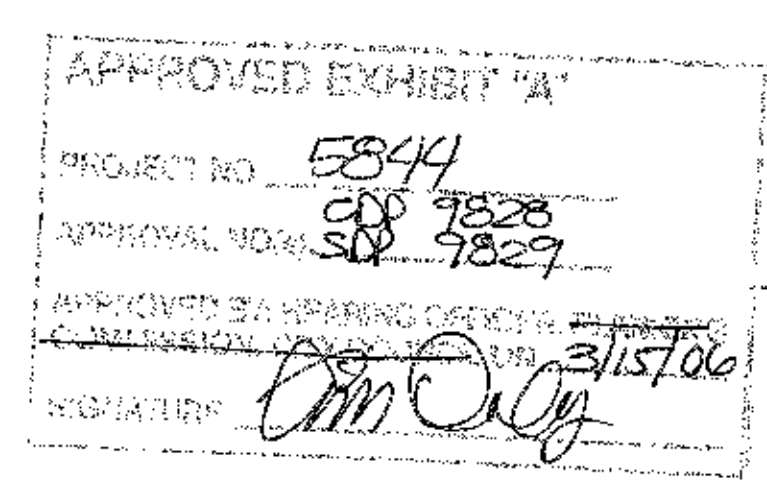
**TORREY PINES SCIENCE PARK LOT 12**

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Revision	Date
5	
4	
3	04-01-05
2	04-01-05
1	11-12-04

Orig. Date: JANUARY 13, 2003



Sheet 10 of 20  
DEF. No. \_\_\_\_\_

**SHEET TITLE**  
**COASTAL HEIGHT COMPLIANCE PLAN**

**SHEET NUMBER**  
**A1.3**







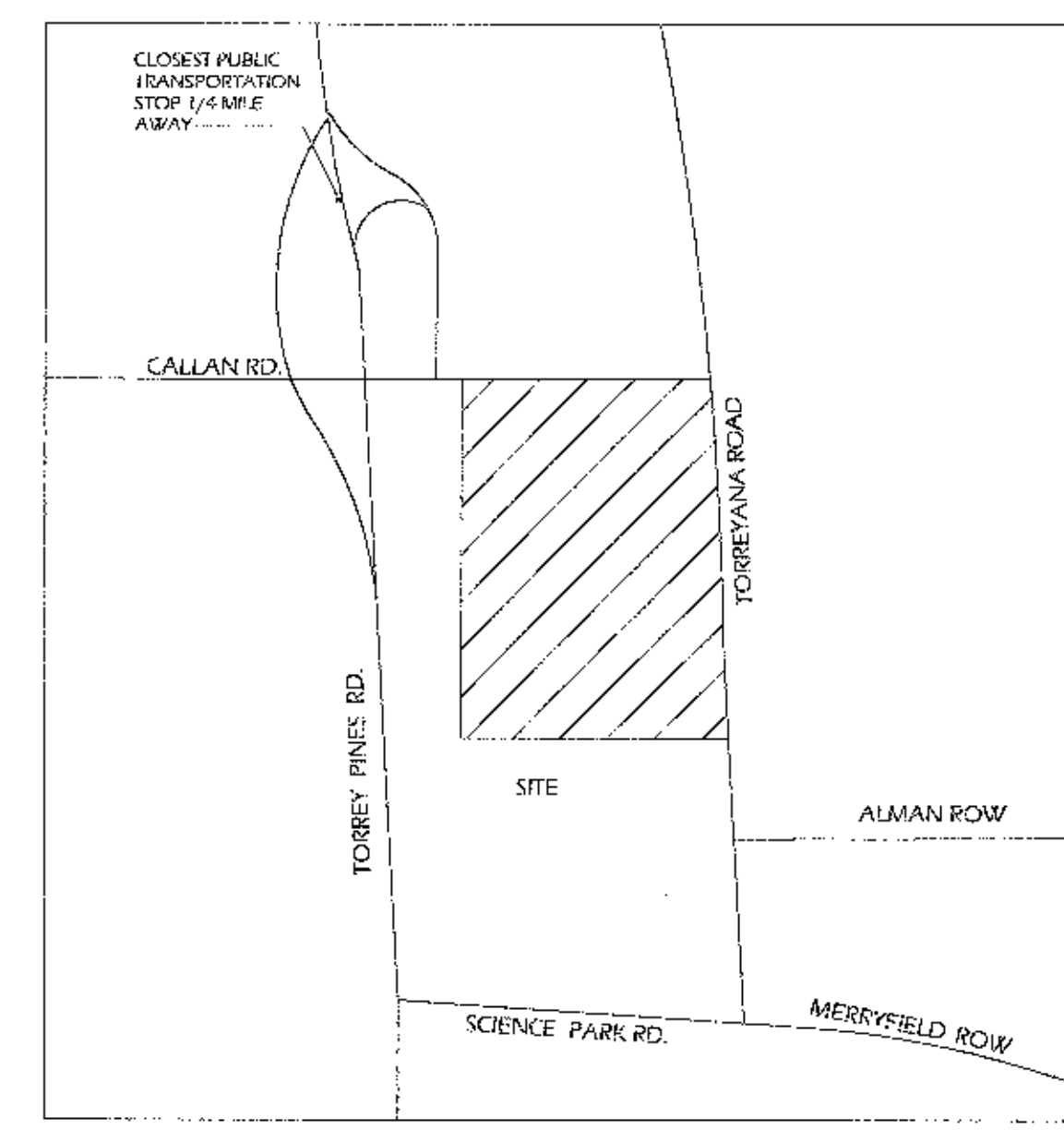
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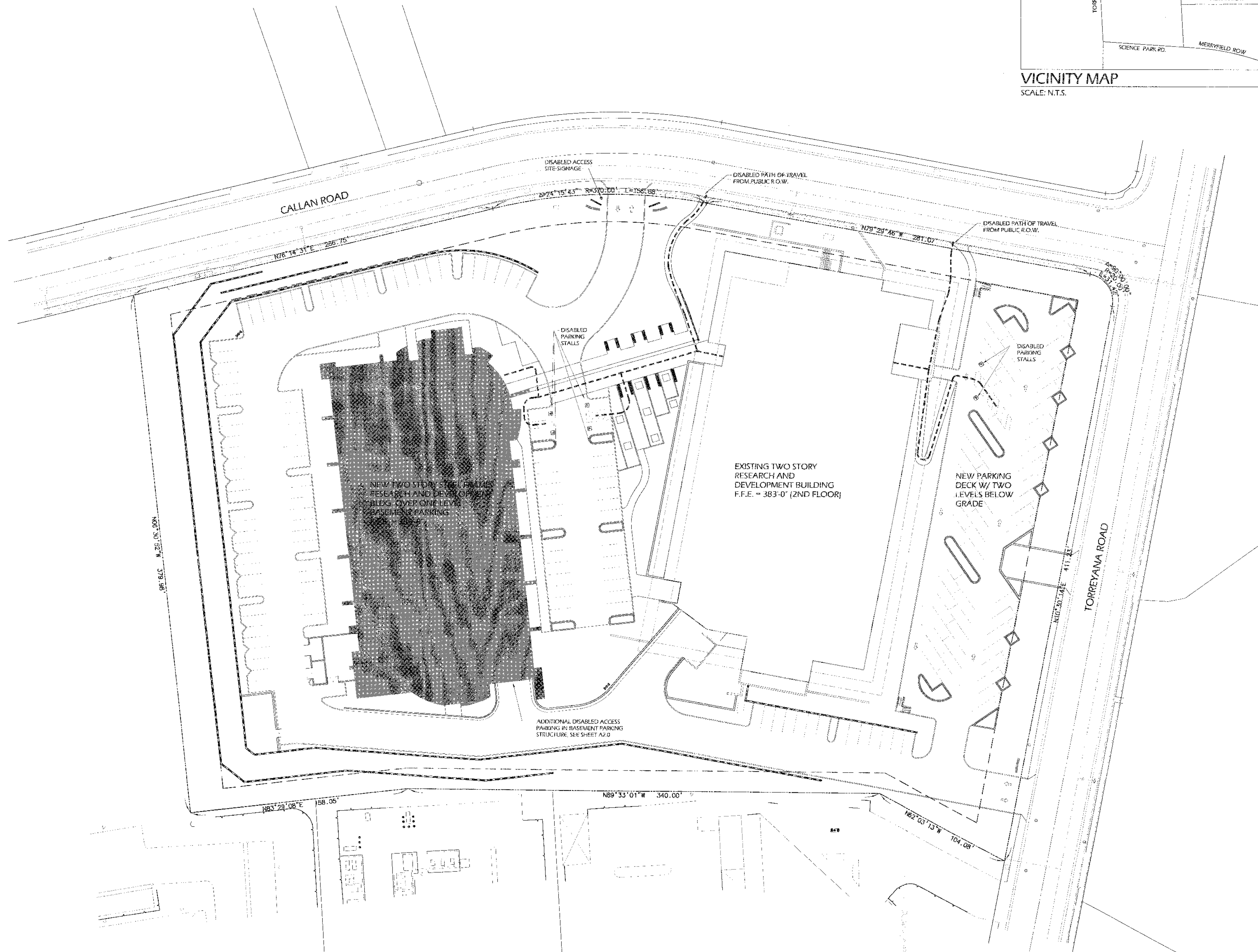
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VICINITY MAP  
SCALE: N.T.S.



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11-12-04	RESUBMITTAL
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12-16-02	COMPLETENESS SUBMITTAL

Project No. 04-114-04



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**TORREY PINES  
SCIENCE PARK  
LOT 12**

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Revision	Date
1	11-12-04
2	04-01-05

Orig. Date: JANUARY 13, 2003

Sheet 11 of 20

Dep. No.

SHEET TITLE

**DISABLED  
ACCESSIBILITY  
PLAN**

SHEET NUMBER  
**A1.4**

DISABLED ACCESSIBILITY PLAN  
SCALE: 1" = 30'-0"



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11-12-04	RESUBMITTAL
01-13-03	FILE SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL

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**TORREY PINES SCIENCE PARK LOT 12**

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Revision	Date
Revision 5	09-09-05
Revision 4	09-09-05
Revision 3	04-01-05
Revision 2	04-01-05
Revision 1	11-12-04

Orig. Date: JANUARY 13, 2003

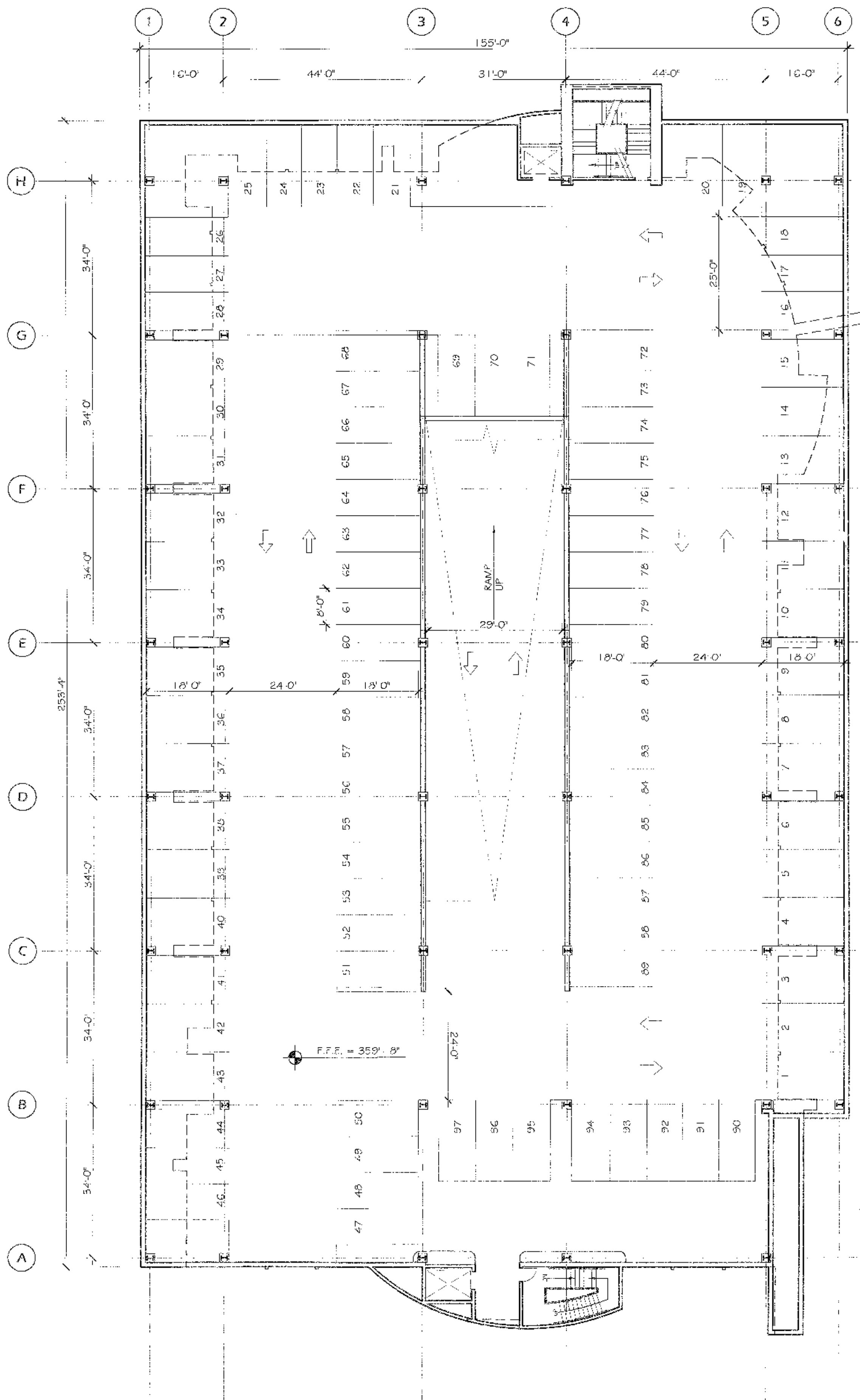
Sheet 12 of 20

DEP No. \_\_\_\_\_

SHEET TITLE

**BASEMENT LEVEL FLOOR PLANS**

SHEET NUMBER  
**A2.0**



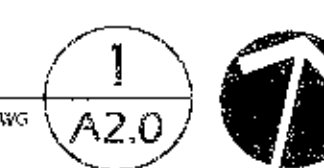
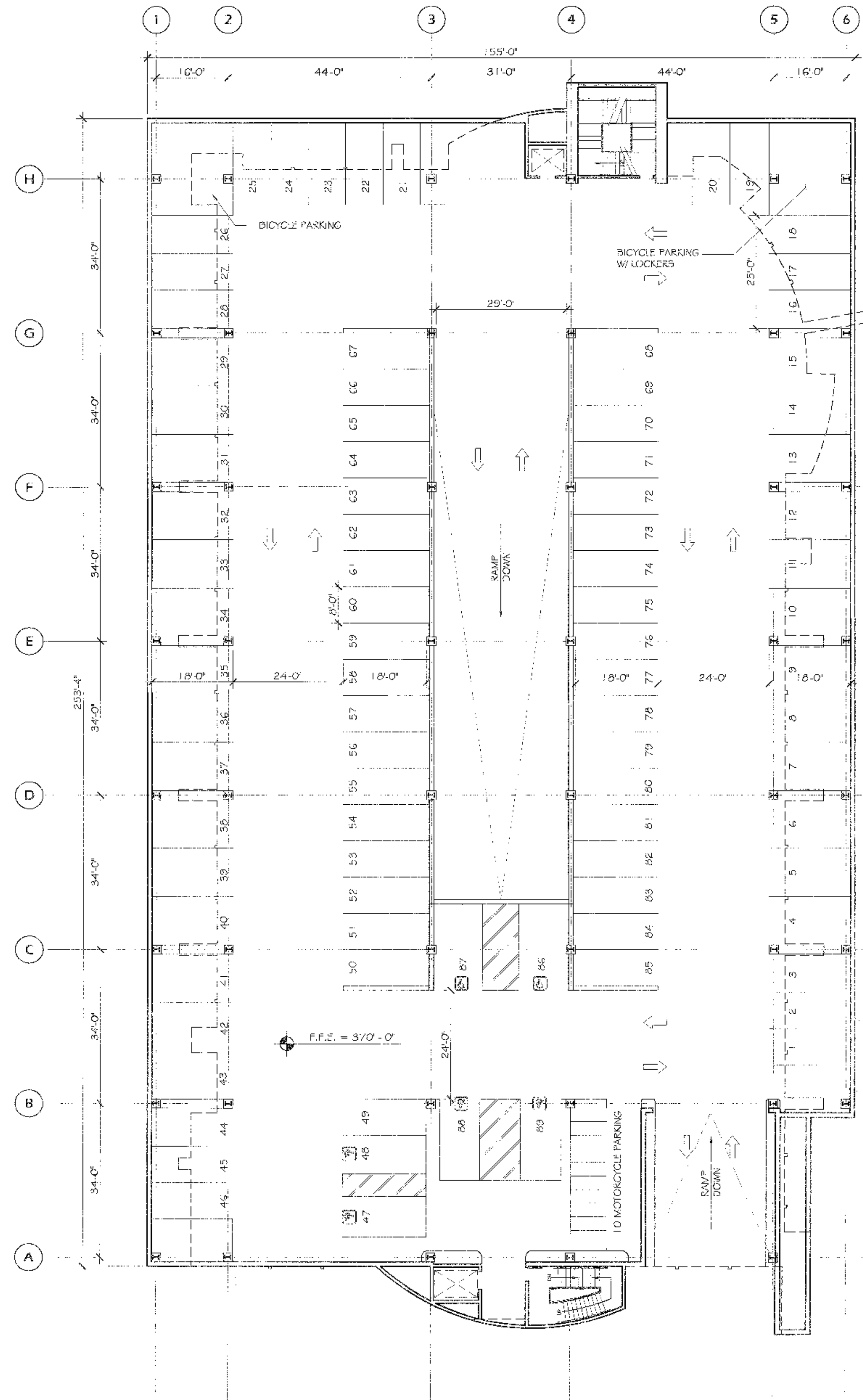
**LOWER BASEMENT LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"



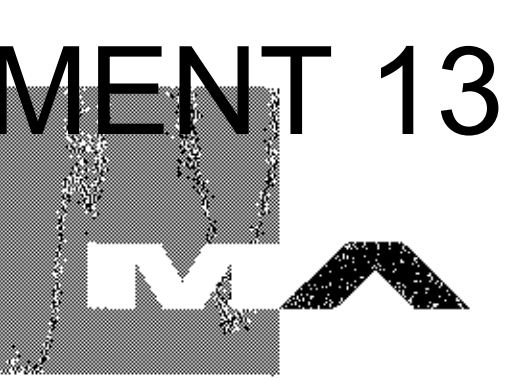
**UPPER BASEMENT LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"



APPROVED EXHIBIT "A"  
PROJECT NO. 0844  
APPROVAL NO. CDP 9828  
APPROVED BY: [Signature] 3/15/06  
SIGNATURE: [Signature]





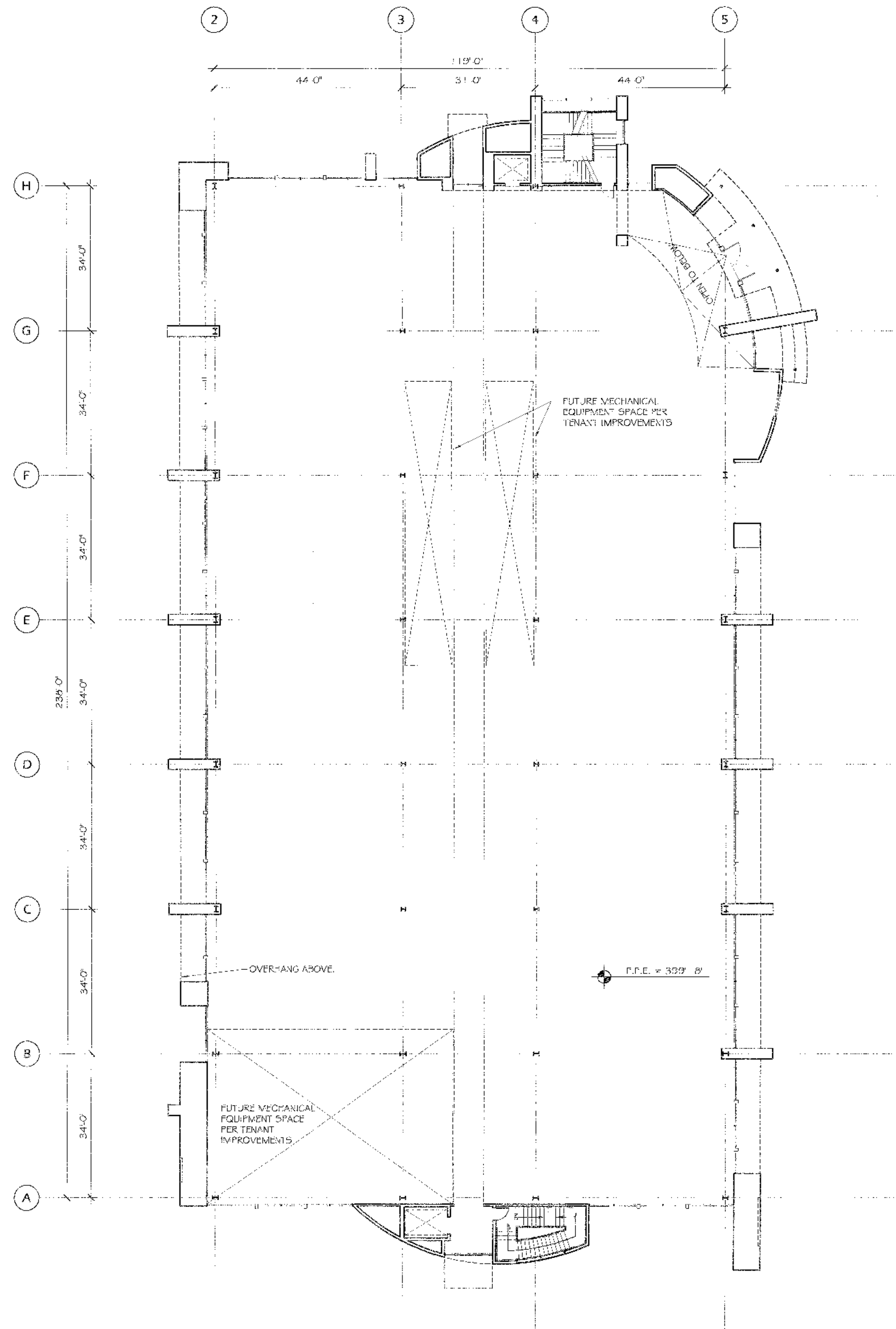
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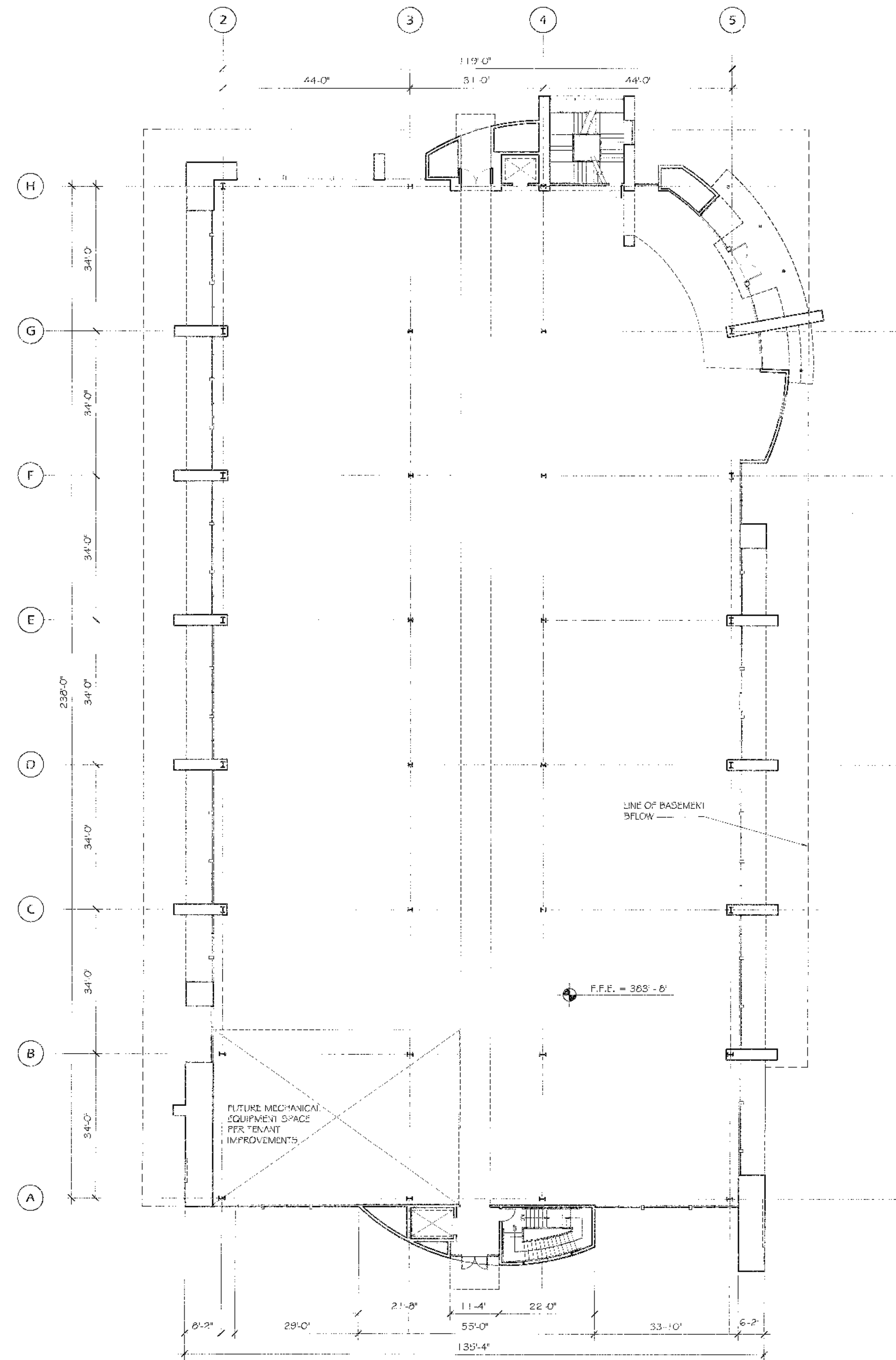
**SECOND LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"

2  
AZ.1



REFERENCE NORTH



**FIRST LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"

1  
AZ.1



REFERENCE NORTH

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FINAL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Revision

Project No. 04-114-04



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**TORREY PINES SCIENCE PARK LOT 12**

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Revision 4	09-09-05
Revision 3	
Revision 2	04-01-05
Revision 1	11-12-04

Orig. Date: JANUARY 13, 2003

APPROVED EXHIBIT "A"

PROJECT NO. 5844

CDP 7828

APPROVAL NO. SV 9829

APPROVED BY HEARING OFFICER

DATE OF HEARING 01/13/03

SIGNATURE *AMCO*

FIRST & SECOND LEVEL FLOOR PLANS

SHEET NUMBER  
**A2.1**

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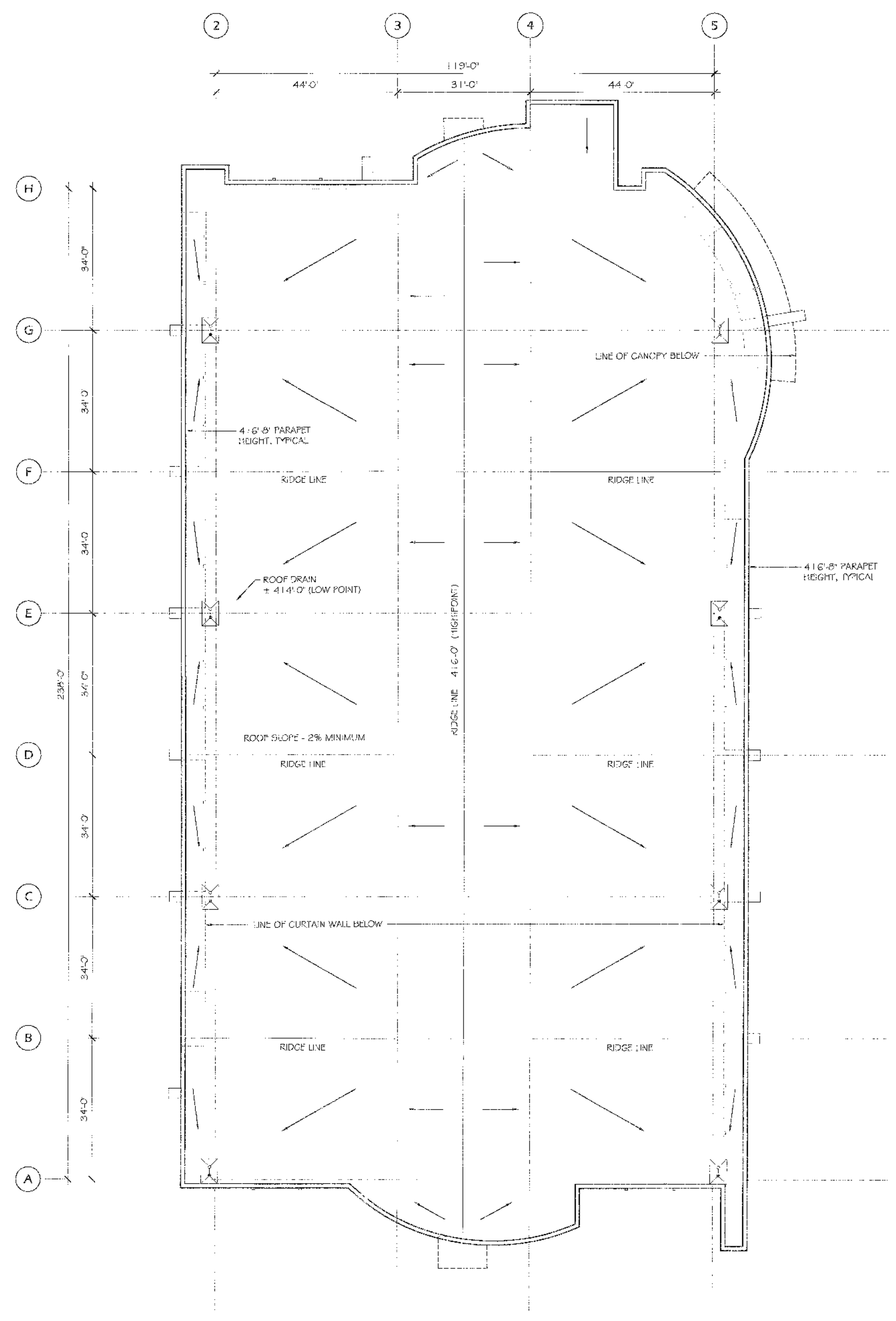
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1. THE PARAPET IS THE HIGHEST POINT OF THE BUILDING.
2. NO EQUIPMENT, VENT, PIPE, ANTENNA, OR OTHER PROJECTION MAY EXCEED THE HEIGHT OF THE PARAPET.



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**ROOF PLAN**  
 SCALE: 1/16" = 1'-0"

X:\M\_A\_PROJECTS\04-114-04\02\A22\CDP\BASE\X\_R\ROOF PLAN\_114021.DWG



Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL

Project No. 04-114-04



**TORREY PINES SCIENCE PARK LOT 12**

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Revision 3:	
Revision 2:	04-01-05
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Orig Date: JANUARY 13, 2003

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SHEET TITLE

**ROOF PLAN**

APPROVED EXHIBIT "A"

PROJECT NO. 58944

CDP 7828

APPROVAL NO. SDP 7829

APPROVED BY HEADQUARTERS OFFICER

DATE: 3/15/06

SIGNATURE: *[Signature]*

SHEET NUMBER  
**A2.2**





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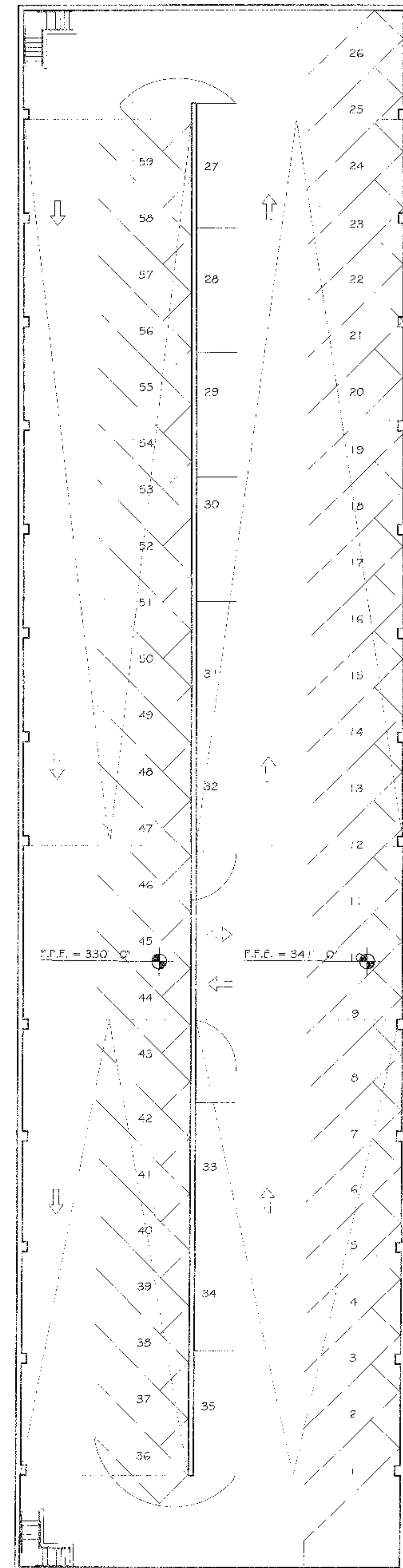
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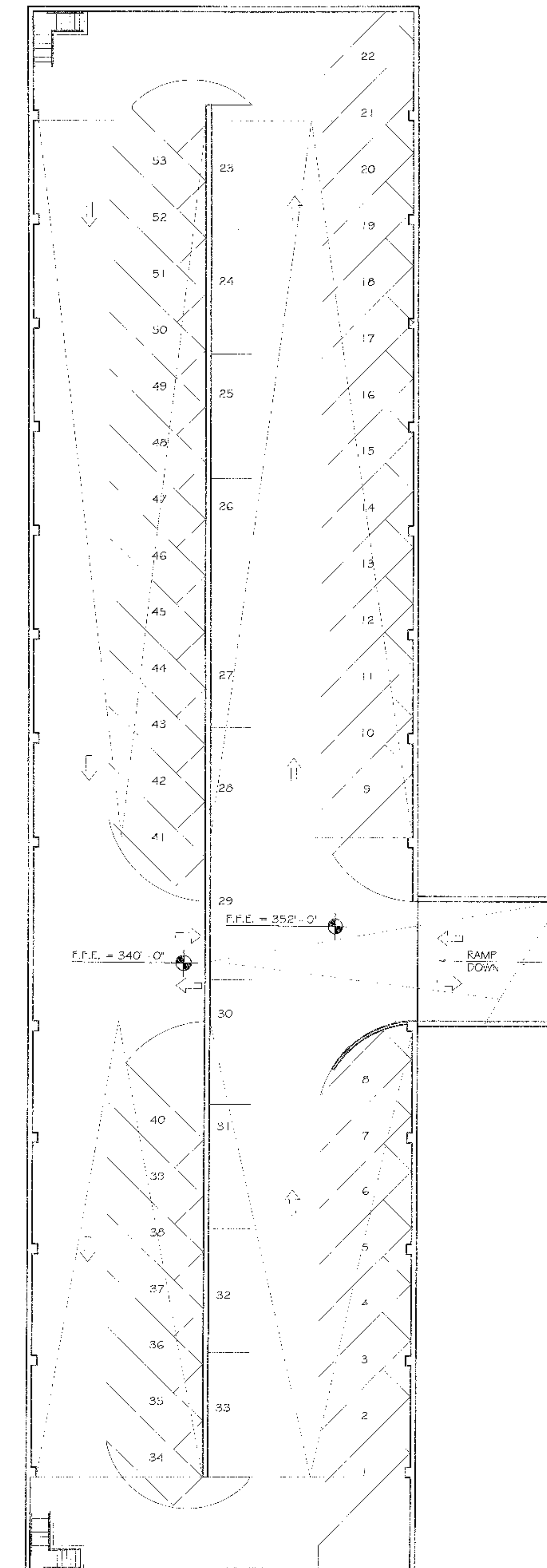
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**PARKING DECK BASEMENT LEVEL TWO FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

2  
A2.3



**PARKING DECK BASEMENT LEVEL ONE FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

1  
A2.3



Date Issued	Reason
09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL

Project No. 04-114-06

**ALEXANDRIA**  
**TORREY PINES SCIENCE PARK LOT 12**

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Revision 1	11-12-04
Orig. Date	JANUARY 13, 2003
Sheet	15 of 20
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APPROVED EXHIBIT 'A'  
PROJECT NO. 5844  
CDP 7829  
APPROVAL NO. SOP 7829  
APPROVED BY HEARING OFFICER  
DATE 3/15/06  
SIGNATURE *[Signature]*

**PARKING DECK BASEMENT LEVEL FLOOR PLAN**

SHEET NUMBER  
**A2.3**



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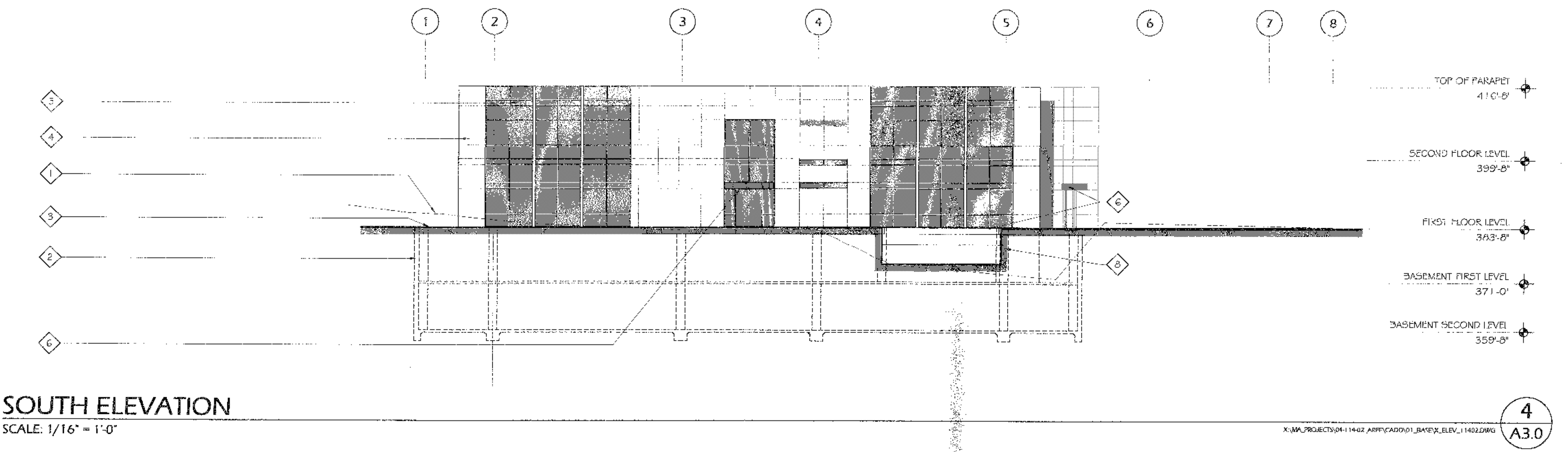
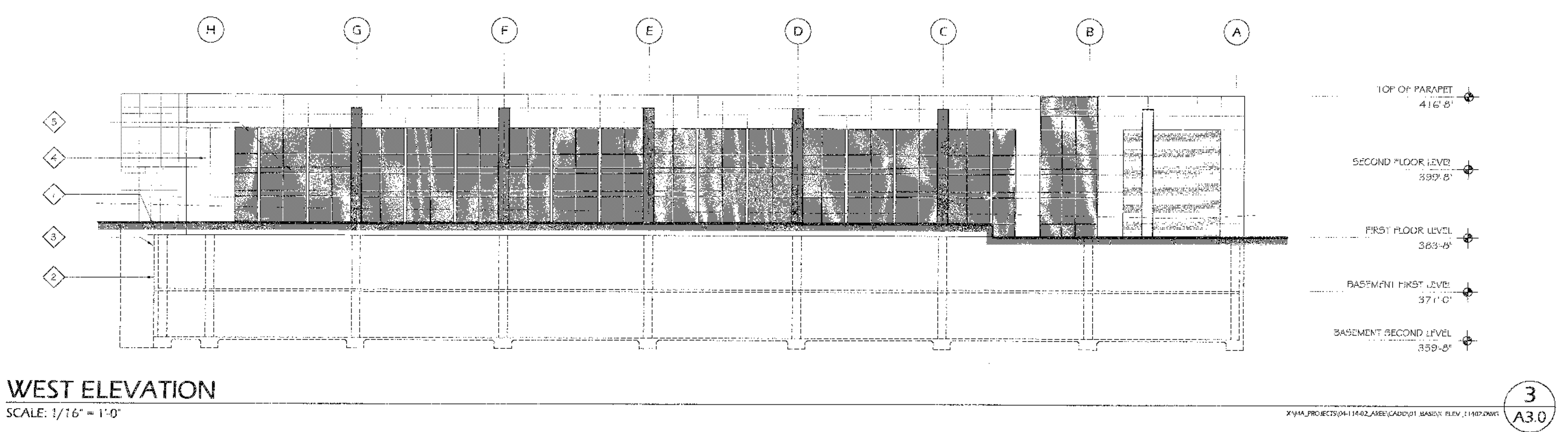
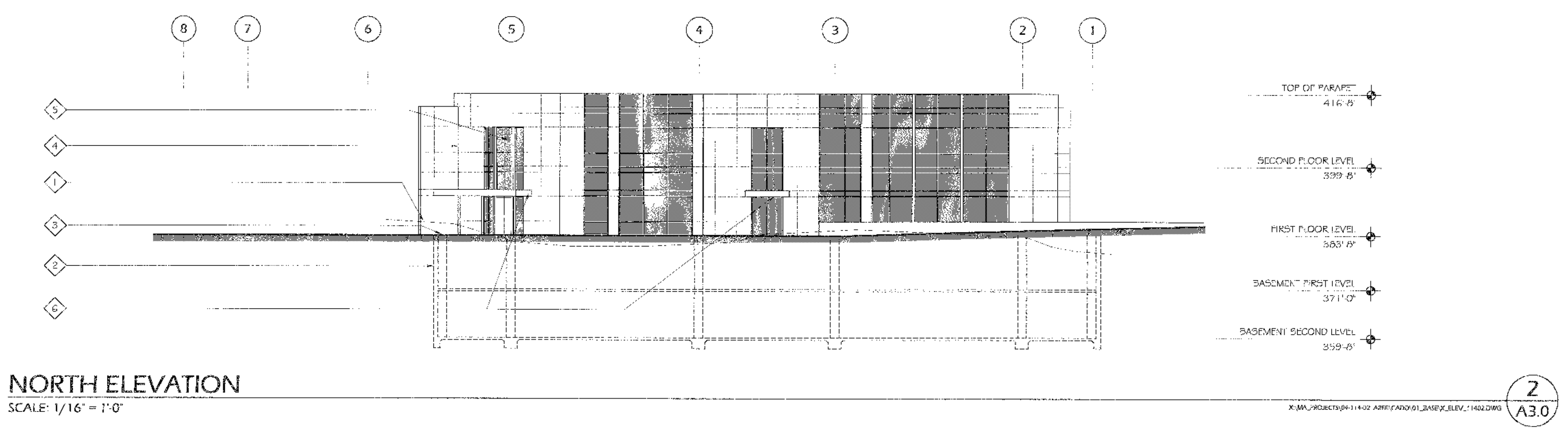
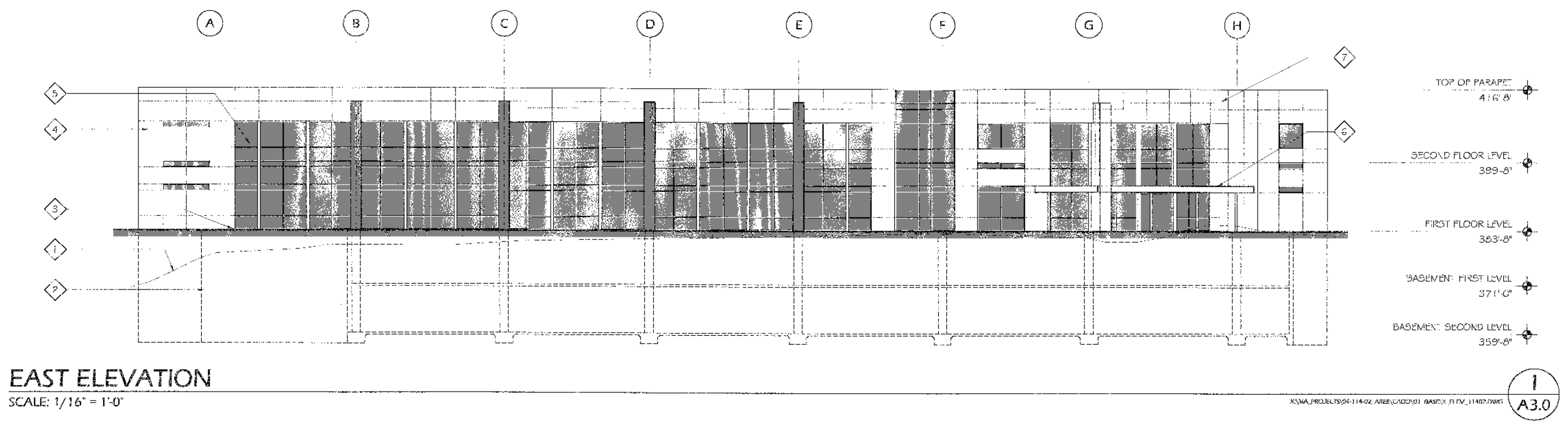


**McFARLANE ARCHITECTS**  
Architects • Planning • Interiors

4350 EXECUTIVE DRIVE, SUITE 315  
SAN DIEGO, CALIFORNIA 92121  
P: 858.453.1150  
F: 858.453.1911  
www.mcfarlanearchitects.com  
info@mcfarlanearchitects.com

**KEYNOTES**

- 1. APPROXIMATE LINE OF EXISTING GRADE
- 2. LINE OF "BASEMENT" BELOW GRADE
- 3. APPROXIMATE LINE OF NEW GRADE
- 4. GLASS FIBER REINFORCED CONCRETE (GFRC) OR EXTERIOR GYPSUM PLASTER OR STONE TILE OR METAL PANELS
- 5. GLAZING
- 6. CANOPY (50% SOLID SURFACE)
- 7. BUILDING SIGNAGE (100 S.F. MAXIMUM PER CHAPTER 4.4 SAN DIEGO MUNICIPAL CODE) COLOR TO BE SELECTED BY ARCHITECT
- 8. RETAINING WALL



09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason
Project No.	04-114-04

ALEXANDRIA  
**TORREY PINES SCIENCE PARK LOT 12**  
10956 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5	
Revision 4	09-09-05
Revision 3	
Revision 2	04-01-05
Revision 1	11-12-04
Orig. Date	JANUARY 13, 2003

APPROVED EXHIBIT "A"  
PROJECT NO. 5844  
CDP 8023  
APPROVAL NO. SCP 9827  
APPROVED BY HEARING OFFICER PLANNING  
DATE 3/15/06  
SIGNATURE *Ann O'Leary*

Sheet 16 of 20  
DEP. No.  
SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A3.0**





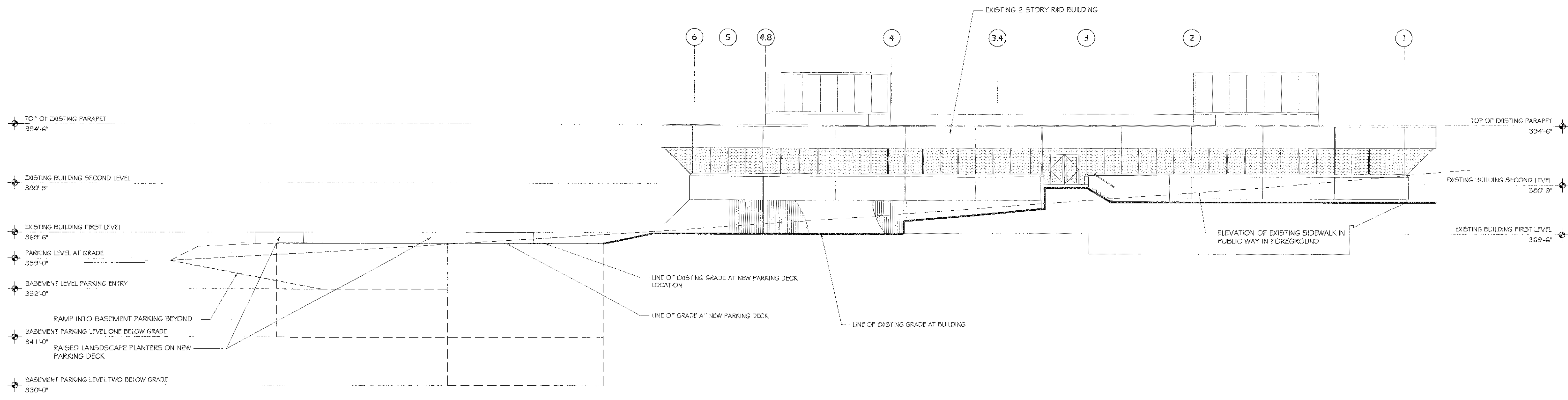
**McFARLANE ARCHITECTS**

Architecture • Planning • Interiors

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SAN DIEGO, CALIFORNIA 92121

P: 858.453.1150  
F: 858.453.1911

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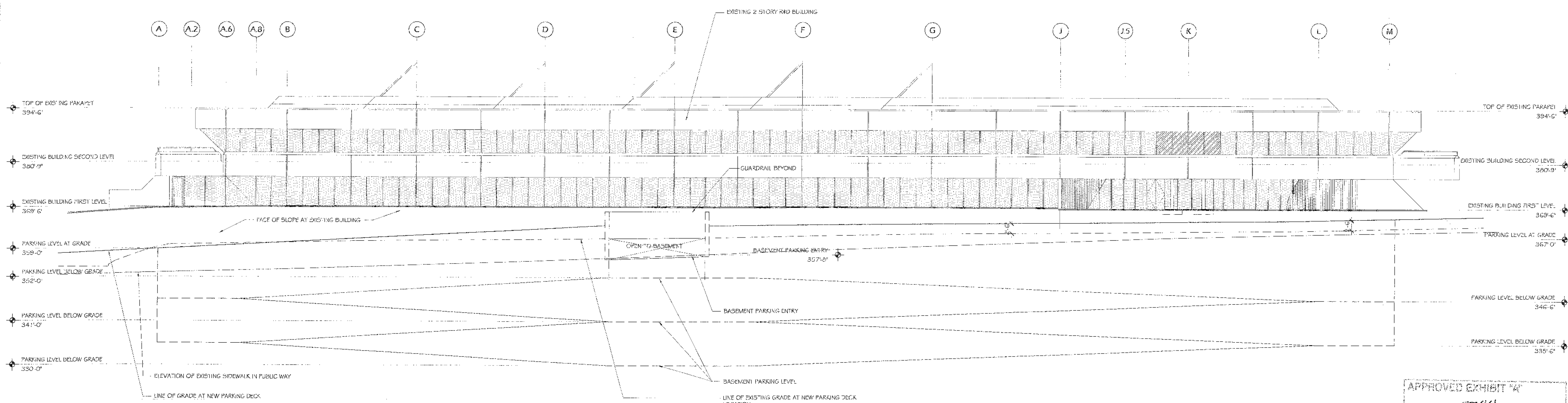


**SITE ELEVATION AT NORTH END OF NEW PARKING DECK**

SCALE: 3/32" = 1'-0"

1  
A3.1

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**SITE ELEVATION AT EAST SIDE OF NEW PARKING DECK**

SCALE: 3/32" = 1'-0"

2  
A3.1

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-16-02	COMPLETENESS SUBMITTAL
Date Issued	Reason
Project No.	04-114-02



**TORREY PINES SCIENCE PARK LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5:	
Revision 4:	
Revision 3:	05-20-05
Revision 2:	04-01-05
Revision 1:	11-12-04

Orig Date: JANUARY 13, 2003

Sheet 17 of 20

DEP No.

SHEET TITLE

**GRADE ELEVATION / SECTIONS AT PARKING DECK**

SHEET NUMBER

**A3.1**

APPROVED EXHIBIT #4  
PROJECT NO. 5894  
CDP 7828  
APPROVAL NO. SDP 7829  
APPROVED BY: [Signature]  
DATE: 3/15/06  
SIGNATURE: [Signature]





**McFARLANE ARCHITECTS**

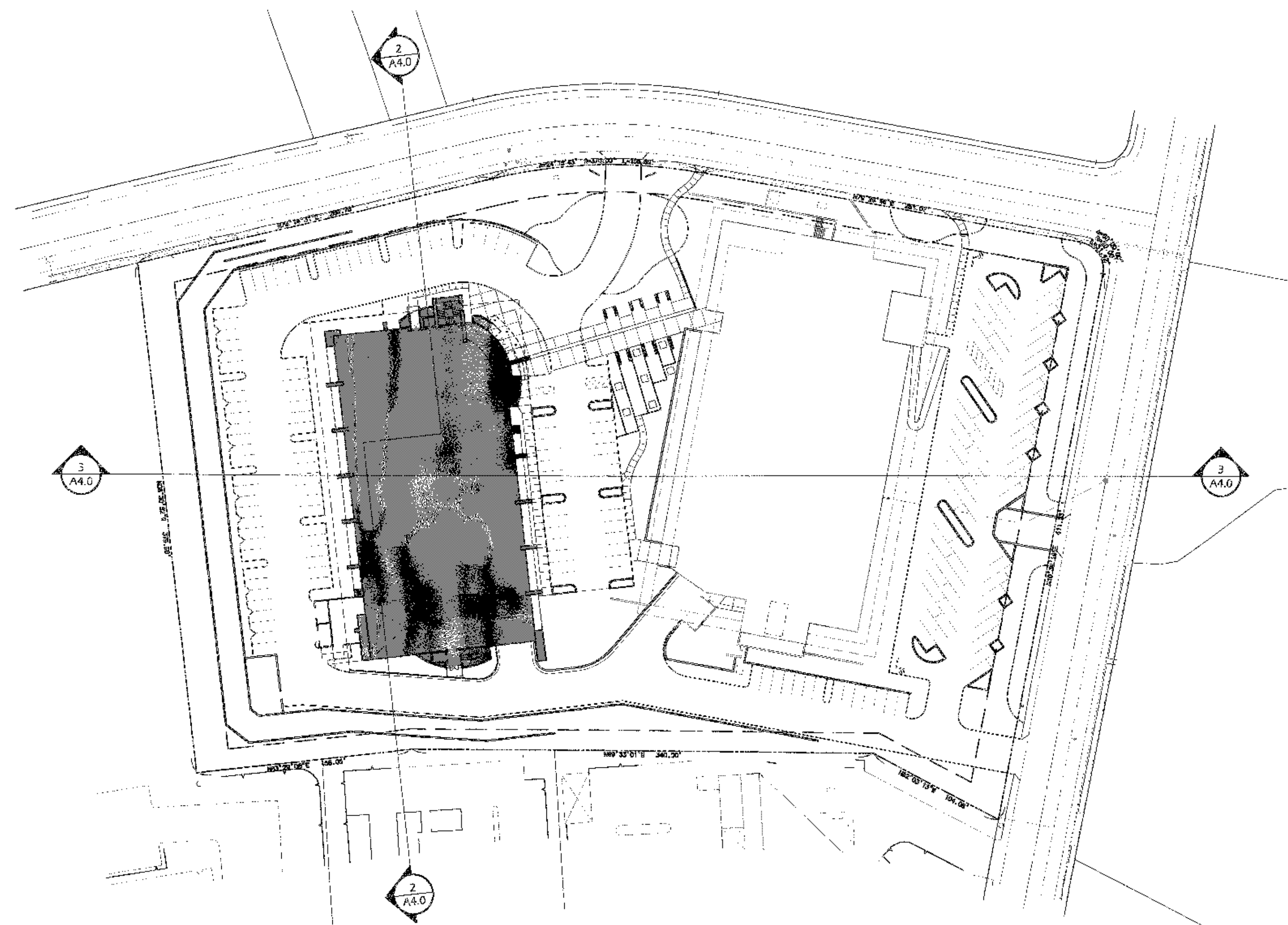
Architecture • Planning • Interiors

4350 EXECUTIVE DRIVE, SUITE 315  
SAN DIEGO, CALIFORNIA 92121

P: 858.453.1130  
F: 858.453.1911

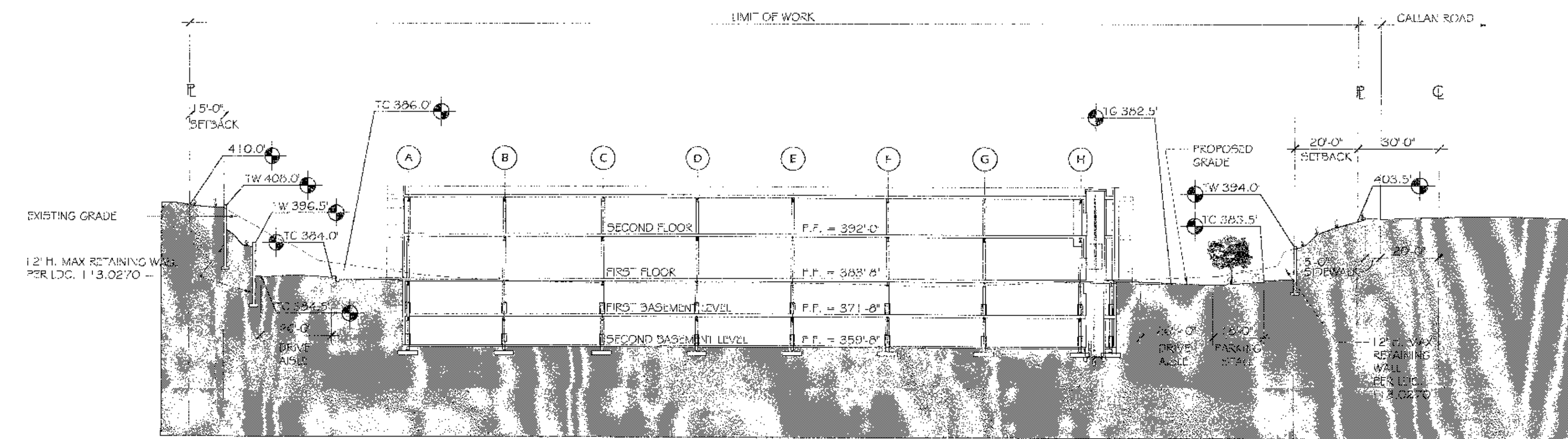
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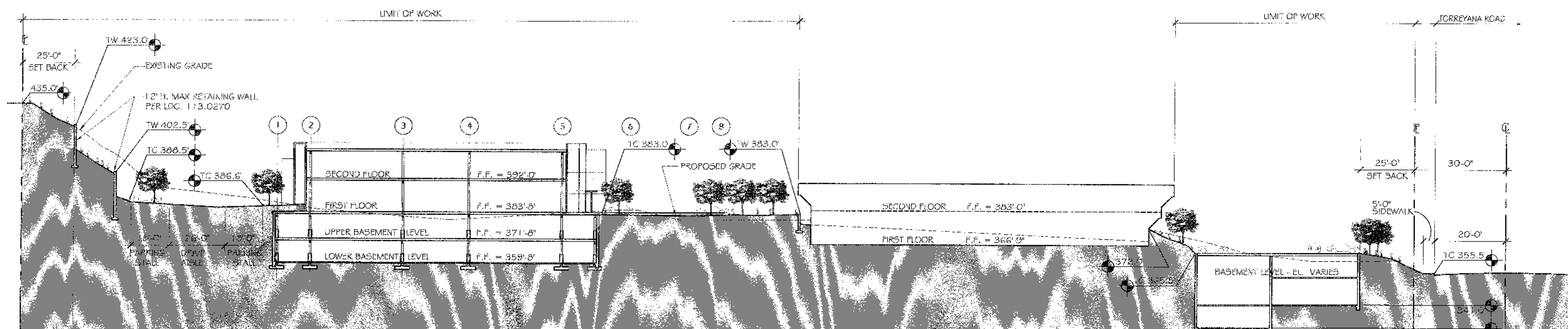
**KEY PLAN**  
SCALE: 1" = 60'-0"

1  
A4.0  
REFERENCE  
WORK



**SITE SECTION**  
SCALE: 1" = 30'-0"

2  
A4.0



**SITE SECTION**  
SCALE: 1" = 30'-0"

3  
A4.0

09-09-05	RESUBMITTAL
05-20-05	RESUBMITTAL
04-01-05	RESUBMITTAL
11-12-04	RESUBMITTAL
01-13-03	FULL SUBMITTAL
12-14-02	COMPLETENESS SUBMITTAL
Date Issued	Reason
Project No.	06-114-04



ALEXANDRIA

**TORREY PINES  
SCIENCE PARK  
LOT 12**

10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

CDP / SDP SUBMITTAL PACKAGE

Revision 5	09-09-05
Revision 4	09-09-05
Revision 3	05-20-05
Revision 2	04-01-05
Revision 1	11-12-04

Orig. Date: JANUARY 13, 2003

Sheet 18 of 20

DEP No.

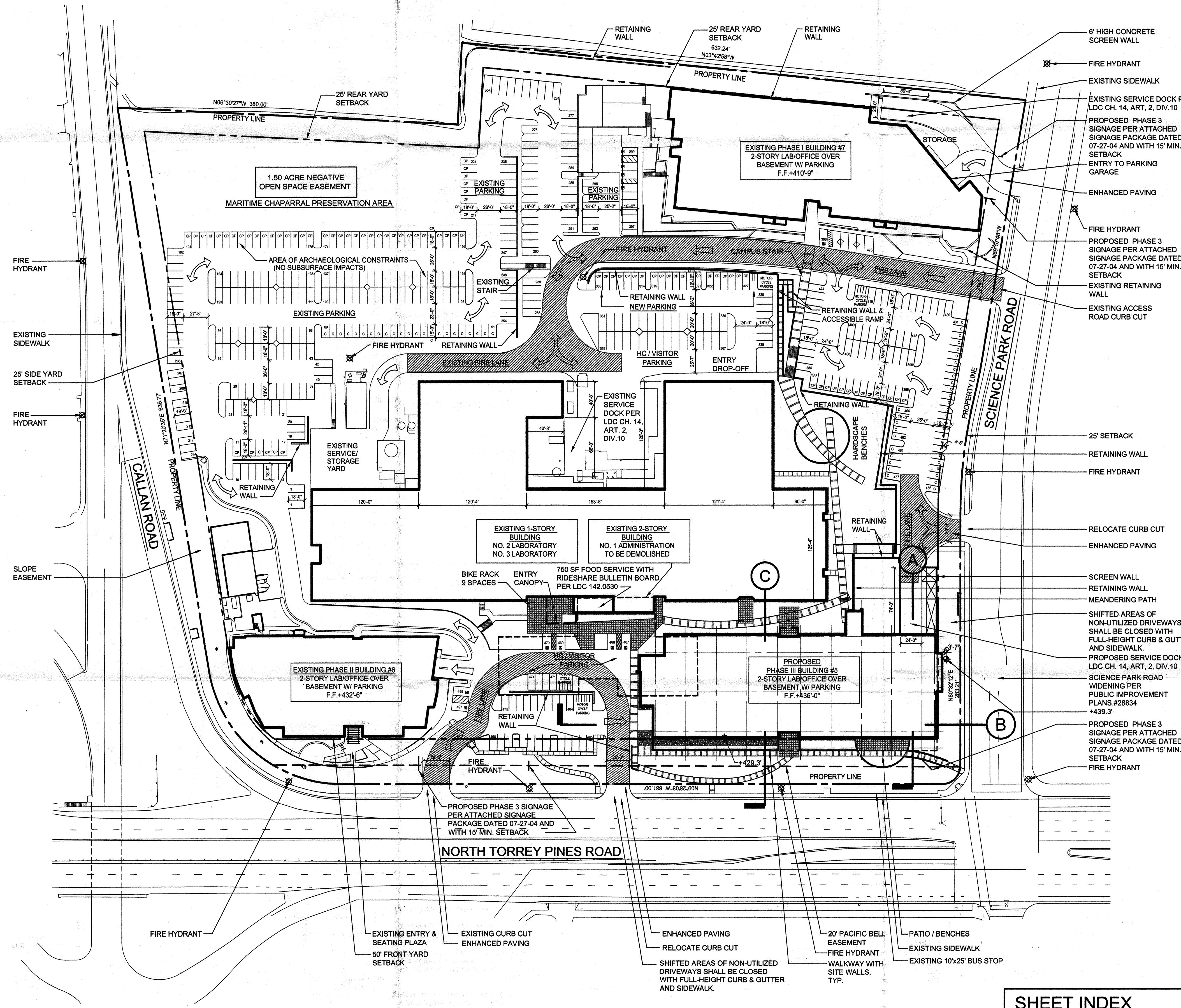
SHEET TITLE

**PROJECT CROSS  
SECTIONS**

APPROVED EXHIBIT  
PROJECT NO. 5244  
CDP 9828  
APPROVAL TICKET SDP 7829  
APPROVED BY: ASAP AND DUSTY BLANKING  
COMMISSION CHAIR COLIN J. 3/15/06  
SIGNATURE: *Ann O'Neil*

SHEET NUMBER  
**A4.0**





**PROJECT TEAM**

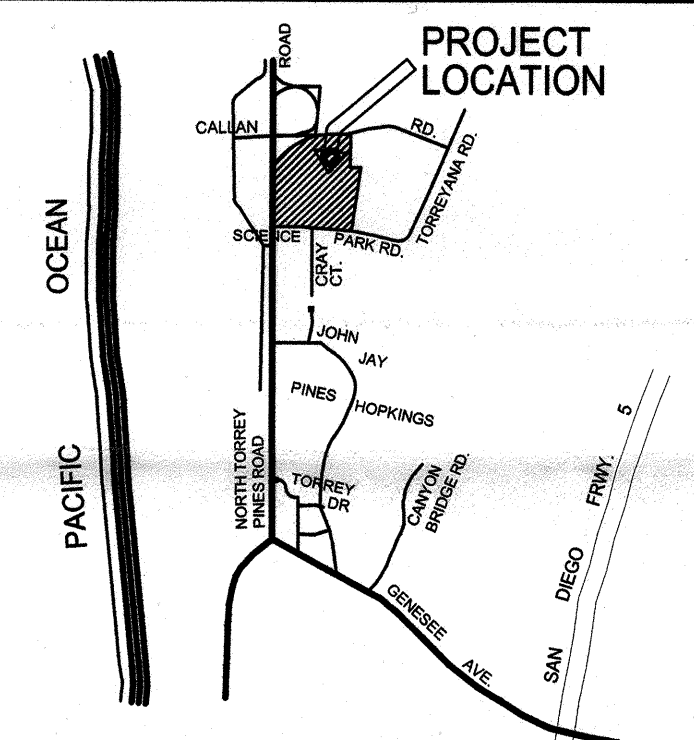
**PROPERTY OWNER/DEVELOPER:**  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
9820 WILLOW CREEK RD, SUITE 440  
SAN DIEGO, CA 92131  
858-530-8190

**ARCHITECT:**  
McGraw/Baldwin Architects  
701 B STREET, SUITE 200  
SAN DIEGO, CA 92101  
619-231-0751 PH  
619-231-4396 FAX

**CIVIL ENGINEER:**  
RBF  
9755 CLAIREMONT MESA BOULEVARD, SUITE 100  
SAN DIEGO, CA 92124-1324  
858-614-5000

**LANDSCAPE ARCHITECT:**  
WIMMER YAMADA AND CAUGHEY  
3067 FIFTH AVENUE  
SAN DIEGO, CA 92103  
619-294-4477

**LOCATION MAP**



**GENERAL INFORMATION**

**PROJECT DESCRIPTION:**  
PID AMENDMENT TO THE APPROVED CDP/PID #89-0928.  
AMENDMENT CDP/PID PERMIT #96-7114

**LEGAL DESCRIPTION:**  
LOT 1 OF TORREY PINES SCIENCE PARK UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO THE MAP NO. 6229, FILED IN THE OFFICE OF THE COUNTY ON NOV. 21, 1968. ASSESSOR PARCEL NUMBER 340-010-1500

**PROJECT ADDRESS:**  
ALEXANDRIA TECHNOLOGY CENTER - SCIENCE PARK  
ARE - 10933 NORTH TORREY PINES ROAD, LLC  
00 ALEXANDRIA REAL ESTATE EQUITIES, INC.  
LA JOLLA, CA

**EXISTING PID PERMIT APPROVED DEVELOPMENT**

BUILDING NUMBER	SQUARE FOOTAGE (LEVEL 1)	SQUARE FOOTAGE (LEVEL 2)	SQUARE FOOTAGE (SUBTOTAL)
1. ADMINISTRATION	20,000	20,000	40,000
2. LABORATORY	25,000	0	25,000
3. LABORATORY	57,000	0	57,000
4. LABORATORY	0	15,000	15,000
5. LABORATORY	30,000	0	30,000
6. LABORATORY	28,400	28,400	56,800
7. LABORATORY	29,100	29,100	58,200
8. LIBRARY/CAFETERIA	3,600	0	3,600
<b>TOTAL (GROSS)</b>	<b>193,100</b>	<b>92,500</b>	<b>285,600</b>

APZ-C CALCULATION 39  
(BUILDING FOOTPRINT + PARKING STRUCTURE FOOTPRINT / SITE AREA)

**SITE DEVELOPMENT TOTAL** 17,761 SF/ACRE

**PROPOSED UNDER PID AMENDMENT**

BUILDING NUMBER	SQUARE FOOTAGE (LEVEL 1)	SQUARE FOOTAGE (LEVEL 2)	SQUARE FOOTAGE (SUBTOTAL)
1. EXISTING ADMINISTRATION	0	0	0
2. EXISTING LABORATORY	*22,863	0	*22,863
3. EXISTING LABORATORY	*74,004	0	*74,004
4. N/A	0	0	0
5. PHASE III LAB/ADMIN	*34,061	*34,650	*68,711
6. PHASE II LAB/ADMIN	*22,979	*22,792	*45,371
7. EXISTING LABORATORY	*37,200	*36,911	*74,111
8. FOOD SERVICE	*750	0	*750
<b>TOTAL (GROSS)</b>	<b>191,247</b>	<b>94,353</b>	<b>285,600</b>

\* EXCLUDES MECHANICAL & ELEVATOR SHAFTS FROM GROSS SQUARE FOOTAGE.  
\* PROVIDE LIBRARY (2,850 SF) AND FOOD SERVICE (750 SF). LIBRARY SPACE SHALL BE ALLOCATED AS A PORTION OF EACH BUILDING AND THE FOOD SERVICE SHALL BE PROVIDED AS A SERVICE SPACE AVAILABLE TO THE ENTIRE SITE.

- GENERAL NOTES (PER PID #96-7114):**
- PROJECT SIGNAGE SHALL NOT EXCEED (1) SF OF SIGNAGE AREA PER LINEAR FOOT OF PERIMETER OF THE PREMISES.
  - PARKING SPACES ARE:  
STANDARD: 8'-0"x18'-0" MIN.  
COMPACT: 7'-6"x15'-0" MIN.  
ACCESSIBLE: 9'-0"x18'-0" WITH 5'x18" ACCESS AISLE  
VAN ACCESSIBLE: 9'-0"x18'-0" WITH 8'x18" ACCESS AISLE  
MOTORCYCLE (15 SPACES PROVIDED): 3'-0"x8'-0" MIN.
  - PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET.
  - SCREEN LOADING PLATFORMS FROM ADJOINING PROPERTY AND STREET.
  - BICYCLE RACKS ARE LOCATED IN PARKING GARAGES AT A RATE OF 0.03 SPACES/1000 SF x 285,600 SF = 9 BICYCLE SPACES.
  - IMPROVEMENTS FOR BUS STOP ON EAST SIDE OF NORTH TORREY PINES ROAD SHALL MEET ADA & MTDS STANDARDS AND SHALL BE MADE PRIOR TO ISSUANCE OF ANY PERMITS RELATED TO THE MULTI-LEVEL PARKING STRUCTURE.
  - THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 132.0505), HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
  - LOCKERS ARE LOCATED IN EACH BUILDING AT A RATE OF 0.03 LOCKERS/1000 SF x 285,600 SF = 9 LOCKERS.

**OCUPANCY:**  
B OFFICES/LABORATORY, S3 BASEMENT PARKING GARAGE

**ZONE:**  
IP-1-1, COASTAL DEV. PERMIT #96-7114

**TYPE OF NEW CONSTRUCTION:**  
TYPE II IN FULLY SPRINKLERED, 2-STORY LAB/OFFICE ABOVE BASEMENT/PARKING GARAGE WITH 1-HR OCCUPANCY SEPARATION BETWEEN B2 & S3 OCCUPANCY.

**BUILDING HEIGHT:**  
SHALL COMPLY WITH PROPOSITION 'D' HEIGHT LIMIT AS ENFORCED BY THE COASTAL COMMISSION AND/OR CITY OF SAN DIEGO.

**FIRE NOTES:**  
PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-001.  
POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE PER UFC 1001.4.

**SITE DATA:**  
SITE AREA 16.08 ACRES

PARKING DATA	ON GRADE	PARKING STRUCTURE	BUILDING AREA	PARKING RATIO
APPROVED CDP #89-0928	318 SPACES	378 SPACES	285,600 SF	
<b>TOTAL</b>	<b>696 SPACES</b>			<b>2.44 SPACES /1000 SF</b>

PARKING DATA	ON GRADE	BELOW GRADE/ GARAGE	BUILDING AREA	PARKING RATIO
APPROVED COASTAL & PID PERMIT #96-7114	573 SPACES	123 SPACES	285,600 SF	
<b>TOTAL</b>	<b>696 SPACES</b>			<b>2.44 SPACES /1000 SF</b>

**PROPOSED PARKING TABULATIONS UNDER PID AMENDMENT:**

PARKING DATA	ON GRADE	PARKING STRUCTURE	BELOW GRADE/ GARAGE	BUILDING AREA
PROPOSED PID AMENDMENT PLAN	498 SPACES	0 SPACES	231 SPACES	285,600 SF
<b>TOTAL</b>	<b>729 SPACES</b>			

(59 COMPACT, 562 STANDARD, 86 CARPOOL, 22 ACCESSIBLE)

**PARKING RATIO** 2.55 SPACES /1000 SF

\* WITH THE PID #96-7114 APPROVED DAILY VEHICLE TRIP COUNT OF 8 TRIPS / 1000 SF, A PARKING RATIO OF 2.67 SPACES / 1000 SF IS ALLOWABLE ON THIS SITE.

**PARKING SYMBOL LEGEND:**  
C = COMPACT PARKING SPACE Approval Date 4/28/05  
CP = CARPOOL PARKING SPACE SDP 151006/PP 10903  
A = ACCESSIBLE PARKING SPACE (11 SPACES PROVIDED ON SITE AND 11 SPACES IN PARKING GARAGES) CDP 10911

**CDP/PID #** 96-7114  
PID AMENDMENT RESUBMITTAL

**Prepared By:** McGraw/Baldwin Architects

**Address:** 701 B Street, Suite 200 San Diego, CA 92101

**Phone #:** 619-231-0751

**Project Address:** 10933 North Torrey Pines Rd. San Diego, CA

**Project Name:** Alexandria Technology Center Science Park City of San Diego Project Tracking # 6855 M/BA Project # 02017

**Revision 14** \_\_\_\_\_  
**Revision 13** \_\_\_\_\_  
**Revision 12** \_\_\_\_\_  
**Revision 11** \_\_\_\_\_  
**Revision 10** \_\_\_\_\_  
**Revision 9** \_\_\_\_\_  
**Revision 8** \_\_\_\_\_  
**Revision 7** \_\_\_\_\_  
**Revision 6** \_\_\_\_\_  
**Revision 5** \_\_\_\_\_  
**Revision 4** RESUBMITTAL SET - 12/08/04  
**Revision 3** RESUBMITTAL SET - 10/01/04  
**Revision 2** RESUBMITTAL SET - 08/13/04  
**Revision 1** RESUBMITTAL SET - 05/14/04

**Original Date:** 04/14/03

**A1.1**

**Sheet Title:** SITE PLAN

**SHEET** 1 **OF** 18

**DEP #** \_\_\_\_\_

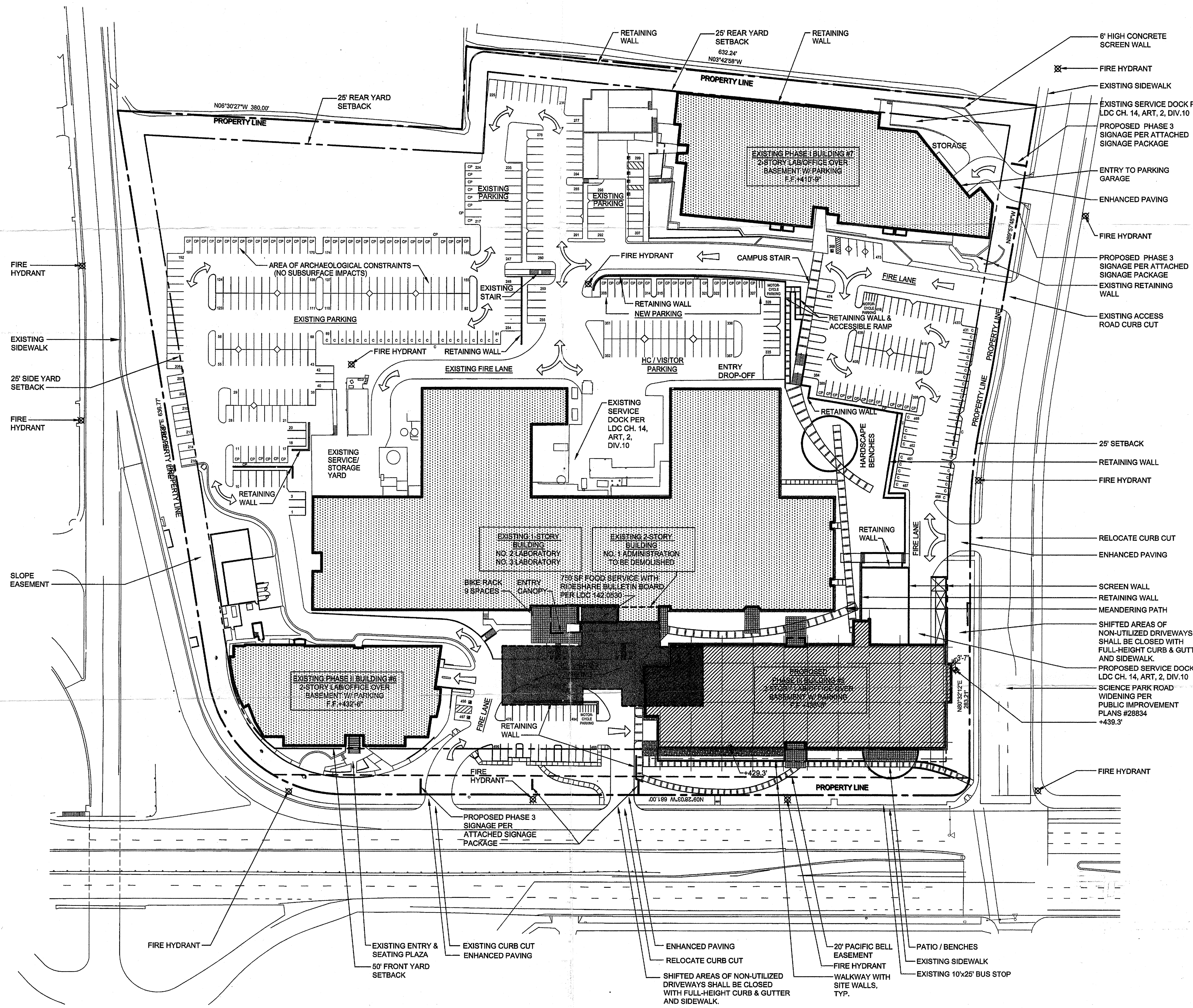
**SHEET INDEX**

- A1.1 SITE PLAN
- A1.2 GROSS AREA DIAGRAM
- A2.1 PHASE I, II & III BASEMENT GARAGE PLANS
- A2.2 PHASE III FLOOR PLAN AND ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A4.1 SITE SECTIONS
- L1.0 LANDSCAPE SITE PLAN
- L1.1 DETAILED LANDSCAPE SITE PLAN
- L2.0 LANDSCAPE CALCULATIONS, NOTES & PHOTOS
- C1.0 EXISTING CONDITIONS PLAN
- C1.1 EXISTING CONDITIONS PLAN
- C1.2 EXISTING CONDITIONS PLAN
- C1.3 EXISTING CONDITIONS PLAN
- C2.0 SCHEMATIC GRADING PLAN
- C2.1 SCHEMATIC GRADING PLAN
- C2.2 SCHEMATIC GRADING PLAN
- C3.0 SCHEMATIC GRADING PLAN
- C3.0 TENATIVE PARCEL MAP

**SITE PLAN**  
SCALE: 1" = 60'







GROSS AREA DIAGRAM LEGEND

- EXISTING BUILDING
- AREA OF BUILDING DEMOLITION
- PROPOSED PHASE III BUILDING

**EXISTING PID PERMIT APPROVED DEVELOPMENT**

BUILDING NUMBER	SQUARE FOOTAGE (LEVEL 1)	SQUARE FOOTAGE (LEVEL 2)	SQUARE FOOTAGE (SUBTOTAL)
1. ADMINISTRATION	20,000	20,000	40,000
2. LABORATORY	25,000	0	25,000
3. LABORATORY	57,000	0	57,000
4. LABORATORY	0	15,000	15,000
5. LABORATORY	30,000	0	30,000
6. LABORATORY	28,400	28,400	56,800
7. LABORATORY	29,100	29,100	58,200
8. LIBRARY/CAFETERIA	3,600	0	3,600
<b>TOTAL (GROSS)</b>	<b>193,100</b>	<b>92,500</b>	<b>285,600</b>

APZ-C CALCULATION %  
(BUILDING FOOTPRINT + PARKING STRUCTURE FOOTPRINT / SITE AREA)  
SITE DEVELOPMENT TOTAL 17,761 SF/ACRE

**PROPOSED UNDER PID AMENDMENT**

BUILDING NUMBER	SQUARE FOOTAGE (LEVEL 1)	SQUARE FOOTAGE (LEVEL 2)	SQUARE FOOTAGE (SUBTOTAL)
1. EXISTING ADMINISTRATION	0	0	0
2. EXISTING LABORATORY	*22,663	0	*22,663
3. EXISTING LABORATORY	*74,004	0	*74,004
4. N/A	0	0	0
5. PHASE III LAB/ADMIN	*34,051	*34,650	*68,701
6. PHASE II LAB/ADMIN	*22,579	*22,792	*45,371
7. EXISTING LABORATORY	*37,200	*36,911	*74,111
8. FOOD SERVICE	*750	0	*750
<b>TOTAL (GROSS)</b>	<b>191,247</b>	<b>94,353</b>	<b>285,600</b>

\* EXCLUDES MECHANICAL & ELEVATOR SHAFTS FROM GROSS SQUARE FOOTAGE.  
\* PROVIDE LIBRARY (2,850 SF) AND FOOD SERVICE (750 SF). LIBRARY SPACE SHALL BE ALLOCATED AS A PORTION OF EACH BUILDING AND THE FOOD SERVICE SHALL BE PROVIDED AS A SERVICE SPACE AVAILABLE TO THE ENTIRE SITE.

**PROPOSED PARKING TABULATIONS UNDER PID AMENDMENT:**

PARKING DATA:	ON GRADE	PARKING STRUCTURE	BELOW GRADE/ GARAGE	BUILDING AREA
PROPOSED PID AMENDMENT PLAN	498 SPACES	0 SPACES	231 SPACES	285,600 SF
<b>TOTAL</b>	<b>729 SPACES</b>			
	(60% COMPACT, 40% STANDARD)			
PARKING RATIO				2.55 SPACES / 1000 SF

\* WITH THE PID #98-7114 APPROVED DAILY VEHICLE TRIP COUNT OF 8 TRIPS / 1000 SF, A PARKING RATIO OF 2.67 SPACES / 1000 SF IS ALLOWABLE ON THIS SITE.

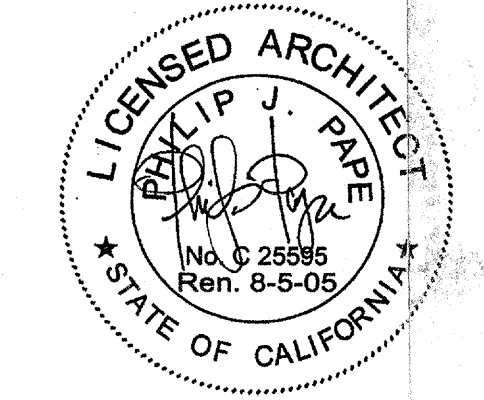
GROSS AREA DIAGRAM  
SCALE: 1" = 60'



**APPROVED EXHIBIT "A"**

Approval Date: 4/28/03  
PID AMENDMENT: 30P1511002; PDP 10903

- CDP/PID # 98-7114  
PID AMENDMENT RESUBMITTAL
- Prepared By: McGraw/Baldwin Architects  
Address: 701 'B' Street, Suite 200 San Diego, CA 92101  
Phone #: 619-231-0751  
Project Address: 10933 North Torrey Pines Rd. San Diego, CA  
Project Name: Alexandria Technology Center Science Park City of San Diego Project Tracking # 6655 MBA Project # 02017
- Permit No. 30P1511002; PDP 10903  
CDP 10911
- Revision 14
  - Revision 13
  - Revision 12
  - Revision 11
  - Revision 10
  - Revision 9
  - Revision 8
  - Revision 7
  - Revision 6
  - Revision 5
  - Revision 4
  - Revision 3 RESUBMITTAL SET - 10/01/04
  - Revision 2 RESUBMITTAL SET - 08/13/04
  - Revision 1 RESUBMITTAL SET - 05/14/04



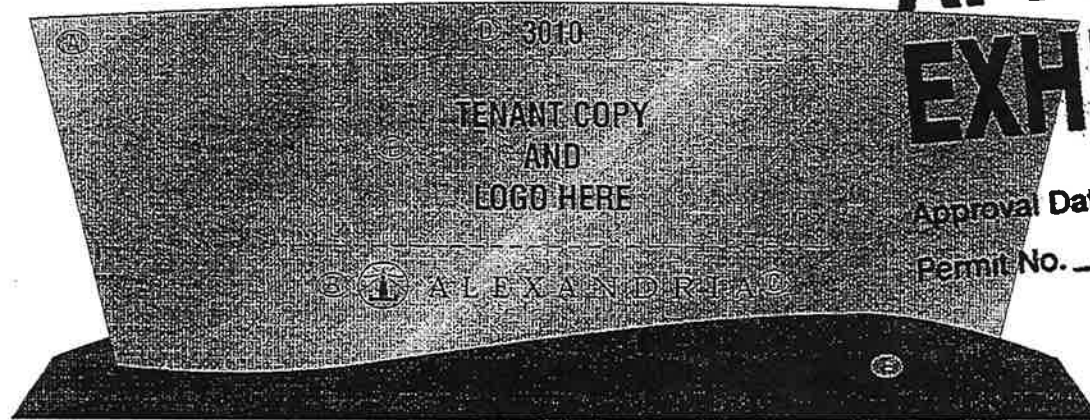


**E2** D/F B2-d Style Illuminated Monument

See detail specs below.

EXISTING

**APPROVED  
EXHIBIT "A"**



Approval Date 4/28/05  
Permit No. \_\_\_\_\_

**A** .125" Aluminum sign face. Computer rout & form as shown. Paint finish Brushed Aluminum (Gloss Finish).

**B** Alexandria symbol to be flushed in with .125" white translucent acrylic. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. First surface decorate symbol w/400 DPI 3M Translucent Scotchprint (by others).

**C** Alexandria copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face to be Alexandria art.

**D** Address copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face Helvetica Condensed.

**E** First surface decorative tenant "signature & logo" with 3M film(s) as req'd. Signature to be full color. Use artwork supplied by 'tenant' and approved by designer. Graphic area should not exceed area shown.

**F** .125" Aluminum base cladding. Form as shown. Paint finish Bronze Metallic (Gloss Finish).

Sq. Ft. = 54.9'

Parcel #2

Scale: 1/2" = 1'-0"



Corporate Headquarters:  
837 Riverfront Dr., Suite 300,  
Sheboygan, WI 53081  
PHONE: (920) 208-0896 FAX: (920) 208-0969

Regional Offices:  
Crystal Lake, IL Birmingham, AL  
Atlanta, GA Knoxville, TN

Designer:	DW
Revisions:	X
Sq Ft added to drawing (DW 12/02/04)	X
	X
	X

Location: San Diego, CA

Address: 3010 Science

Date: 7-27-04

**Approval:**

I.D. #	Artwork #	Drawing #
-	As Shown	C18724P8



**F** D/F L2 Style Non-Illuminated Directional

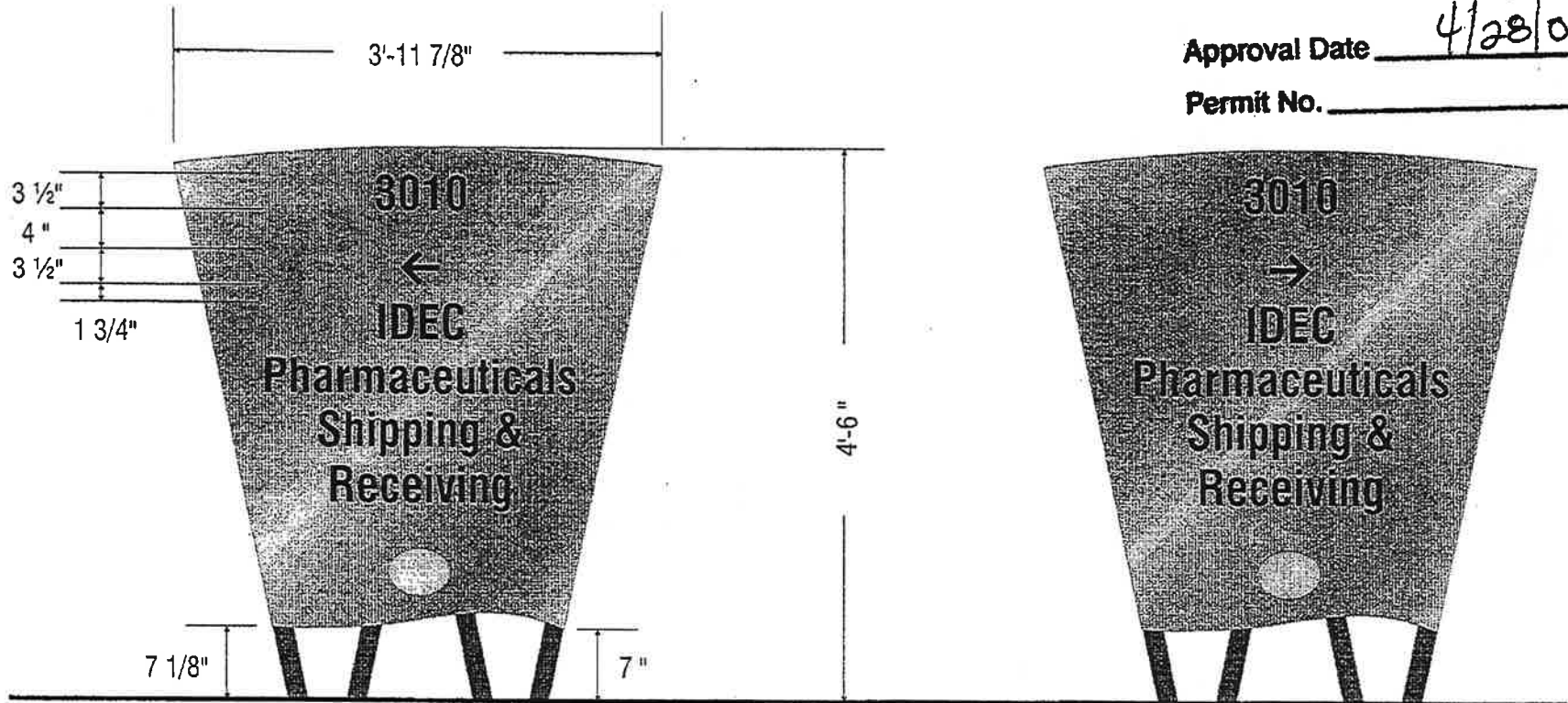
See sizes below.

**EXISTING**

# APPROVED EXHIBIT "A"

Approval Date 4/28/05

Permit No. \_\_\_\_\_



Sq. Ft. = 17.9'

2'-1 1/2"

Parcel #2

Scale: 3/4" = 1'-0"



Corporate Headquarters:  
837 Riverfront Dr., Suite 300,  
Sheboygan, WI 53081  
PHONE: (920) 208-0896 FAX: (920) 208-0989

Regional Offices:  
Crystal Lake, IL Birmingham, AL  
Atlanta, GA Knoxville, TN

Designer: \_\_\_\_\_ DW  
Revisions: \_\_\_\_\_ x  
Sq Ft added to drawing (DW 12/02/04) \_\_\_\_\_ x  
\_\_\_\_\_ x  
\_\_\_\_\_ x

Location: San Diego, CA  
Address: 3010 Science  
Date: 7-27-04

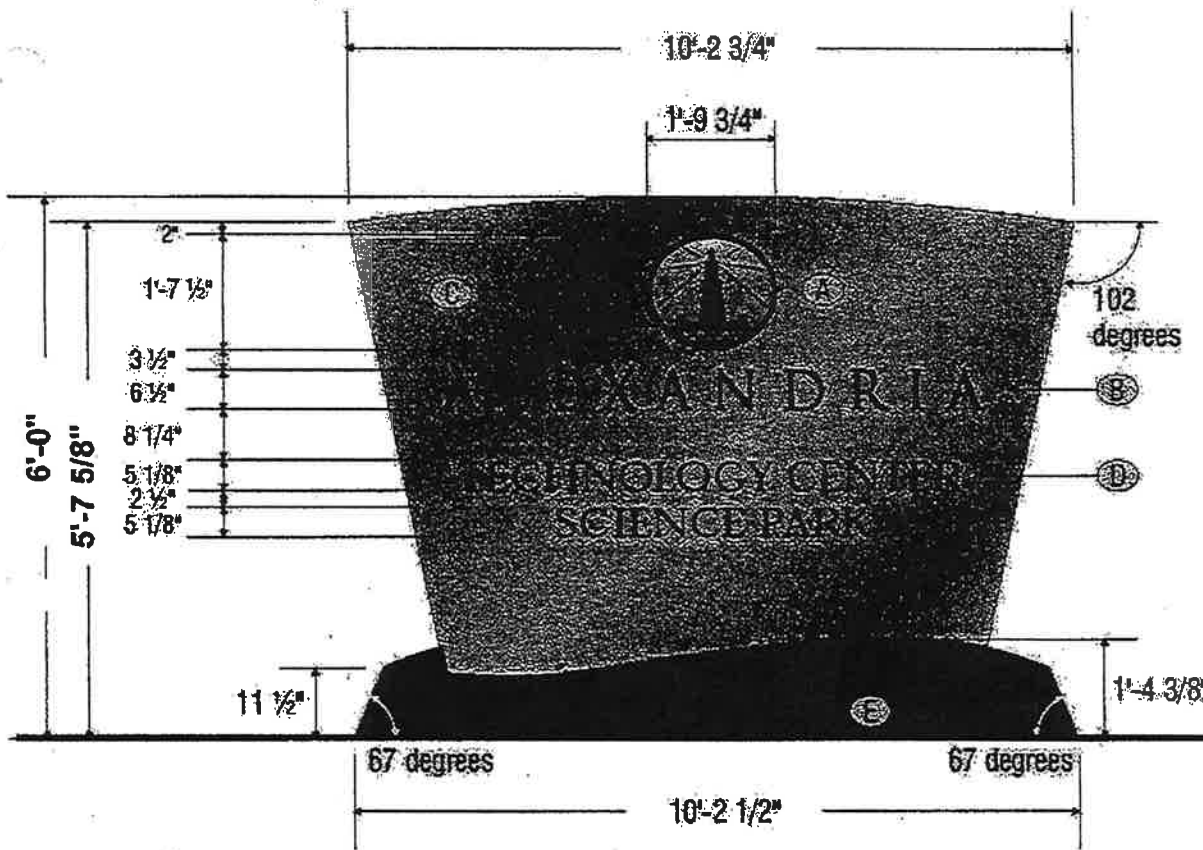
Approval:  
I.D. # \_\_\_\_\_ Artwork # \_\_\_\_\_ Drawing # \_\_\_\_\_  
As Shown **C18724P9**



**A** B/F D1-a Style Illuminated Monument

Install new D/F monument sign.

**PROPOSED**



- Ⓐ Alexandria symbol to be flushed in with .125" white translucent acrylic. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. First surface decorate symbol w/400 DPI 3M Translucent Scotchprint (by others).
- Ⓑ Alexandria copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face to be Alexandria art.
- Ⓒ .125" Aluminum sign face. Computer rout & form as shown. Paint finish Brushed Aluminum (Gloss Finish).
- Ⓓ Building identifier to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face to be Trapeze Bolt.
- Ⓔ 12" aluminum base flange. Form as shown. Paint finish Bronze Metallic (Gloss Finish).

**APPROVED EXHIBIT "A"**

Approval Date 4/28/05  
 Permit No. \_\_\_\_\_

Sq. Ft. = 76.7

Parcel #1



Project No. 6655

Corporate Headquarters:  
 837 Fairview Dr., Suite 200,  
 Birmingham, AL 35201  
 PHONE (205) 358-0999 FAX (205) 208-0999

Regional Offices:  
 Crystal Lake, IL Birmingham, AL  
 Atlanta, GA Knoxville, TN

Designer: DW  
 Revisions: X  
 Sq.Ft. added to drawing (DW 12/02/04) X  
 X  
 X

Location: San Diego, CA  
 Address: 10975 N. Torrey Pines Rd  
 Date: 7-27-04

Approval:  
 I.D. # Artwork # Drawing #  
 - As Shown C18724P1



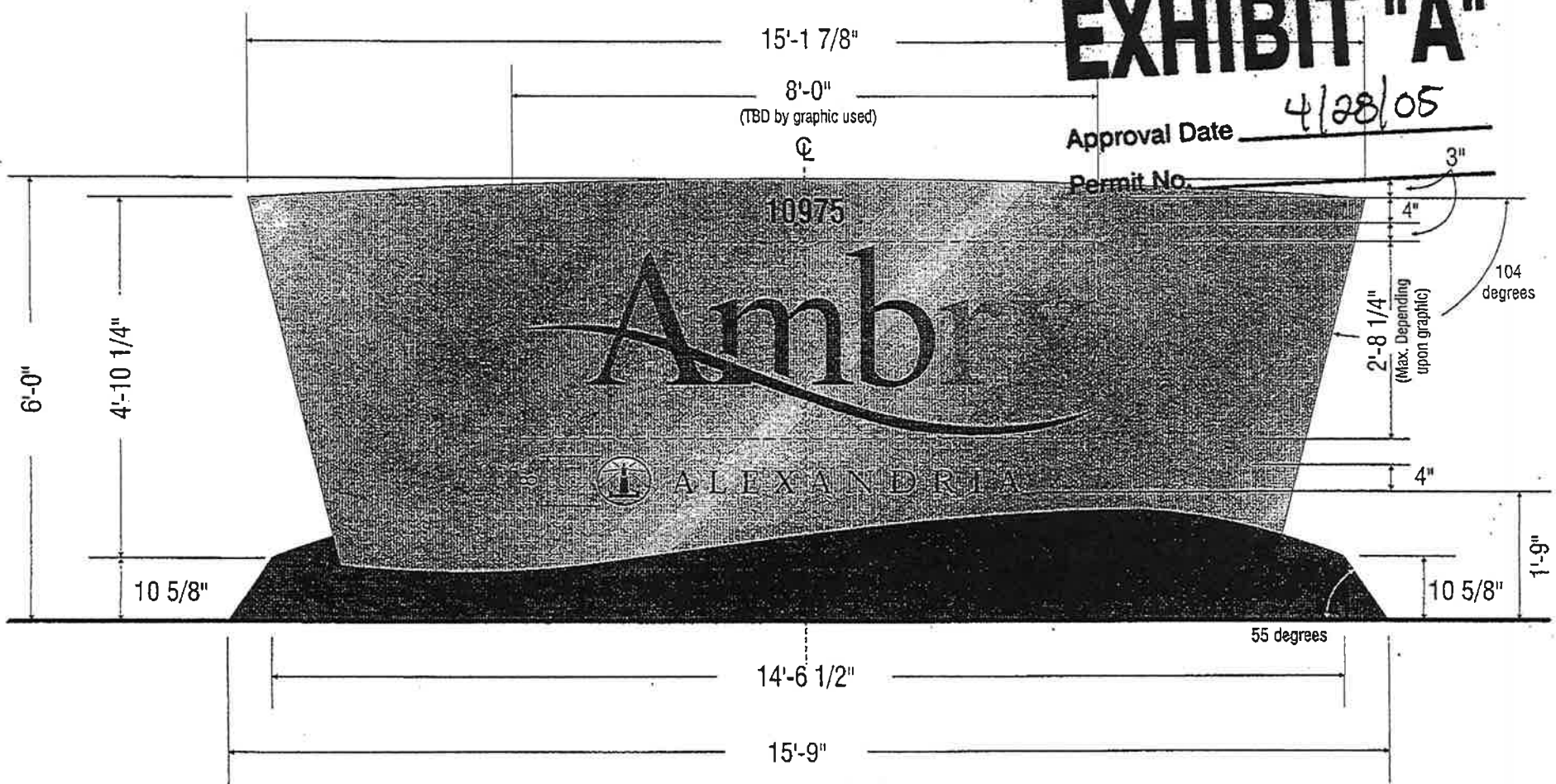
**B1** D/F B1-d Style Illuminated Monument

**PROPOSED**

New D/F routed aluminum monument sign. Refer to page 3 for details and specifics.  
 Tenant copy area is pending.

**APPROVED  
 EXHIBIT "A"**

Approval Date 4/28/05  
 Permit No. \_\_\_\_\_



Sq. Ft. = 94.5' Parcel #3 Scale: 1/2" = 1'-0"



Corporate Headquarters:  
 837 Riverfront Dr., Suite 300,  
 Sheboygan, WI 53081  
 PHONE: (920) 208-0896 FAX: (920) 208-0969

Regional Offices:  
 Crystal Lake, IL Birmingham, AL  
 Atlanta, GA Knoxville, TN

Designer: DW  
 Revisions: X  
 Ambrx artwork inserted (DW 11/15/04)  
 Sq Ft added to drawing (DW 12/02/04)  
 X

Location: San Diego, CA  
 Address: 10975 N. Torrey Pines Rd  
 Date: 7-27-04

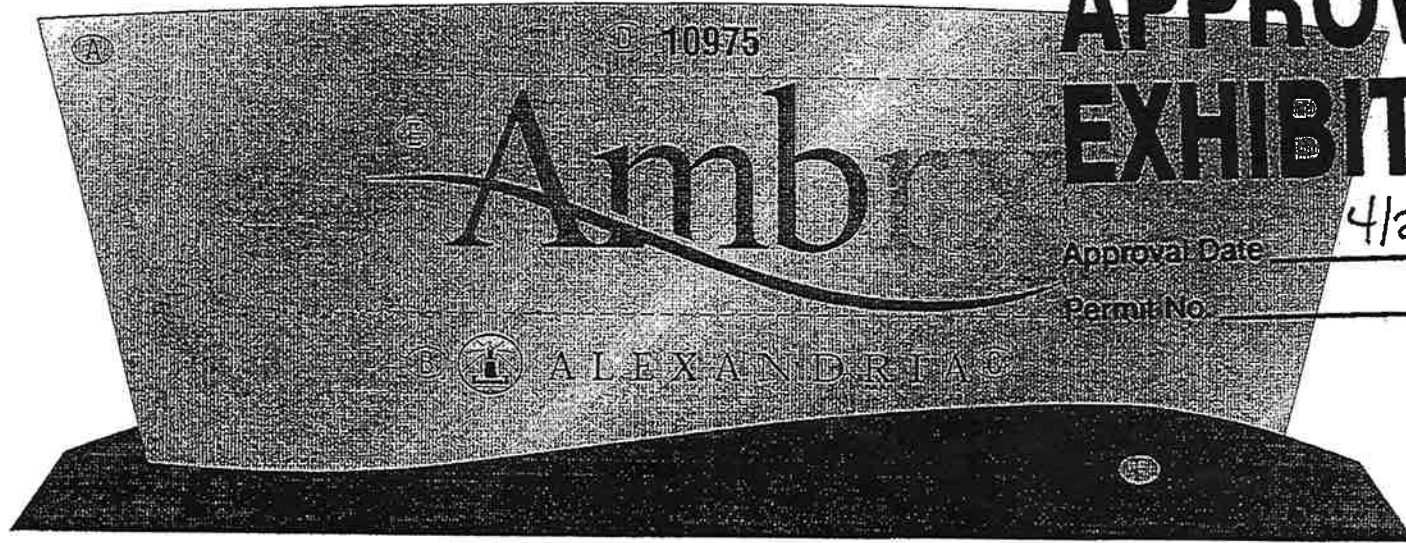
Approval:  
 I.D. # Artwork # Drawing #  
 - As Shown C18724P2



**B2** D/F B1-d Style Illuminated Monument

See detail specs below.

**PROPOSED**



**APPROVED  
EXHIBIT "A"**

4/28/05

Approval Date \_\_\_\_\_

Permit No. \_\_\_\_\_

- Ⓐ .125" Aluminum sign face. Computer rout & form as shown. Paint finish Brushed Aluminum (Gloss Finish).
- Ⓑ Alexandria symbol to be flushed in with .125" white translucent acrylic. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. First surface decorate symbol w/400 DPI 3M Translucent Scotchprint (by others).
- Ⓒ Alexandria copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face to be Alexandria art.
- Ⓓ Address copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face Helvetica Condensed.
- Ⓔ First surface decorative tenant "signature & logo" with 3M film(s) as req'd. Signature to be full color. Use artwork supplied by 'tenant' and approved by designer. Graphic area should not exceed area shown. Colors to match corporate specs.
- Ⓕ .125" Aluminum base cladding. Form as shown. Paint finish Bronze Metallic (Gloss Finish).

Sq. Ft. = 94.5'

Parcel #3

Scale: 1/2" = 1'-0"



Corporate Headquarters:  
837 Riverfront Dr., Suite 300,  
Sheboygan, WI 53081  
PHONE: (920) 208-0896 FAX: (920) 208-0999

Regional Offices:  
Crystal Lake, IL Birmingham, AL  
Atlanta, GA Knoxville, TN

Designer:	DW
Revisions:	X
Ambrx artwork inserted (DW 11/15/04)	
Sq Ft added to drawing (DW 12/02/04)	
	X

Location:	San Diego, CA
Address:	10975 N. Torrey Pines Rd
Date:	7-27-04

**Approval:**

I.D. #	Artwork #	Drawing #
-	As Shown	C18724P3



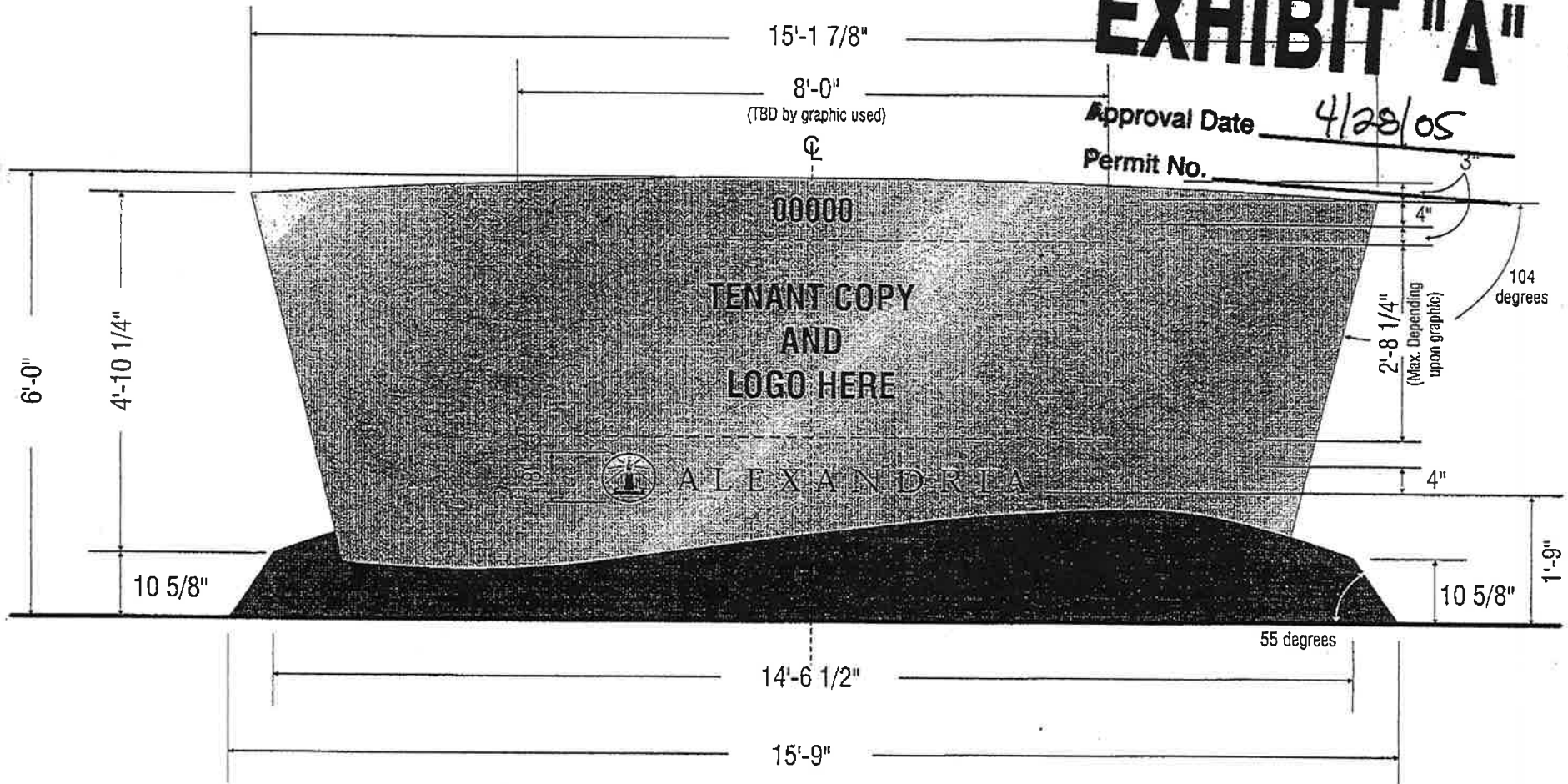
**C1** D/F B1-d Style Illuminated Monument

**PROPOSED**

New D/F routed aluminum monument sign. Refer to page 5 for details and specifics.  
 Tenant copy area & address numerals are pending.

**APPROVED  
 EXHIBIT "A"**

Approval Date 4/28/05  
 Permit No. \_\_\_\_\_



Sq. Ft. = 94.5'

Parcel #4

Scale: 1/2" = 1'-0"



Corporate Headquarters:  
 837 Riverfront Dr., Suite 300,  
 Sheboygan, WI 53081  
 PHONE (920) 208-0836 FAX (920) 208-0969

Regional Offices:  
 Crystal Lake, IL Birmingham, AL  
 Atlanta, GA Knoxville, TN

Designer:	DW
Revisions:	x
Sq Ft added to drawing (DW 12/02/04)	x
	x
	x

Location:	San Diego, CA
Address:	10975 N. Torrey Pines Rd
Date:	7-27-04

<b>Approval:</b>		
I.D. #	Artwork #	Drawing #
-	As Shown	C18724P4

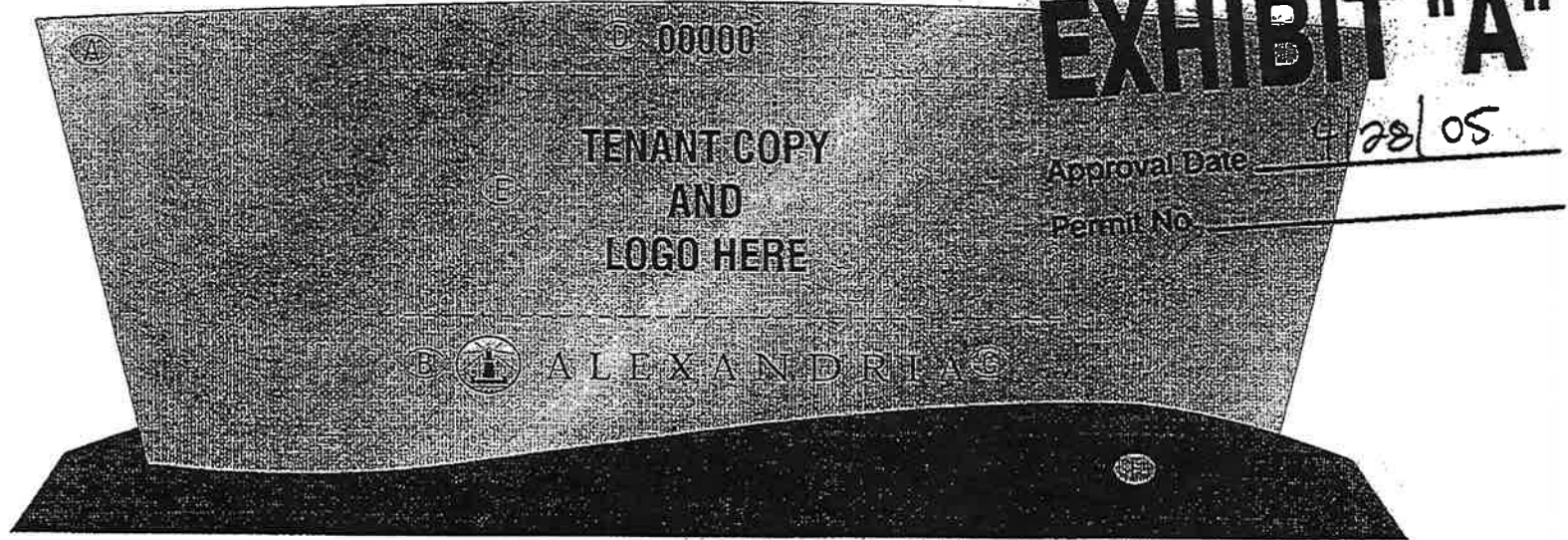


**C2** D/F B1-d Style Illuminated Monument

See detail specs below.

**PROPOSED**

**APPROVED  
EXHIBIT "A"**



**A** .125" Aluminum sign face. Computer rout & form as shown. Paint finish Brushed Aluminum (Gloss Finish).

**B** Alexandria symbol to be flushed in with .125" white translucent acrylic. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. First surface decorate symbol w/400 DPI 3M Translucent Scotchprint (by others).

**C** Alexandria copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face to be Alexandria art.

**D** Address copy to be routed and flushed in with .137" Black & White acrylic by Casocryl. Chem Weld second surface to .25" clear acrylic backing sheet with 3M #3675-70 white diffuser. Bolt attach second surface to sign face over threaded welded studs. Type face Helvetica Condensed.

**E** First surface decorative tenant "signature & logo" with 3M film(s) as req'd. Signature to be full color. Use artwork supplied by tenant and approved by designer. Graphic area should not exceed area shown.

**F** .125" Aluminum base cladding. Form as shown. Paint finish Bronze Metallic (Gloss Finish).

Sq. Ft. = 94.5'

Parcel #4

Scale: 1/2" = 1'-0"



Corporate Headquarters:  
837 Riverfront Dr., Suite 300,  
Sheboygan, WI 53081  
PHONE: (920) 208-0896 FAX: (920) 208-0969

Regional Offices:  
Crystal Lake, IL Birmingham, AL  
Atlanta, GA Knoxville, TN

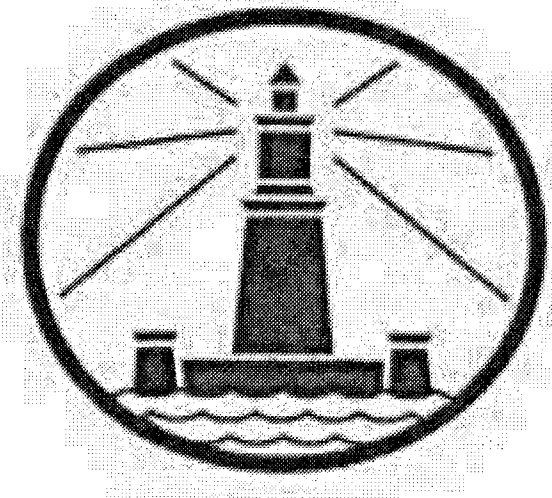
Designer:	DW
Revisions:	X
Sq Ft added to drawing (DW 12/02/04)	X
	X

Location:	San Diego, CA
Address:	10975 N. Torrey Pines Rd
Date:	7-27-04

Approval:

I.D. #	Artwork #	Drawing #
-	As Shown	C18724P5





ALEXANDRIA®

Torreyana / Sunrise

SUBSTANTIAL CONFORMANCE REVIEW  
02/21/2014

**APPROVED  
EXHIBIT "A"**

Approval Date: 02/04/2014  
Permit No. SAR # 1250085  
PIS # 344643

**SUSTAINABLE BUILDINGS  
EXPEDITE PROGRAM**

**AUTHORIZED BY  
COUNCIL POLICY 900-14**

Development Plans  
Version 5  
(Project Manager)  
200594



Alexandria Real Estate Equities, Inc.

10996 Torreyana Road  
San Diego CA 92121

225 Broadway  
Suite 1600  
San Diego CA 92101  
Tel: 619.557.2500  
Fax: 619.557.2520

Gensler

<b>BUILDING OWNER:</b>	ALEXANDRIA REAL ESTATE EQUITIES 4650 LA JOLLA VILLAGE DRIVE - SUITE 725 - SAN DIEGO, CA 92122 CONTACT: BRIAN SMITH TELEPHONE: 858.638.2800 EMAIL: BSMITH@ARE.COM
<b>ARCHITECT:</b>	GENSLER 225 BROADWAY - SUITE 1600 - SAN DIEGO, CA 92101 CONTACT: NATHAN CUREN TELEPHONE: 619.557.2512 FAX: 619.557.2520 EMAIL: NATHAN_CUREN@GENSLER.COM
<b>CIVIL ENGINEER:</b>	RFI CONSULTING 9755 CLAREMONT MESA BLVD - SUITE 100 - SAN DIEGO, CA 92129 CONTACT: BRIAN OLIVER TELEPHONE: 858.614.8000 FAX: 858.614.5001 EMAIL: BOOLIVER@GENSLER.COM
<b>LANDSCAPE ARCHITECT:</b>	MCCULLOUGH LANDSCAPE ARCHITECTURE, INC. 363 5TH AVENUE, SUITE 201 - SAN DIEGO, CA 92101 CONTACT: DAVID MCCULLOUGH TELEPHONE: 619.286.3150 EMAIL: DAVID@MLASD.COM

PROJECT TEAM

SCALE: 1/2" = 1'-0"

<b>SDP 9829 / CDP 9828 - TORREYANA</b>	
<b>LEGAL DESCRIPTION:</b>	LOT 12 UNIT # 2 TORREY PINES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 8434 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO.
<b>SITE ADDRESS:</b>	10996 TORREYANA ROAD, SAN DIEGO, CA, 92121 (EXISTING STRUCTURE)
<b>ASSESSOR'S PARCEL NO.:</b>	340-010-34-00
<b>LAND USE INFORMATION:</b>	INDUSTRIAL PARK ZONE (IP-1-1) COASTAL OVERLAY ZONE (NON-APPEALABLE AREA 1) COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D) COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ TYPE-B) UNIVERSITY COMMUNITY PLAN PARKING IMPACT OVERLAY ZONE (CAMPUS AND BEACH IMPACT AREAS) RESIDENTIAL TANDEM PARKING OVERLAY ZONE PRIME INDUSTRIAL LAND (GENERAL PLAN) AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE: MCAS MIRAMAR AIRPORT ENVIRONS OVERLAY ZONE: 40 CNPL AIRPORT INFLUENCE AREA (REVIEW AREA 1) OVERFLIGHT NOTIFICATION AREA: MCAS MIRAMAR ACCIDENT POTENTIAL ZONE: MCAS MIRAMAR ZONE 2
<b>SITE AREA:</b>	GROSS SITE AREA: (APPROX.) 6.222 ACRES 271,040 SF LANDSCAPE AREA: 2.899 ACRES 125,862 SF HARDSCAPE AREA: 2.238 ACRES 96,387 SF BUILDING COVERAGE: 1.009 ACRES 43,953 SF BUILDING COVERAGE %: (43,953 SF/271,040 SF) = 16%
<b>SETBACKS:</b>	FRONT YARD: 25' STREET SIDE YARD: 25' INTERIOR SIDE YARD: 15' REAR YARD: 25'
<b>GEOLOGIC HAZARD CATEGORY:</b>	51 & 52

<b>SDP 151106 / PDP 10903 / CDP 10911 - SUNRISE</b>	
<b>LEGAL DESCRIPTION:</b>	LOTS 1 THROUGH 4 INCLUSIVE AND LOT "A" OF ALEXANDRIA TECHNOLOGY CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15437, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON SEPTEMBER 19, 2009 AS FILE NO. 0666754.
<b>SITE ADDRESS:</b>	109331 N. TORREY PINES RD., 3010 SCIENCE PARK RD., 10975 N. TORREY PINES RD., VACANT LAND, OPEN SPACE PARCEL
<b>ASSESSOR'S PARCEL NO.:</b>	340-012-0100, 340-012-0200, 340-012-0300, 340-012-0400, 340-012-0500
<b>LAND USE INFORMATION:</b>	INDUSTRIAL PARK ZONE (IP-1-1) COASTAL OVERLAY ZONE (NON-APPEALABLE AREA 1) COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D) COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ TYPE-B) UNIVERSITY COMMUNITY PLAN PARKING IMPACT OVERLAY ZONE (CAMPUS AND BEACH IMPACT AREAS) RESIDENTIAL TANDEM PARKING OVERLAY ZONE PRIME INDUSTRIAL LAND (GENERAL PLAN) AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE: MCAS MIRAMAR AIRPORT ENVIRONS OVERLAY ZONE: 40 CNPL AIRPORT INFLUENCE AREA (REVIEW AREA 1) OVERFLIGHT NOTIFICATION AREA: MCAS MIRAMAR ACCIDENT POTENTIAL ZONE: MCAS MIRAMAR ZONE 2
<b>SITE AREA:</b>	GROSS SITE AREA: 16.08 ACRES 700,445 SF
<b>SETBACKS:</b>	FRONT YARD: 50' STREET SIDE YARD: 25' REAR YARD: 25'
<b>GEOLOGIC HAZARD CATEGORY:</b>	51 & 52

<b>OCCUPANCY:</b>	BUILDING A: B BUILDING B: B BUILDING C: B BUILDING D: B, A2, A3
<b>TYPE OF NEW CONSTRUCTION:</b>	REMODELED BUILDING D TYPE III-B, SPRINKLERED
<b>TYP. PARKING DIMENSIONS:</b>	STANDARD: 8'-0" X 18'-0" MIN. RESIDENTIALLY CONFORMING COMPACT: 7'-6" X 15'-0" MIN. ACCESSIBLE: 9'-0" X 18'-0" WITH 5'X18" ACCESS AISLE VAN ACCESSIBLE: 9'-0" X 18'-0" WITH 8'X18" ACCESS AISLE MOTORCYCLE: 3'-0" X 8'-0" MIN.
<b>BUILDING HEIGHT:</b>	BUILDING HEIGHTS SHALL COMPLY WITH PROPOSITION D' HEIGHT LIMIT AS ENFORCED BY THE CASTAL COMMISSION AND/OR CITY OF SAN DIEGO
<b>FIRE NOTES:</b>	PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4) PROVIDE "NO PARKING - FIRE LANE" SIGNAGE AND/OR PAINT ALL CURBS THAT OUTLINE ACCESS ROADWAYS RED WITH 4" HIGH WHITE LETTERING READING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH FHPS POLICY A-08-1
<b>PARKING SYMBOL LEGEND:</b>	C COMPACT (PREVIOUSLY CONFORMING) OP CAR POOL ACCESSIBLE

PROJECT DATA

SCALE: 1/2" = 1'-0"

<b>PREVIOUSLY APPROVED DEVELOPMENT</b>	
<b>PER SDP 151106 / PDP 10903 / CDP 10911 : SUNRISE</b>	
2. EXISTING LAB	22,663 SF
3. EXISTING LAB	74,004 SF
5. PHASE III LAB/ADMIN.	68,701 SF
6. PHASE II LAB/ADMIN.	45,371 SF
7. EXISTING LAB	74,111 SF
8. FOOD SERVICE	750 SF
<b>TOTAL</b>	<b>285,600 SF</b>
<b>PER SDP 9829 / CDP 9828: TORREYANA</b>	
EXISTING 2-STORY R&D BUILDING	81,895 SF
PROPOSED 2-STORY R&D BUILDING	60,674 SF
<b>TOTAL</b>	<b>142,569 SF</b>
<b>COMBINED PREVIOUSLY APPROVED DEVELOPMENT:</b>	
	<b>428,169 SF</b>

DEVELOPMENT DATA

<b>REQUIRED PARKING PER SDMC 142.0530</b>	
TABLE 142-05G PARKING RATIOS: RESEARCH & DEVELOPMENT	
R&D 428,169 SF	MIN: 2.5/1000 MAX: 4.0/1000
	1,070 STALLS* 1,712 STALLS*
*ACCESSIBLE PARKING STALLS SHALL BE PROVIDED AT THE RATE OF 20 PLUS 1 FOR EACH OF 100 OR FRACTION THEREOF OVER 1001	
DESIGNATED PARKING SPACES FOR CARPOOL VEHICLES AND ZERO EMISSIONS VEHICLES PER 142.0530(a)(1)(B)(viii)	
	MIN MAX
8% OF TOTAL SPACES	86 STALLS 137 STALLS
MOTORCYCLE PARKING PER 142.0530(g)	
2% OF PARKING MIN.	21 MOTORCYCLE SPACES
BICYCLE PARKING PER 142.0530(e)(1)(A) & 142.0530(e)(2)(A)	
5% OF PARKING MIN.	54 BICYCLE SPACES

PARKING DATA

<b>EXISTING DEVELOPMENT</b>	
<b>SDP 15116</b>	
BUILDING A: (E) 2 STORY	45,371 SF
BUILDING B: (E) 1 STORY	122,000 SF
BUILDING C: (E) 2 STORY	74,111 SF
REMAINING UNBUILT ENTITLEMENTS	44,118 SF
<b>TOTAL</b>	<b>285,600 SF</b>
<b>SDP 9829</b>	
BUILDING D: (E) 2-STORY	81,895 SF
REMAINING UNBUILT ENTITLEMENTS	60,674 SF
<b>TOTAL</b>	<b>142,569 SF</b>
<b>COMBINED ENTITLEMENTS: 428,169 SF</b>	
<b>PROPOSED DEVELOPMENT</b>	
BUILDING A: (E) 2 STORY	45,371 SF
BUILDING B: (E) 1 STORY	122,000 SF
BUILDING C: (E) 2 STORY	74,111 SF
REMODELED BUILDING D WITH (N) SOCCER FIELD	78,266 SF
<b>TOTAL PROPOSED DEVELOPMENT</b>	<b>319,748 SF</b>
REMAINING UNBUILT ENTITLEMENTS	108,421 SF
<b>TOTAL ENTITLEMENT:</b>	<b>428,169 SF</b>

<b>EXISTING PARKING</b>	
<b>SDP 15116 - "SUNRISE"</b>	
	STANDARD ACCESSIBLE
ON GRADE	480 15
BLDG. A SUBTERANEAN	50 3
BLDG. C SUBTERANEAN	79 4
<b>TOTAL</b>	<b>609 22 = 631</b>
<b>SDP 9829 - "TORREYANA"</b>	
	STANDARD ACCESSIBLE
ON GRADE	159 6
PARKING STRUCTURE	165 4
<b>TOTAL</b>	<b>324 10 = 334</b>
<b>PROPOSED PARKING</b>	
	STANDARD ACCESSIBLE
ON GRADE	581 15
BLDG. A SUBTERANEAN	50 3
BLDG. C SUBTERANEAN	79 4
(E) PARKING STRUCTURE	166 3
<b>TOTAL</b>	<b>876 25 = 901</b>

<b>ACCESSORY USE CALCULATION</b>	
<b>TOTAL TORREYANA / SUNRISE ENTITLEMENT:</b>	<b>428,169 SF</b>
<b>10% MAX. ACCESSORY:</b>	<b>42,817 SF</b>
<b>LEVEL 1:</b>	
<b>FITNESS</b>	
B-BALL	6,175
INSTRUCTIONAL STUDIOS	3,170
OPEN FITNESS	3,179
POOL	2,692
LOCKER ROOMS	2,505
RECEPTION	574
<b>TOTAL:</b>	<b>18,295</b>
<b>LEVEL 1 TOTAL ACCESSORY</b>	<b>18,295 SF</b>
<b>LEVEL 2:</b>	
LOUNGE / DINING	2,711
BIKE FACILITY	1,404
BIOCOM SUITE SPACE	19,151
<b>TOTAL:</b>	<b>23,266</b>
<b>LEVEL 2 TOTAL ACCESSORY</b>	<b>23,266 SF</b>
<b>TOTAL ACCESSORY :</b>	<b>41,561 SF</b>

<b>PPL / ACRE CALCULATION: EXISTING DEVELOPMENT + ENTITLEMENT</b>	
<b>SDP 9829 - TORREYANA PPL / ACRE CALCULATION BASED ON EXISTING ENTITLEMENT</b>	
<b>TOTAL SITE AREA</b>	<b>6.222 ACRES = 271,030 SF</b>
(E) BUILDING	81,895 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 273 PEOPLE
REMAINING R&D ENTITLEMENT	60,674 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 202 PEOPLE
<b>TOTAL SDP 9829 SITE DENSITY</b>	<b>475 PEOPLE</b>
<b>PEOPLE / ACRE = 475 PEOPLE / 6.222 ACRES</b>	<b>76.3 PEOPLE / ACRE</b>
<b>SDP 151106 - SUNRISE PPL / ACRE CALCULATION BASED ON EXISTING ENTITLEMENT</b>	
<b>TOTAL SITE AREA</b>	<b>16.08 ACRES = 700,445 SF</b>
(E) BUILDING A	45,371 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 151 PEOPLE
(E) BUILDING B	122,000 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 407 PEOPLE
(E) BUILDING C	74,111 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 247 PEOPLE
REMAINING R&D ENTITLEMENT	43,368 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 145 PEOPLE
750 SF OF FOOD SERVICE (ACCESSORY)	
<b>TOTAL SDP 151106 SITE DENSITY</b>	<b>950 PEOPLE</b>
<b>PEOPLE / ACRE = 950 PEOPLE / 16.08 ACRES</b>	<b>59.1 PEOPLE / ACRE</b>
<b>COMBINED SDP 9829 &amp; SDP 151106 PPL / ACRE CALCULATION</b>	
<b>TOTAL SITE AREA</b>	<b>22.302 ACRES</b>
<b>COMBINED SDP 9829 &amp; SDP 151106 SITE DENSITY</b>	<b>1425 PEOPLE</b>
<b>PEOPLE / ACRE = 1425 PEOPLE / 22.302 ACRES</b>	<b>63.9 PEOPLE / ACRE</b>

<b>PPL / ACRE CALCULATION: PROPOSED DEVELOPMENT</b>	
<b>PROPOSED DEVELOPMENT PPL / ACRE CALCULATION</b>	
<b>TOTAL ENTITLED BUILDING AREA</b>	<b>428,169 SF</b>
10% ACCESSORY SF EXEMPTION PER SDMC 132.1516(c)(2)(E)(iv)	10% x 428,169 = 42,817 SF
(E) BUILDING A	45,371 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 151 PEOPLE
(E) BUILDING B	97,417 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 325 PEOPLE
(E) BUILDING C	74,111 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 247 PEOPLE
BUILDING D: REMODELED 10996 TORREYANA RD.	10% EXEMPTION
ASSEMBLY: 26,186 SF	26,186 SF (26,186 SF)
INSTRUCTIONAL STUDIOS: 2,734 SF	2,734 SF (2,734 SF)
EATING ESTABLISHMENTS: 3,000 SF	3,000 SF (3,000 SF)
BIOCOM 27,259 SF	27,259 SF (10,897)
SUPPORT SPACES (RESTROOMS, STORAGE, LOCKER ROOMS, ETC.)	19,087 SF
	(42,817 SF)
REMAINING 16,362 SF OF BIOCOM @ 215 SF/PERSON (27,259 SF - 10,897 SF EXEMPT = 16,362 SF) PER SDMC TABLE 142.05F	16,362 SF / 215 SF PER PERSON = 76 PEOPLE
REMAINING "SUNRISE" ENTITLEMENT	68,701 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 229 PEOPLE
REMAINING "TORREYANA" ENTITLEMENT	64,303 SF OF R&D @ 300 SF/PERSON PER SDMC TABLE 142.05F = 214 PEOPLE
<b>TOTAL SITE DENSITY FOR PROPOSED DEVELOPMENT</b>	<b>1242 PEOPLE</b>
<b>PEOPLE / ACRE = 1242 PEOPLE / 22.302 ACRES</b>	<b>55.7 PEOPLE / ACRE</b>

APZ PPL / ACRE CALCULATIONS

SCALE: 1/2" = 1'-0"

The proposed project exhibits minimal variation from the already approved "Exhibit A" drawings supporting the discretionary permits for the Torreyana and Sunrise sites. The Sunrise Site and Torreyana Site are immediately adjacent to one another but are governed by separate development permits. The Sunrise Site is governed SDP No. 151106/PDP No. 10903/CDP No. 10911 ("Sunrise Permit") and the Torreyana Site is governed by CDP No. 9829/SDP No. 9829 ("Torreyana Permit"). Both Properties are designated for scientific research ("SR") in the University Community Plan.

The proposed development involves the repurposing a tired, old building (10996 Torreyana Rd) for tenant space and accessory uses available to the users of the Sunrise and Torreyana properties. This "Amenity Pavilion" will house various recreational amenities, employee dining and other accessory uses within this existing approximately 78,000 square foot building on the Torreyana Permit Site. The Amenity Pavilion will also provide office space for Biocom which exclusively serves and supports the life sciences and biotechnical industries in the San Diego region.

The goal of the proposed project is to create and a campus-like setting in the heart of the N. Torrey Pines SR zone and provide on-site accessory uses that will in turn reduce undesirable vehicle trips to offsite locations; thereby promoting the principles of walkability and sustainable development.

<b>PROJECT OUTLINE AND SCOPE</b>	
<b>GENERAL PROJECT INFO/INDEX</b>	G0.2
<b>CIVIL EXISTING CONDITIONS / TOPOGRAPHIC MAP SCHEMATIC GRADING PLAN PHASE I SCHEMATIC GRADING PLAN PHASE II</b>	C1.0 C2.0 C3.0
<b>LANDSCAPE LANDSCAPE DEVELOPMENT PLAN PHASE I LANDSCAPE CALCULATIONS LANDSCAPE DEVELOPMENT PLAN PHASE II</b>	L.101 L.102 L.103
<b>ARCHITECTURE EXISTING CONDITIONS: OVERALL SITE PLAN PROPOSED DEVELOPMENT OVERALL SITE PLAN PROPOSED TORREYANA IMPROVEMENTS SITE PLAN LVL 1 FLOOR PLAN LVL 2 FLOOR PLAN ROOF PLAN ELEVATIONS SITE SECTIONS</b>	A0.05 A0.051 A00.1 A02.1 A02.2 02.3 09.1 09.3



Issue	Date & Issue Description	By	Check
1	01/24/2014		DesignChecker
2	02/21/2014		

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No. SCR # 1250085  
PTS # 344443

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
PROJECT INFO/INDEX

Scale  
1/2" = 1'-0"

**G0.02**

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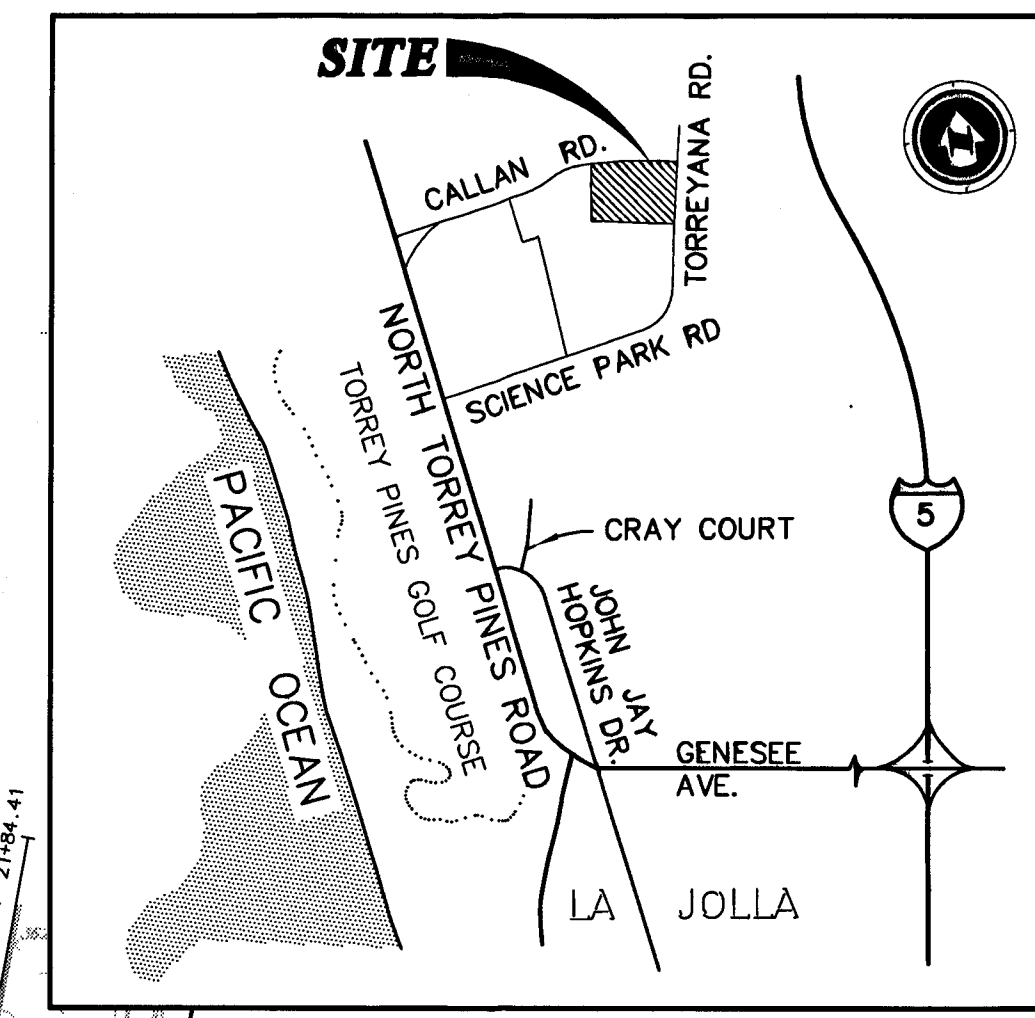


Alexandria Real Estate Equities, Inc.

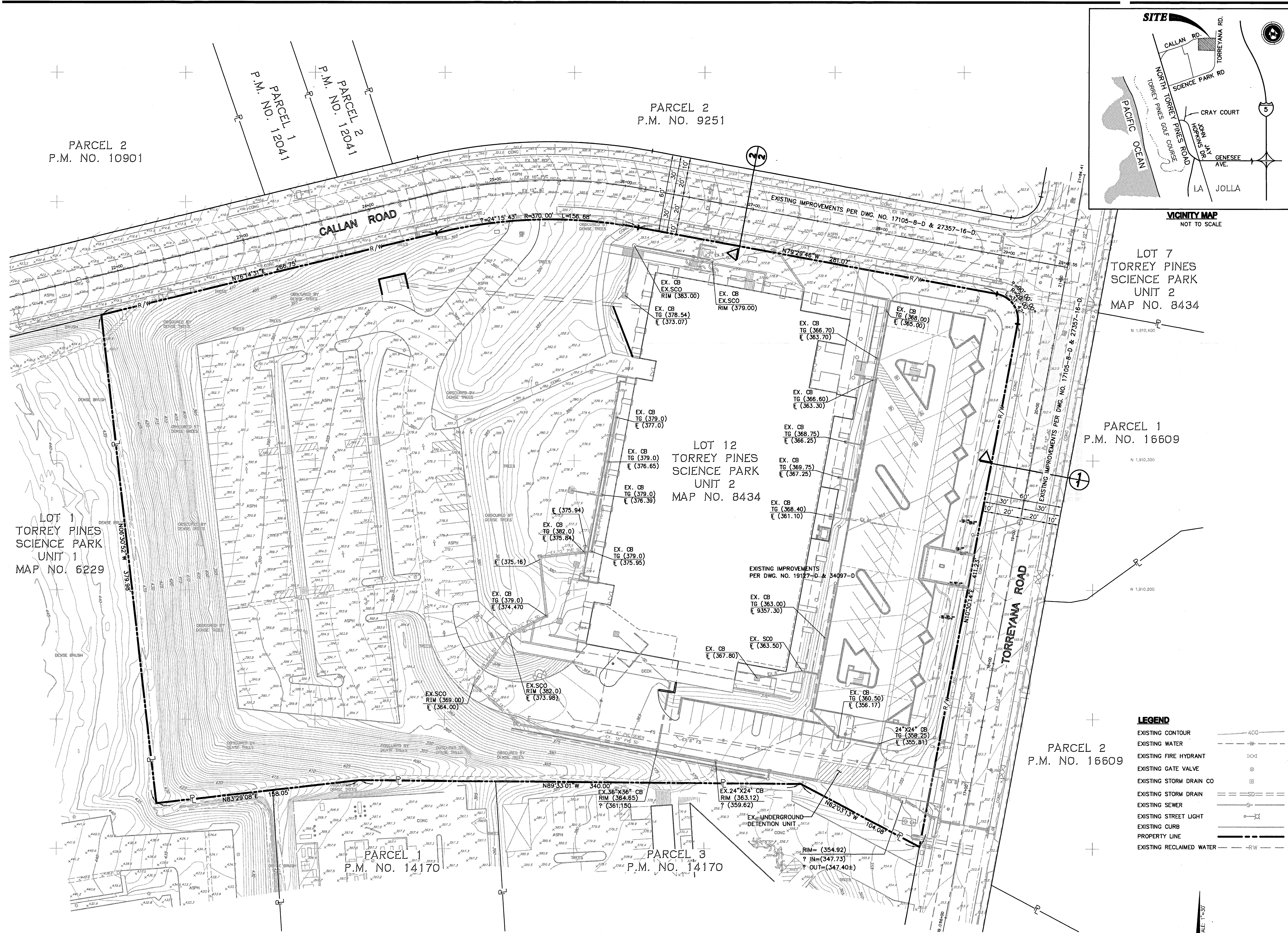
10996 Torreyana Road  
San Diego CA 92121

225 Broadway  
Suite 1600  
San Diego CA 92101  
Tel: 619.557.2500  
Fax: 619.557.2520

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VICINITY MAP  
NOT TO SCALE



LOT 7  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

PARCEL 1  
P.M. NO. 16609

PARCEL 2  
P.M. NO. 16609

LOT 1  
TORREY PINES  
SCIENCE PARK  
UNIT 1  
MAP NO. 6229

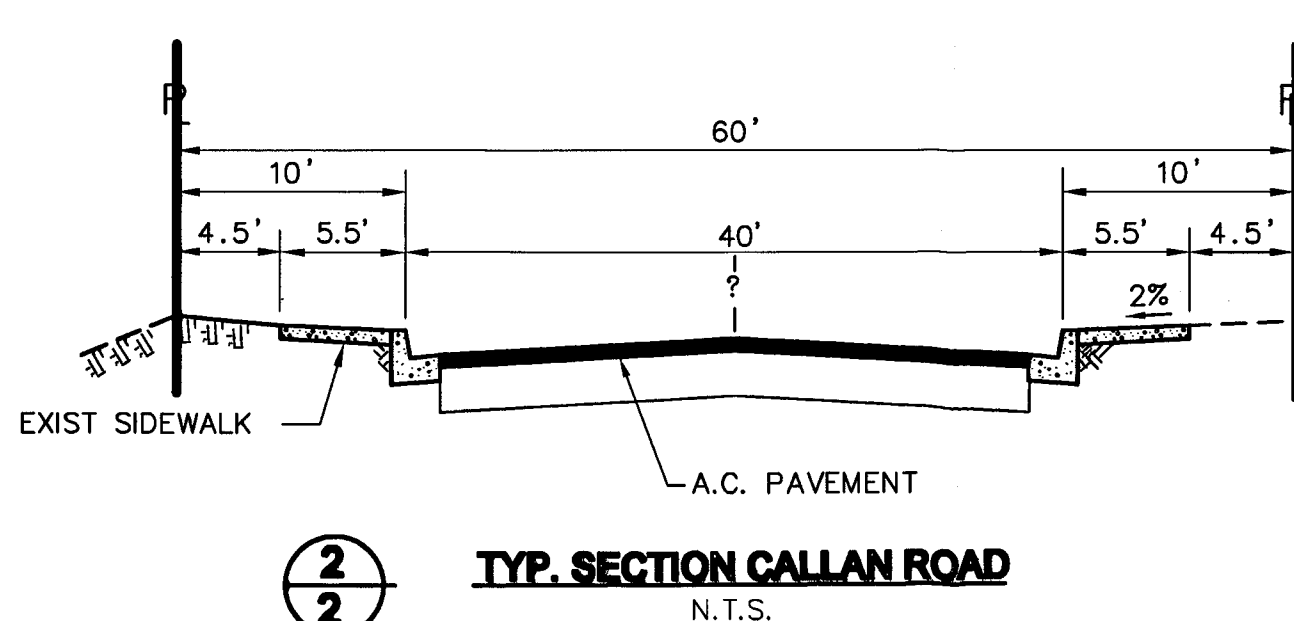
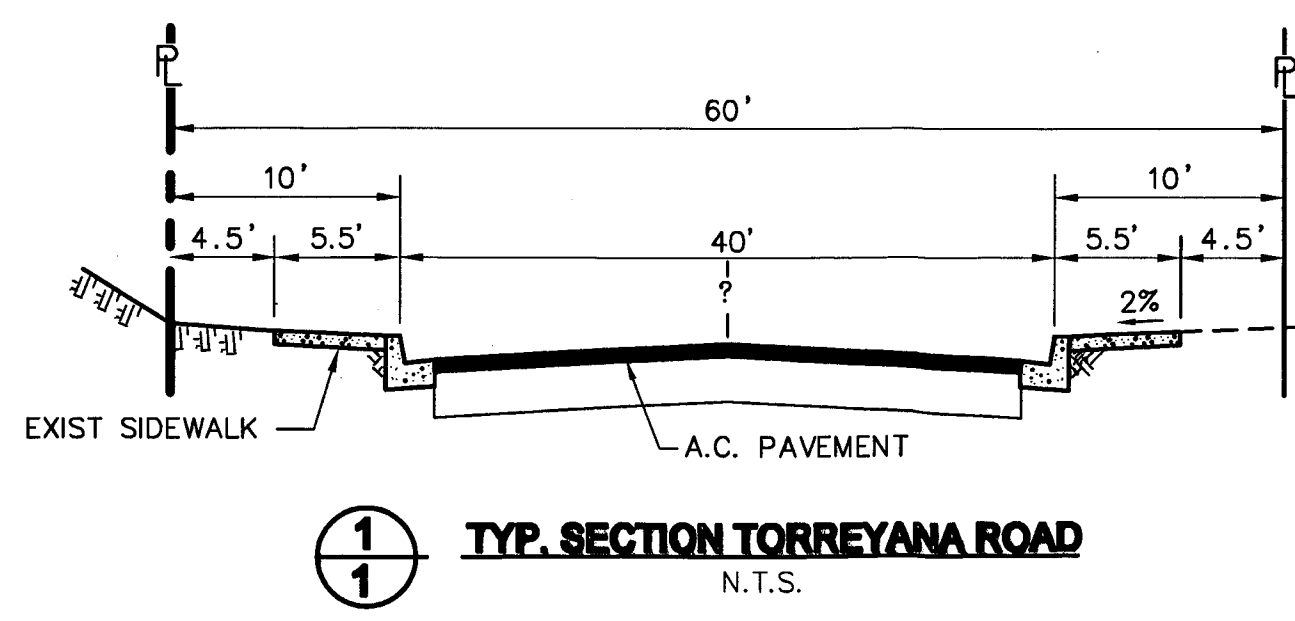
LOT 12  
TORREY PINES  
SCIENCE PARK  
UNIT 2  
MAP NO. 8434

PARCEL 1  
P.M. NO. 14170

PARCEL 3  
P.M. NO. 14170

**LEGEND**

EXISTING CONTOUR	---
EXISTING WATER	---
EXISTING FIRE HYDRANT	⊙
EXISTING GATE VALVE	⊙
EXISTING STORM DRAIN CO	⊙
EXISTING STORM DRAIN	---
EXISTING SEWER	---
EXISTING STREET LIGHT	⊙
EXISTING CURB	---
PROPERTY LINE	---
EXISTING RECLAIMED WATER	---



**SOURCE OF TOPOGRAPHY:**  
AERIAL TOPOGRAPHY PREPARED BY:  
PHOTOGEODETIC CORPORATION DATE OF  
PHOTOGRAPHY: 8/29/02 DATUM: MEAN SEA  
LEVEL  
SUPPLEMENTAL INFORMATION FROM GRADING AND  
IMPROVEMENTS PLANS 34097-D DATED  
NOVEMBER 2006

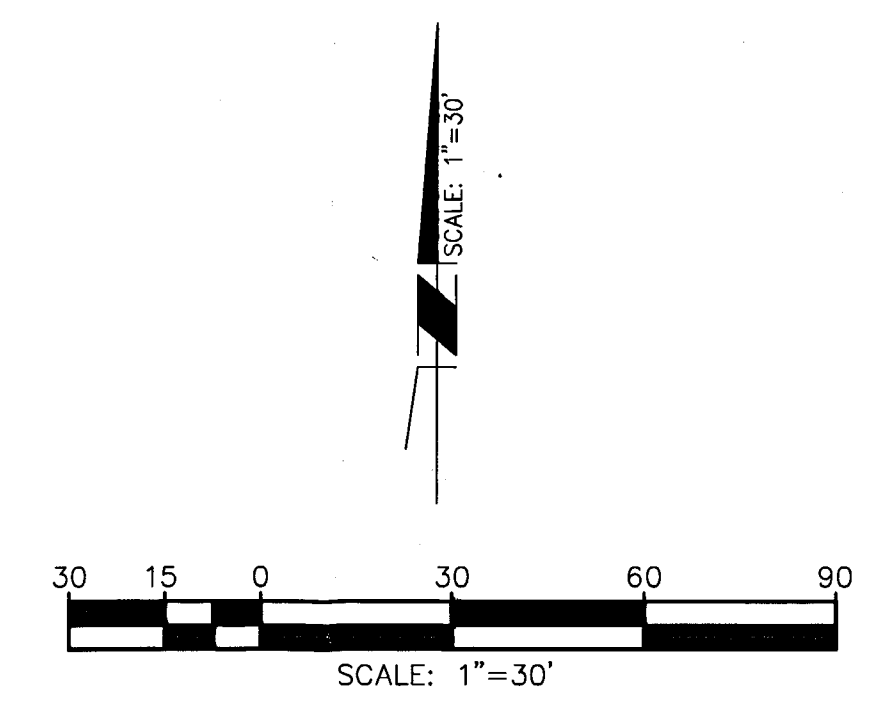
**REFERENCE DRAWINGS:**  
17105-8-D, 17105-9-D, 17105-10-D,  
19127-2-D, 27357-15-D, 27357-16-D, 34097-D

**SITE ADDRESS:**  
10996 TORREYANA ROAD  
SAN DIEGO, CA 92121

**BENCHMARK:**  
FOR THIS SURVEY IS A CITY OF SAN DIEGO  
BENCHMARK BEING A BRASS DISC STAMPED  
SDC-8-1968 AT SOUTHWEST CORNER OF  
BRIDGE, CALLAN ROAD AND NORTH TORREY  
PINES ROAD.  
ELEVATION = 413.365 DATUM: M.S.L.

**ASSESSORS PARCEL NUMBER:**  
340-010-34

**LEGAL DESCRIPTION:**  
LOT 12 OF TORREY PINES SCIENCE PARK UNIT 2  
MAP NO. 8434

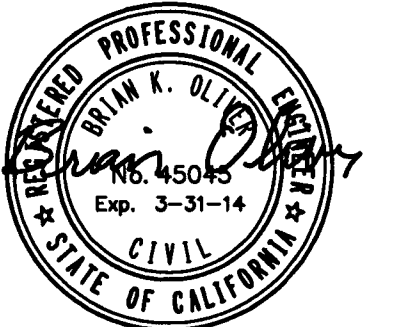


8755 CLAREMONT MESA BOULEVARD, SUITE 100  
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**APPROVED  
EXHIBIT "A"**  
Approval Date: 03/04/2014  
Permit No.: SDR # 125 0085  
PTS # 344643

Issue	Date & Issue Description	By	Check
1	01/27/2014	AS	RG
2	02/21/2014	AS	RG

Seal/Signature



Project Name  
Torreyana / Sunrise

Project Number  
65.7106.016

Description  
EXISTING CONDITIONS/TOPOGRAPHIC MAP

Scale  
As Indicated

**C1.0**

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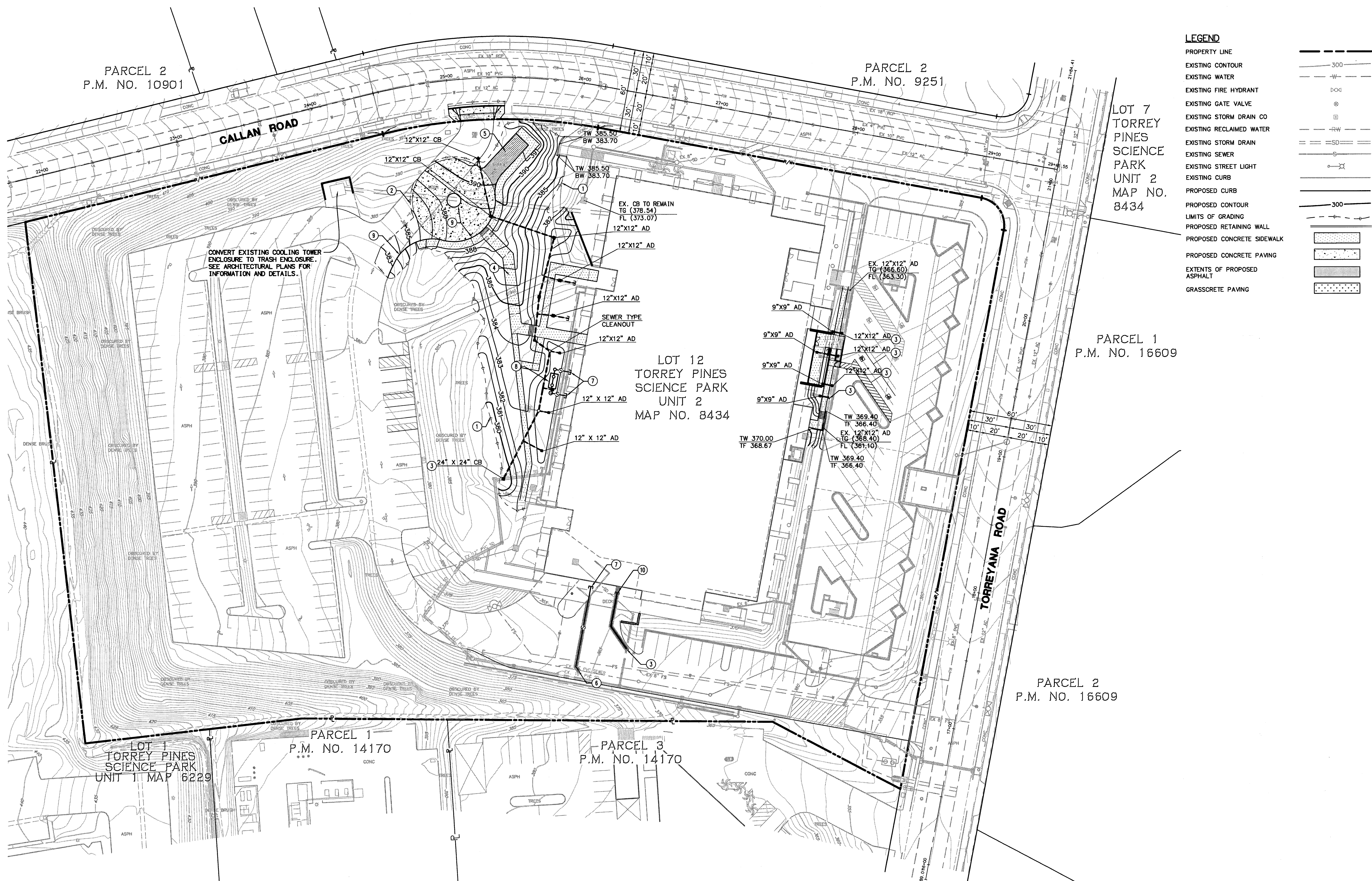


Alexandria Real Estate Equities, Inc.

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**LEGEND**

PROPERTY LINE	---
EXISTING CONTOUR	--- 300 ---
EXISTING WATER	---
EXISTING FIRE HYDRANT	⊙
EXISTING GATE VALVE	⊙
EXISTING STORM DRAIN CO	⊙
EXISTING RECLAIMED WATER	---
EXISTING STORM DRAIN	---
EXISTING SEWER	---
EXISTING STREET LIGHT	⊙
EXISTING CURB	---
PROPOSED CURB	---
PROPOSED CONTOUR	--- 300 ---
LIMITS OF GRADING	---
PROPOSED RETAINING WALL	---
PROPOSED CONCRETE SIDEWALK	▨
PROPOSED CONCRETE PAVING	▨
EXTENTS OF PROPOSED ASPHALT	▨
GRASSCRETE PAVING	▨

**APPROVED EXHIBIT "A"**

Approval Date: 02/04/2014  
Permit No. SCR # 1250085  
PIS # 344643

Issue	Date & Issue Description	By	Check
1	01/27/2014	AS	RG
2	02/21/2014	AS	RG

Seal/Signature



Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
**SCHEMATIC GRADING PLAN - PHASE 1**

Scale  
As Indicated

**C2.0**

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**NOTE:**  
A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHICH INCLUDES BEST MANAGEMENT PRACTICES TO REDUCE THE POLLUTANTS TO DOWNSTREAM WATER BODIES WILL BE PREPARED PRIOR TO ISSUANCE OF GRADING PERMIT AND A NOTICE OF INTENT SUBMITTED TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD. THE SWPPP WILL INSURE REQUIREMENT FOR SCHEDULING MAINTENANCE AND CLEANUP OF SPILLS, ETC. FOR PERPETUITY.

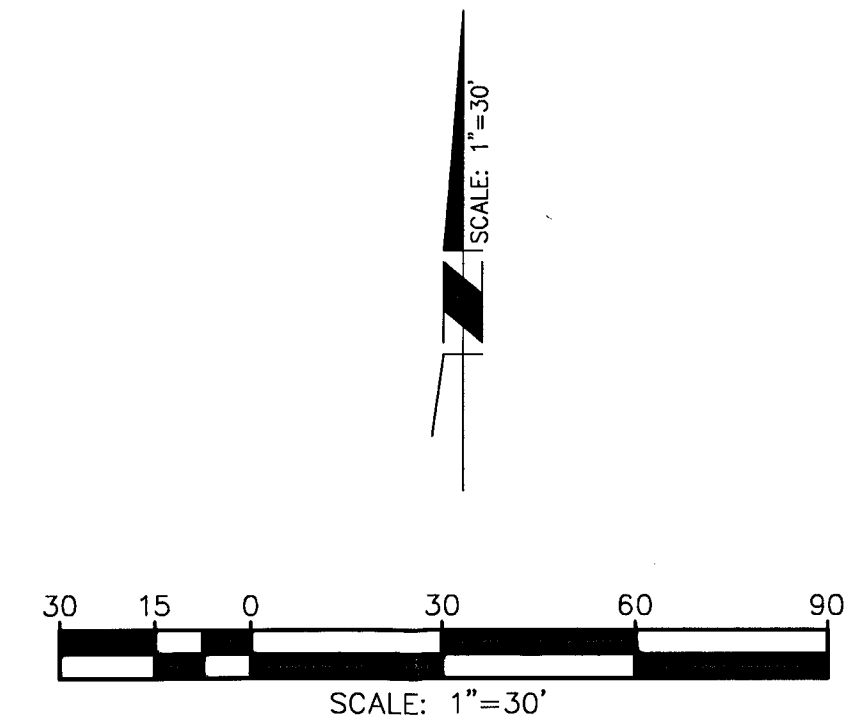
**GRADING DATA:**  
TOTAL AMOUNT OF SITE TO BE GRADED: 0.4 ACRES  
PERCENT OF TOTAL SITE GRADED: 6.4%  
AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 1.38 ACRES  
PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 22%  
AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0%  
PERCENT OF TOTAL SITE WITHIN HILLSIDE REVIEW: 0%  
AMOUNT OF CUT: 25 CY  
AMOUNT OF FILL: 930 CY  
MAXIMUM HEIGHT OF FILL SLOPE 5' FEET 4:1 SLOPE RATIO  
MAXIMUM HEIGHT OF CUT SLOPE 4' FEET 4:1 SLOPE RATIO  
AMOUNT OF IMPORT SOIL: 905 CY  
RETAINING WALLS: HOW MANY: 2  
MAXIMUM LENGTH: 35' (OVERALL LENGTH)  
MAXIMUM HEIGHT: 3'

**LEGEND**

PROPOSED STORM DRAIN CLEANOUT (PVT)	○
PROPOSED CATCH BASIN (PVT)	⊙
SEWER CLEANOUT (PVT)	○
PROPOSED STORM DRAIN (PVT)	---
PROPOSED SEWER (PVT)	---
PROPOSED WATER MAIN (PVT)	---

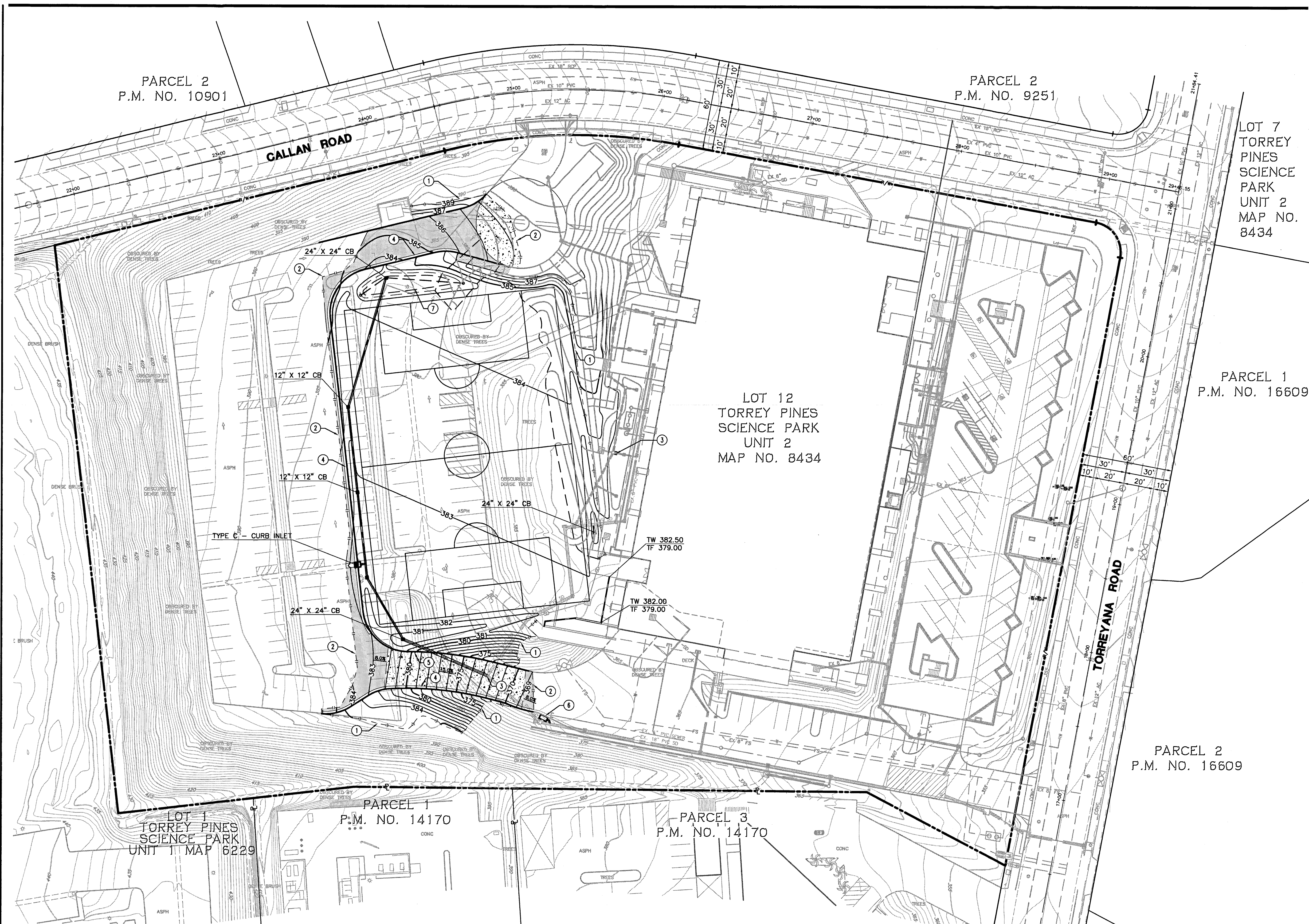
**SHEET NOTES**

- ① LIMIT OF GRADING
- ② SAWCUT LINE
- ③ CONNECT TO EX PRIVATE STORM DRAIN
- ④ CONCRETE SIDEWALK
- ⑤ GRASSCRETE PAVING
- ⑥ CONNECT TO EXISTING PRIVATE SEWER LATERAL
- ⑦ SEWER CONNECTION TO EXISTING BUILDING SEWER
- ⑧ GREASE INTERCEPTOR PER PLUMBING ENGINEER
- ⑨ 6" CURB
- ⑩ STORM DRAIN CONNECTION TO EXISTING BUILDING



**RBF CONSULTING**  
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- SHEET NOTES**
- ① LIMIT OF GRADING
  - ② SAWCUT LINE
  - ③ CONNECT TO EX STORM DRAIN
  - ④ 6" CURB AND GUTTER
  - ⑤ 6" CURB
  - ⑥ MODULAR WETLAND TREATMENT BOX
  - ⑦ BIORETENTION AREA

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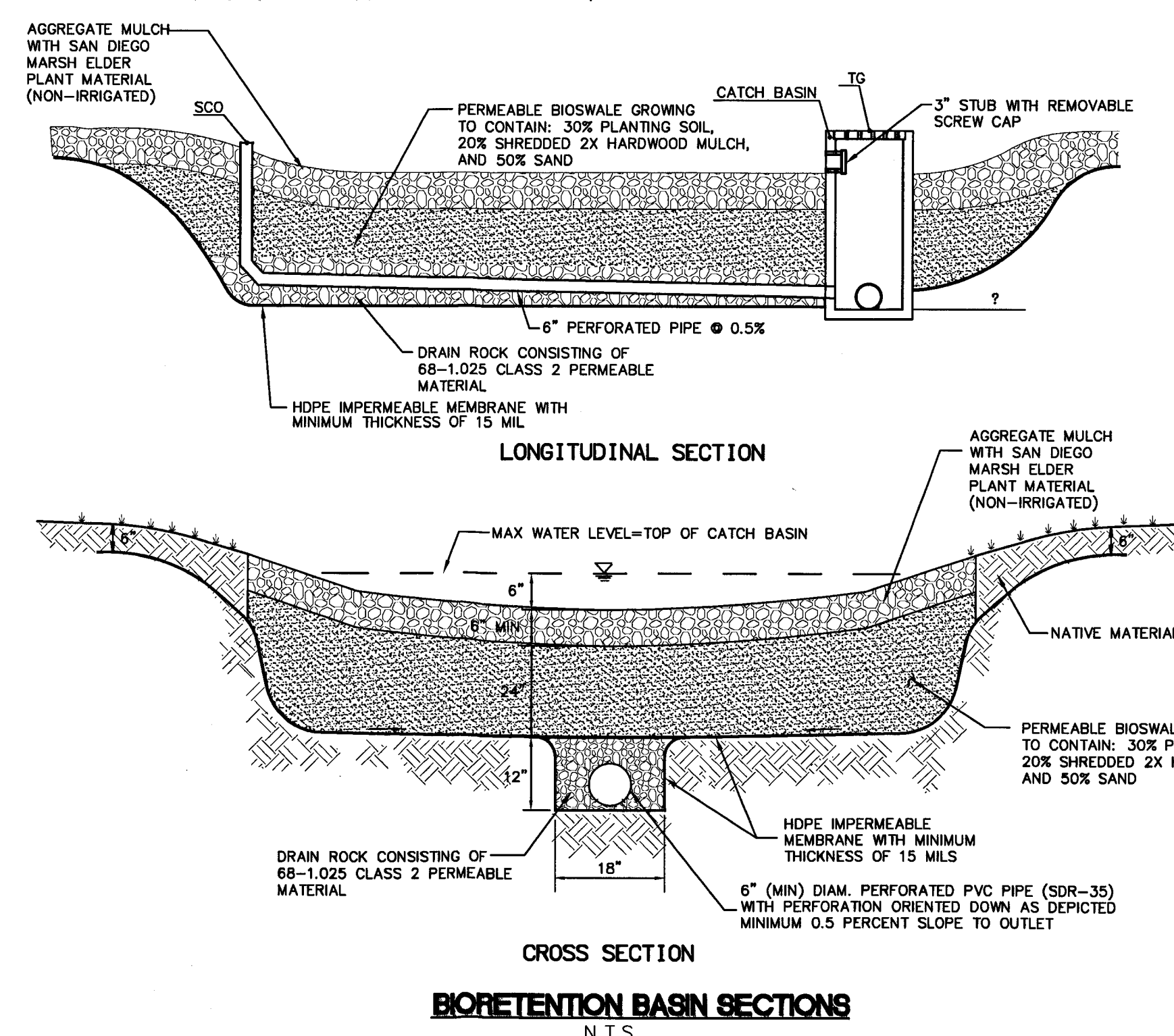
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225 Broadway  
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Tel: 619.557.2500  
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**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No. SCR # 03/04/2014  
PTS # 344643

Issue	Date & Issue Description	By	Check
1	01/27/2014	AS	RG
2	02/21/2014	AS	RG



**GRADING DATA:**

TOTAL AMOUNT OF SITE TO BE GRADED: 1.12 ACRES

PERCENT OF TOTAL SITE GRADED: 18%

AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 1.41 ACRES

PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 23%

AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0%

PERCENT OF TOTAL SITE WITHIN HILLSIDE REVIEW: 0%

AMOUNT OF CUT: 350 CY

AMOUNT OF FILL: 2,700 CY

MAXIMUM HEIGHT OF FILL SLOPE 8' FEET 2:1 SLOPE RATIO

MAXIMUM HEIGHT OF CUT SLOPE 11' FEET 2:1 SLOPE RATIO

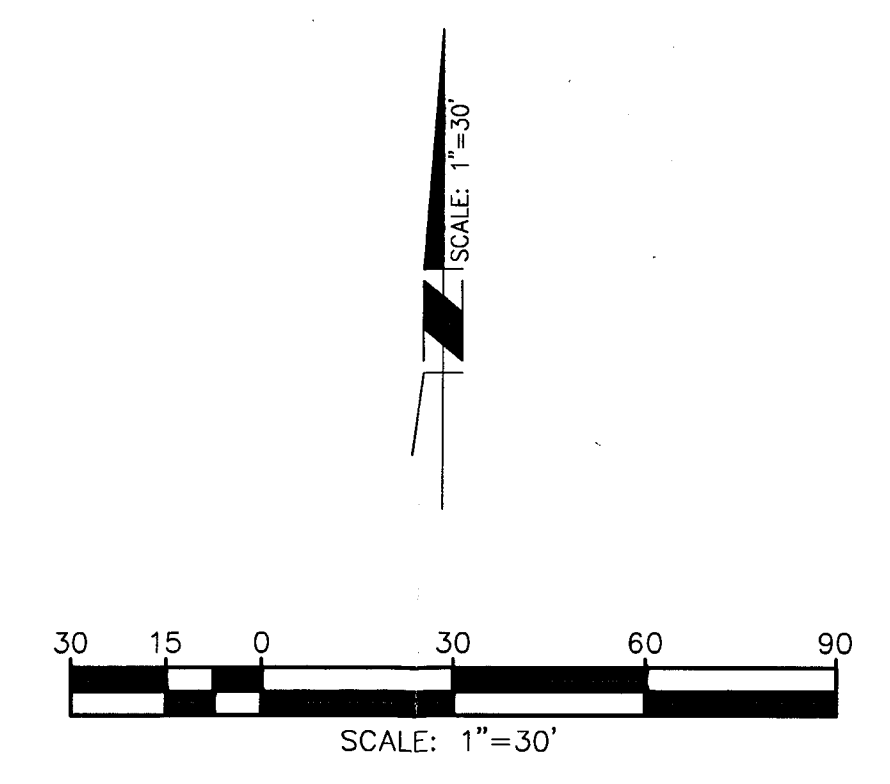
AMOUNT OF EXPORT SOIL: 2,350 CY

RETAINING WALLS: HOW MANY: 1  
MAXIMUM LENGTH: 33'  
MAXIMUM HEIGHT: 4'

**NOTE:**

A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHICH INCLUDES BEST MANAGEMENT PRACTICES TO REDUCE THE POLLUTANTS TO DOWNSTREAM WATER BODIES WILL BE PREPARED PRIOR TO ISSUANCE OF GRADING PERMIT AND A NOTICE OF INTENT SUBMITTED TO THE STATE REGIONAL WATER QUALITY CONTROL BOARD. THE SWPPP WILL INSURE REQUIREMENT FOR SCHEDULING MAINTENANCE AND CLEANUP OF SPILLS, ETC. FOR PERPETUITY.

- LEGEND**
- PROPERTY LINE
  - EXISTING CONTOUR
  - EXISTING WATER
  - EXISTING FIRE HYDRANT
  - EXISTING GATE VALVE
  - EXISTING STORM DRAIN CO
  - EXISTING RECLAIMED WATER
  - EXISTING STORM DRAIN
  - EXISTING SEWER
  - EXISTING STREET LIGHT
  - EXISTING CURB
  - PROPOSED CURB
  - PROPOSED CONTOUR
  - LIMITS OF GRADING
  - PROPOSED RETAINING WALL
  - PROPOSED CONCRETE SIDEWALK
  - EXTENTS OF PROPOSED ASPHALT
  - PROPOSED CONCRETE DRIVE
  - PROPOSED CATCH BASIN (PVT)
  - PROPOSED STORM DRAIN (PVT)



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Seal/Signature

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
SCHEMATIC GRADING PLAN - PHASE 2

Scale  
As Indicated

**C3.0**

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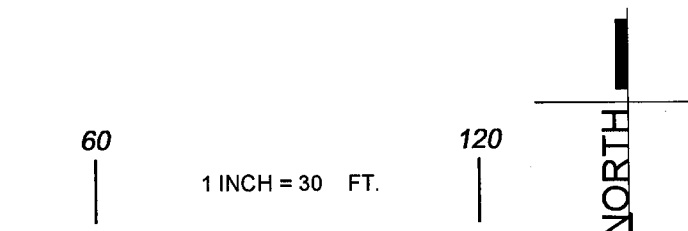
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McBullough Landscape Architecture, Inc.  
MLASD

703 16th Street, Suite 100  
San Diego, California 92101  
tel: (619) 296-5150 fax: (619) 501-7725  
www.mlasad.com



EXISTING TREE LEGEND

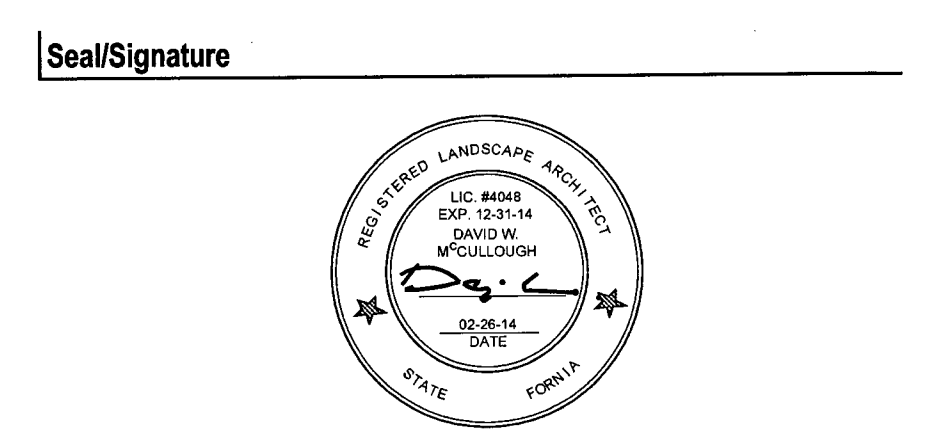
SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	HEIGHT	SPREAD	REMARKS	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	HEIGHT	SPREAD	REMARKS	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER SIZE	HEIGHT	SPREAD	REMARKS
1	PINUS HALEPENSIS	ALEPPO PINE	7"	30'	30'	TO REMAIN, PROTECT IN PLACE	31	PINUS TORREYANA	TORREY PINE	8"	18'	15'	TO REMAIN, PROTECT IN PLACE	61	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED
2	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	32	PINUS TORREYANA	TORREY PINE	8"	18'	15'	TO REMAIN, PROTECT IN PLACE	62	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
3	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	33	PINUS TORREYANA	TORREY PINE	8"	18'	15'	TO REMAIN, PROTECT IN PLACE	63	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
4	PINUS TORREYANA	TORREY PINE	6"	10'	12'	TO REMAIN, PROTECT IN PLACE	34	PINUS TORREYANA	TORREY PINE	10'	18'	15'	TO REMAIN, PROTECT IN PLACE	64	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
5	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	35	PINUS TORREYANA	TORREY PINE	10'	18'	15'	TO REMAIN, PROTECT IN PLACE	65	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
6	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	36	PINUS TORREYANA	TORREY PINE	10'	18'	15'	TO REMAIN, PROTECT IN PLACE	66	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
7	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	37	PINUS HALEPENSIS	ALEPPO PINE	8"	22'	15'	TO REMAIN, PROTECT IN PLACE	67	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
8	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	38	PINUS HALEPENSIS	ALEPPO PINE	8"	22'	15'	TO REMAIN, PROTECT IN PLACE	68	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
9	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	12'	15'	TO REMAIN, PROTECT IN PLACE	39	PINUS HALEPENSIS	ALEPPO PINE	8"	22'	15'	TO REMAIN, PROTECT IN PLACE	69	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED
10	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	10'	8'	TO REMAIN, PROTECT IN PLACE	40	PINUS HALEPENSIS	ALEPPO PINE	10"	24'	15'	TO REMAIN, PROTECT IN PLACE	70	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	4'	TO REMAIN, PROTECT IN PLACE
11	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	10'	8'	TO REMAIN, PROTECT IN PLACE	41	PINUS HALEPENSIS	ALEPPO PINE	10"	24'	18'	TO REMAIN, PROTECT IN PLACE	71	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
12	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	12'	15'	TO REMAIN, PROTECT IN PLACE	42	PINUS HALEPENSIS	ALEPPO PINE	10"	24'	18'	TO REMAIN, PROTECT IN PLACE	72	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
13	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	10'	8'	TO REMAIN, PROTECT IN PLACE	43	PINUS HALEPENSIS	ALEPPO PINE	10"	24'	18'	TO REMAIN, PROTECT IN PLACE	73	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
14	LAGERSTROEMIA INDICA	CRAPE MYRTLE	4"	10'	8'	TO REMAIN, PROTECT IN PLACE	44	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE	74	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
15	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	45	ARBUTUS MARINA	STRAWBERRY TREE	5"	8'	7'	TO REMAIN, PROTECT IN PLACE	75	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
16	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	46	ARBUTUS MARINA	STRAWBERRY TREE	5"	8'	7'	TO REMAIN, PROTECT IN PLACE	76	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	5'	TO REMAIN, PROTECT IN PLACE
17	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	47	ARBUTUS MARINA	STRAWBERRY TREE	5"	8'	7'	TO REMAIN, PROTECT IN PLACE	77	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
18	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	48	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO REMAIN, PROTECT IN PLACE	78	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
19	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	49	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE	79	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
20	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	50	ARBUTUS MARINA	STRAWBERRY TREE	4"	7'	7'	TO REMAIN, PROTECT IN PLACE	80	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
21	PINUS TORREYANA	TORREY PINE	6"	12'	15'	TO REMAIN, PROTECT IN PLACE	51	RHUS LANCEA	AFRICAN SUMAC	6" MULTI	12'	18'	TO REMAIN, PROTECT IN PLACE	81	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
22	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	12"	8'	15'	TO REMAIN, PROTECT IN PLACE	52	PITTOSPORUM SPP.	PITTOSPORUM	6" MULTI	15'	20'	TO REMAIN, PROTECT IN PLACE	82	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
23	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	8"	6'	6'	TO REMAIN, PROTECT IN PLACE	53	PITTOSPORUM SPP.	PITTOSPORUM	6" MULTI	15'	20'	TO REMAIN, PROTECT IN PLACE	83	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	7'	TO REMAIN, PROTECT IN PLACE
24	PINUS TORREYANA	TORREY PINE	8"	18'	15'	TO REMAIN, PROTECT IN PLACE	54	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED	84	FICUS BENJAMINA	WEEPING FIG	6"	20'	20'	TO REMAIN, PROTECT IN PLACE
25	PINUS TORREYANA	TORREY PINE	6"	18'	15'	TO REMAIN, PROTECT IN PLACE	55	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED	85	FICUS BENJAMINA	WEEPING FIG	6"	20'	20'	TO REMAIN, PROTECT IN PLACE
26	PINUS TORREYANA	TORREY PINE	6"	18'	15'	TO REMAIN, PROTECT IN PLACE	56	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED	86	FICUS BENJAMINA	WEEPING FIG	6"	20'	20'	TO REMAIN, PROTECT IN PLACE
27	PINUS TORREYANA	TORREY PINE	6"	18'	15'	TO REMAIN, PROTECT IN PLACE	57	ARBUTUS MARINA	STRAWBERRY TREE	4"	6'	5'	TO BE REMOVED	87	MELALEUCA NESOPHILA	PINK MELALEUCA	6"	5'	5'	TO REMAIN, PROTECT IN PLACE
28	PINUS TORREYANA	TORREY PINE	6"	18'	15'	TO REMAIN, PROTECT IN PLACE	58	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED	88	MELALEUCA NESOPHILA	PINK MELALEUCA	6"	5'	5'	TO REMAIN, PROTECT IN PLACE
29	PINUS TORREYANA	TORREY PINE	6"	18'	15'	TO REMAIN, PROTECT IN PLACE	59	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED	89	MELALEUCA NESOPHILA	PINK MELALEUCA	6"	5'	5'	TO REMAIN, PROTECT IN PLACE
30	PINUS TORREYANA	TORREY PINE	8"	18'	15'	TO REMAIN, PROTECT IN PLACE	60	ARBUTUS MARINA	STRAWBERRY TREE	3"	5'	4'	TO BE REMOVED							

SYMBOL	DESCRIPTION
[Cross-hatched pattern]	EXISTING SHRUBS, GROUND COVERS TO REMAIN, PROTECT IN PLACE
[Dotted pattern]	EXISTING IRRIGATION TO BE MODIFIED, PROTECT IN PLACE
[Stippled pattern]	EXISTING SHRUBS AND GROUND COVERS AND IRRIGATION TO BE REMOVED
[Dashed line]	EXISTING DENSE TREES OUTSIDE LIMIT OF WORK TO REMAIN, PROTECT IN PLACE
[Solid line]	EXISTING TREES WITHIN LIMIT OF WORK AND STREET TREES SEE EXISTING TREE LEGEND FOR SPECIES

**APPROVED EXHIBIT "A"**  
Approval Date: 03/04/2014  
Permit No. SC# 1250085  
PIS # 344643

*[Signature]*

Issue	Date & Issue Description	By	Check
1	12/18/2013	Maha David	
2	01/27/2014	Maha David	
3	02/20/2014	Maha David	



Project Name  
Torreyana / Sunrise Amendment

Project Number  
55.7106.016

Description  
LANDSCAPE EXISTING CONDITIONS

Scale  
As Indicated

L.101



Alexandria Real Estate Equities, Inc.

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San Diego CA 92121

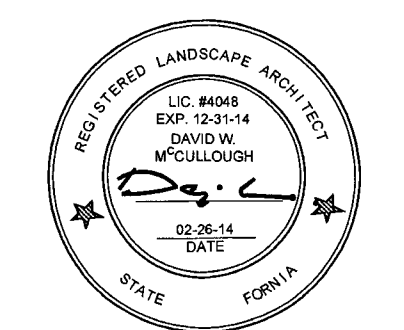
Gensler  
225 Broadway  
Suite 1600  
San Diego CA 92101  
Tel: 619.557.2500  
Fax: 619.557.2520

McBullough Landscape Architects, Inc.  
MLA SD

703 16th Street, Suite 100  
San Diego, California 92101  
tel (619) 298-3150 fax (619) 501-7725  
www.mlamsd.com

Issue	Date & Issue Description	By	Check
1	12/18/2013	Maha David	
2	01/27/2014	Maha David	
3	02/20/2014	Maha David	

Seal/Signature



Project Name  
Torreyana / Sunrise Amendment

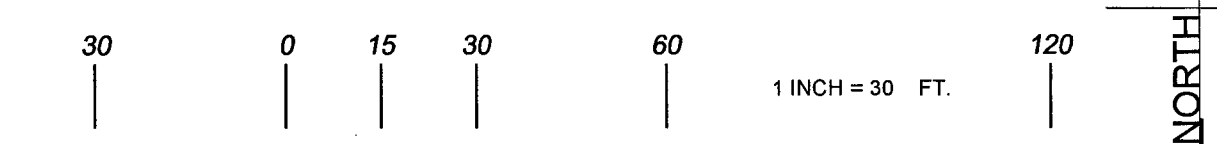
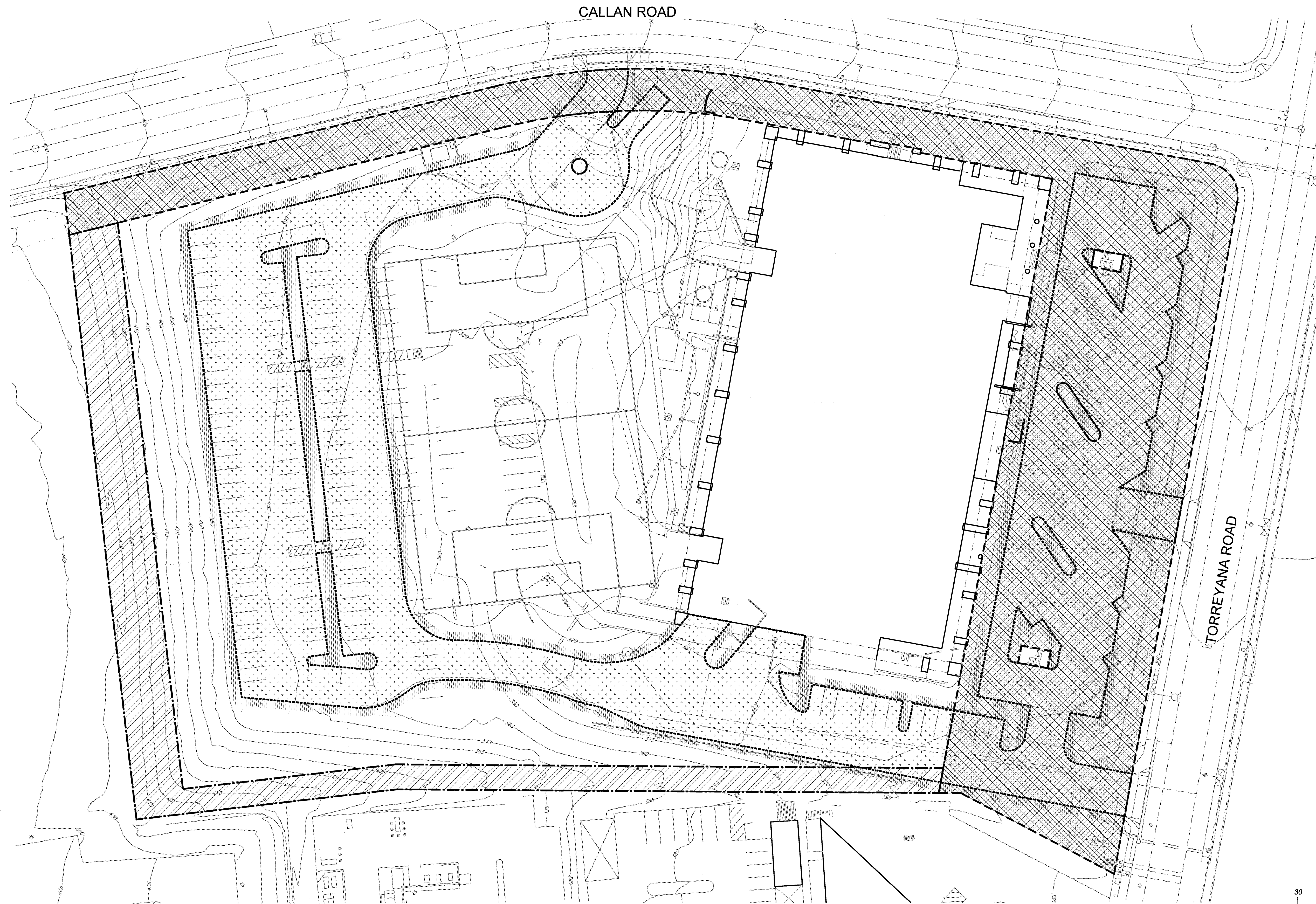
Project Number  
55.7106.016

Description  
LANDSCAPE CALCULATIONS

Scale  
As Indicated

L.102

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LANDSCAPE CALCULATIONS

TOTAL PROPOSED LANDSCAPE AREA = 60350 SF  
NUMBER OF TREES PROVIDED = 64  
TURF AREA PROVIDED = 38615.5

**STREET TREE CALCULATIONS**  
STREET FRONTAGE ON TORREYANA ROAD - 427' L.F.  
STREET TREES REQUIRED - 14  
STREET TREES EXISTING - 12  
ADDITIONAL STREET TREES PROVIDED - 2  
STREET FRONTAGE ON CALLAN ROAD - 720' L.F.  
STREET TREES REQUIRED - 24  
STREET TREES EXISTING - 20  
ADDITIONAL STREET TREES PROVIDED - 9

LEGEND

- STREET YARD
- VEHICULAR USE AREA
- REMAINING YARD
- LANDSCAPED AREAS WITHIN 5' OF VUA

City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 448-5000

**Landscape Calculations Worksheet**  
Industrial Development in RM and C Zones  
Commercial Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

STREET YARD			
Industrial and Commercial Development (except Auto Service Stations; see below):			
Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided	
Total Area 61,403 sq. ft. x 25% = 15,350.75 sq. ft.	30,421.5 sq. ft.	15,070.75 sq. ft.	
Planting Points Required [142.0404]	Plant Points Provided - To be achieved with trees only	Excess Points Provided	
Total Area 61,403 sq. ft. x 0.05 = 3,070 points	8,990 points	5,920 points	
REMAINING YARD			
Planting Area Required [142.0404]	Planting Area Provided	Excess Area Provided	
Total Area 17,545 sq. ft. x 30% = 5,263 sq. ft.	17,545 sq. ft.	12,282 sq. ft.	
Plant Points Required [142.0404]	Plant Points Provided	Excess Points Provided	
Total Area 17,545 sq. ft. x 0.05 = 877 points	1,600 points	723 points	

City of San Diego  
Development Services  
1222 First Ave., MS-501  
San Diego, CA 92101-4154  
(619) 448-5000

**Landscape Calculations Worksheet**  
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch box size) is required within 30 ft. of each parking space. (If palm trees are used, one palm (minimum 6 ft. brown trunk height) is required within 15 ft. of each parking space.)

VEHICULAR USE AREA (≥ 6,000 sf) [142.0406 - 142.0407]			
Required Planting Area	Planting Area Provided	Excess Area Provided	
VUA Inside Street Yard 28,854.7 sq. ft. x 0.05 = 1,442 sq. ft.	6,833 sq. ft.	5,391 sq. ft.	
VUA Outside Street Yard 48,336.9 sq. ft. x 0.03 = 1,450 sq. ft.	11,190 sq. ft.	9,740 sq. ft.	
Required Plant Points	Plant Points Provided	Points Provided with Trees (at least half)	
VUA Inside Street Yard 28,854.7 sq. ft. x 0.05 = 1,442 points	5,985 points	2,785 points	
VUA Outside Street Yard 48,336.9 sq. ft. x 0.03 = 1,450 points	5,060 points	4,460 points	

**APPROVED EXHIBIT "A"**

Approval Date 03/04/2014  
Permit No. SCR # 1250085  
PTS # 344643



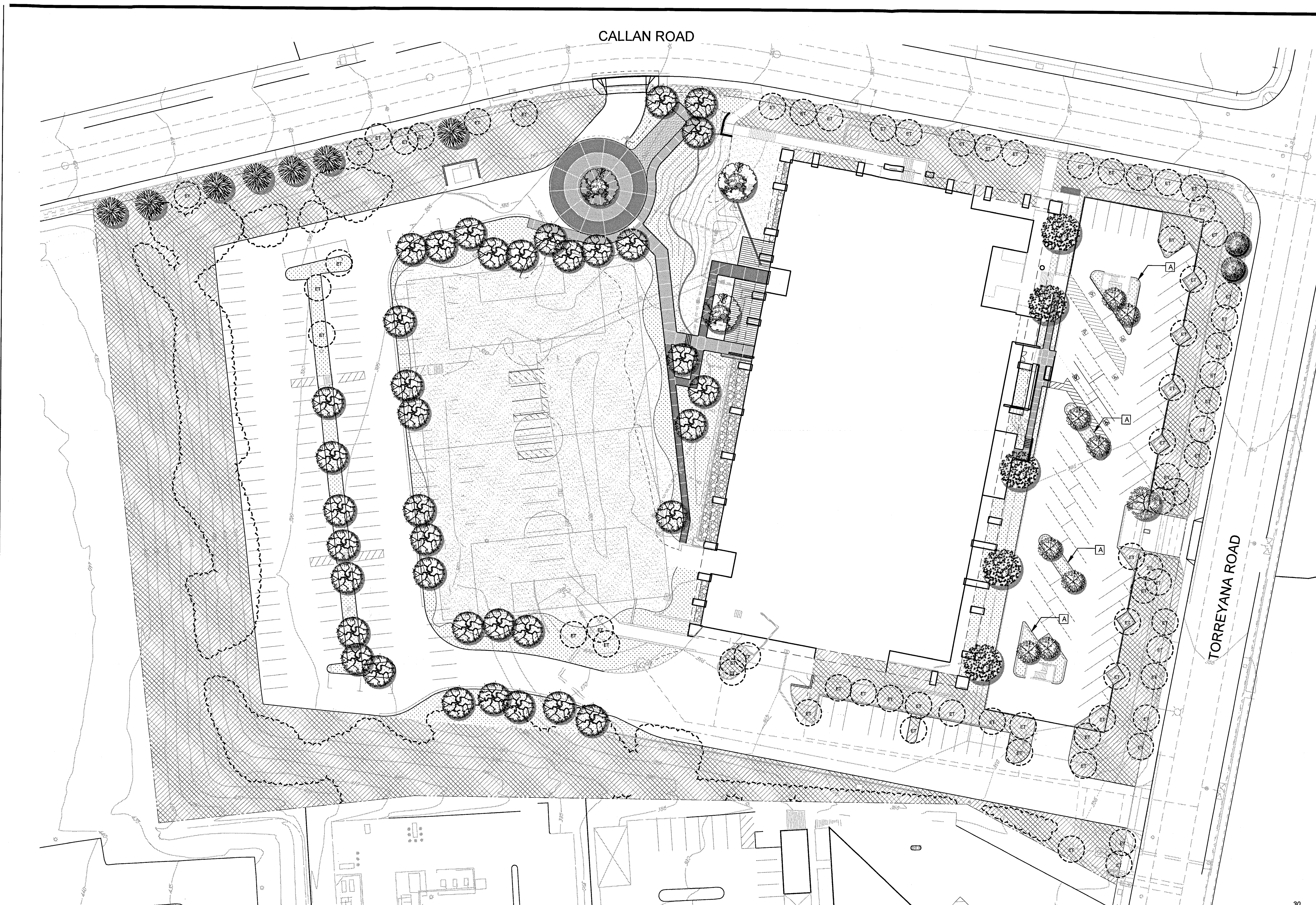
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Gensler

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703 16th Street, Suite 100 San Diego, California 92101 Tel: (619) 296-5150 Fax: (619) 501-7725 www.mlsad.com



LEGEND
ET EXISTING TREES TO REMAIN (SEE SHT. L101)
NEW COOL GRAY CONCRETE PAVING, ACID ETCH FINISH WITH HIDDEN EXPANSION JOINTS
NEW CHARCOAL GRAY CONCRETE PAVING, ACID ETCH FINISH WITH HIDDEN EXPANSION JOINTS
NEW NATURAL GRAY CONCRETE DEVELOPMENT PAVING WITH HIDDEN EXPANSION JOINTS
COBBLE

ADDITIONAL NOTES: ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
1. ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.

Issue Date & Issue Description By Check
1 12/18/2013 Maha David
2 01/27/2014 Maha David
3 02/20/2014 Maha David

MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT MINIMUM DISTANCE TO STREET
TREE 20 FEET
TRAFFIC SIGNALS (STOP SIGN) 5 FEET (10' FOR UNDERGROUND UTILITY LINES)

CANDIDATE PLANT MATERIAL

Table with columns: SYMBOL, BOTANICAL NAME, DESCRIPTION, SIZE, and quantity. Lists various trees and shrubs with their characteristics and quantities.

WATER CONSERVATION STATEMENT

IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO REDUCE THIS PROJECT'S DEMAND ON THE CITY OF SAN DIEGO'S AVAILABLE WATER SUPPLY.

ROOT BARRIER NOTE

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES PER LDC 142.0403.

DISTURBED AREA NOTE

ALL GRADED, DISTURBED OR ERODED AREAS SHALL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.04114).

MAINTENANCE RESPONSIBILITY

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

PLANT MATERIAL NEAR SEWER LINES

NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES.

UTILITY SCREENING

ALL WATER, SEWER, AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

MULCHING NOTE

ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GRASSCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

PUBLIC RIGHT OF WAY

ANY EXISTING CONCRETE STAMPS ON EXISTING R.O.W. CONCRETE SHALL BE PRESERVED IN PLACE.

GENERAL NOTE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE LANDSCAPE TECHNICAL MANUAL AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

EXISTING TREE MAINTENANCE NOTE

CARE SHALL BE USED DURING THE DEMOLITION AND CONSTRUCTION PROCESS TO ENSURE THAT EXISTING TREES TO REMAIN ARE PROPERLY MAINTAINED. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND EACH EXISTING TREE TO REMAIN. TREES SHALL BE PROPERLY IRRIGATED KEPT IN A HEALTHY GROWTH CONDITION.

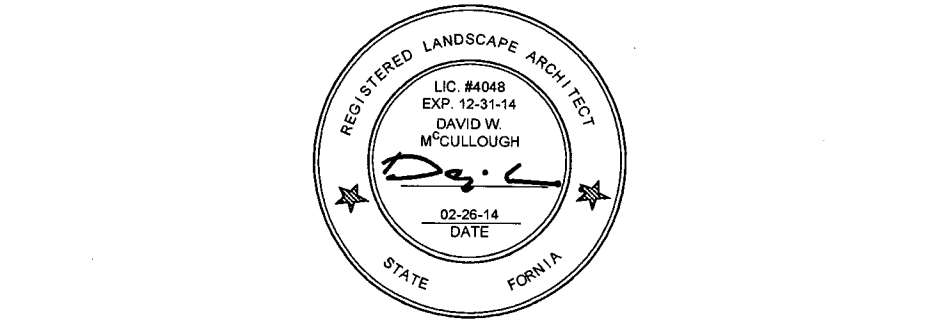
RAIN SENSOR SHUTOFF DEVICE NOTE

ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE AND A MOISTURE SENSING DEVICE THAT REGULATES THE IRRIGATION SYSTEM FOR ALL LAWN AREAS.

RECYCLED WATER

ALL PROPOSED IRRIGATION SYSTEMS WILL USE RECYCLED WATER.

Seal/Signature



Project Name Torreyana / Sunrise Amendment

Project Number 55.7106.016

Description LANDSCAPE DEVELOPMENT PLAN

Scale As Indicated

L.103

APPROVED EXHIBIT 'A'

Approval Date 03/04/2014
Permit No. SC2 # 125008
PIS # 344443

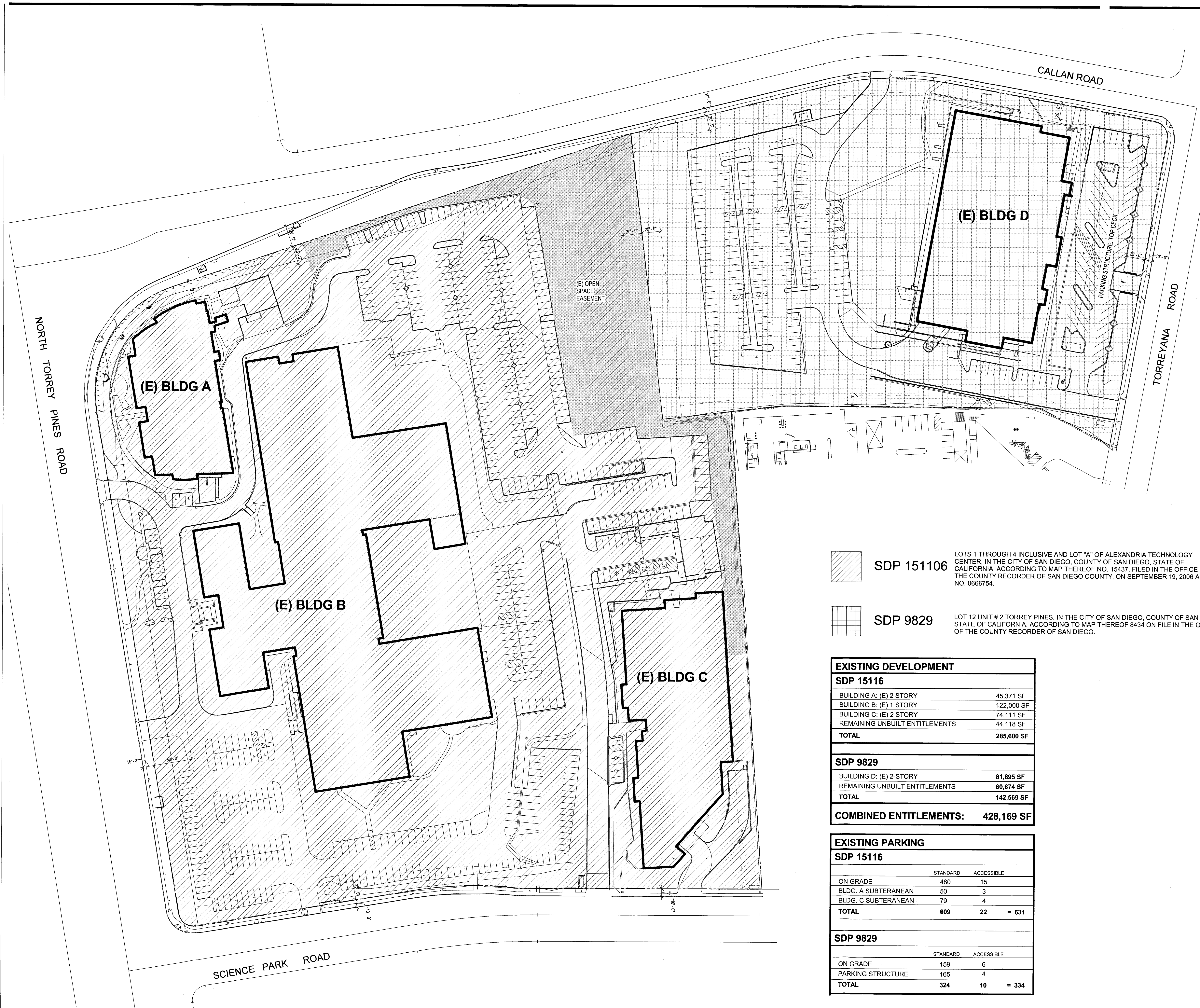


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SDP 151106

LOTS 1 THROUGH 4 INCLUSIVE AND LOT "A" OF ALEXANDRIA TECHNOLOGY CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15437, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON SEPTEMBER 19, 2006 AS FILE NO. 0666754.

SDP 9829

LOT 12 UNIT # 2 TORREY PINES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 8434 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO.

EXISTING DEVELOPMENT	
<b>SDP 15116</b>	
BUILDING A: (E) 2 STORY	45,371 SF
BUILDING B: (E) 1 STORY	122,000 SF
BUILDING C: (E) 2 STORY	74,111 SF
REMAINING UNBUILT ENTITLEMENTS	44,118 SF
<b>TOTAL</b>	<b>285,600 SF</b>
<b>SDP 9829</b>	
BUILDING D: (E) 2-STORY	81,895 SF
REMAINING UNBUILT ENTITLEMENTS	60,674 SF
<b>TOTAL</b>	<b>142,569 SF</b>
<b>COMBINED ENTITLEMENTS:</b>	<b>428,169 SF</b>

EXISTING PARKING			
<b>SDP 15116</b>			
	STANDARD	ACCESSIBLE	
ON GRADE	480	15	
BLDG. A SUBTERANEAN	50	3	
BLDG. C SUBTERANEAN	79	4	
<b>TOTAL</b>	<b>609</b>	<b>22</b>	<b>= 631</b>
<b>SDP 9829</b>			
	STANDARD	ACCESSIBLE	
ON GRADE	159	6	
PARKING STRUCTURE	165	4	
<b>TOTAL</b>	<b>324</b>	<b>10</b>	<b>= 334</b>

SDP 151106 + SDP 9829 EXISTING DEVELOPMENT  
SCALE: 1" = 50'-0"

Issue	Date & Issue Description	By	Check
1	01/24/2014		DesignChecker
2	02/21/2014		

Seal/Signature  
**APPROVED EXHIBIT "A"**  
Approval Date: 03/04/2014  
Permit No. SDP # 1250085  
PTS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
SDP 151106 + SDP 9829 EXISTING DEVELOPMENT

Scale  
1" = 50'-0"

**A0.05**

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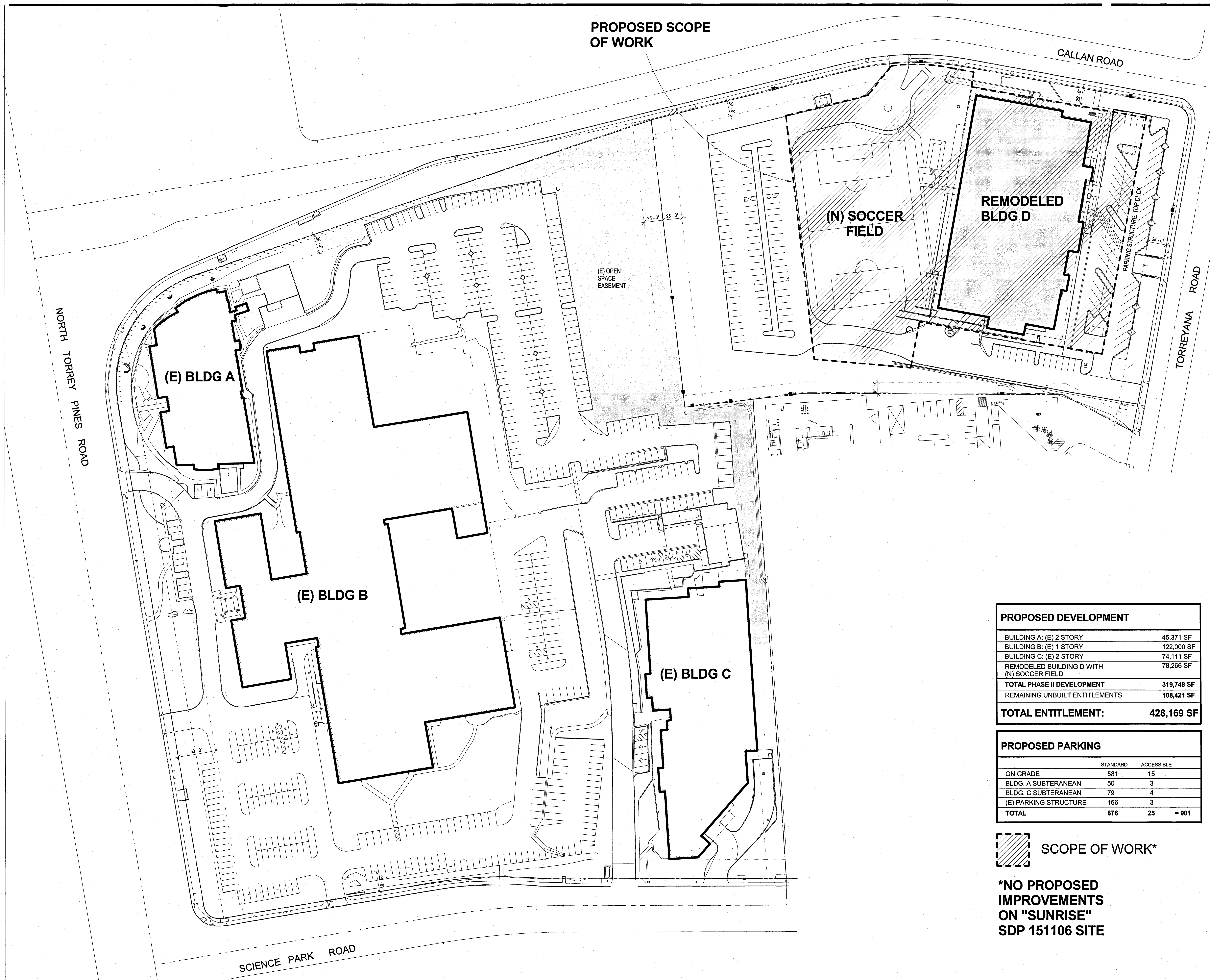
Alexandria Real Estate Equities, Inc.

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Issue	Date & Issue Description	By	Check
1	01/24/2014		DesignChecker
2	02/21/2014		



PROPOSED DEVELOPMENT	
BUILDING A: (E) 2 STORY	45,371 SF
BUILDING B: (E) 1 STORY	122,000 SF
BUILDING C: (E) 2 STORY	74,111 SF
REMODELED BUILDING D WITH (N) SOCCER FIELD	78,266 SF
<b>TOTAL PHASE II DEVELOPMENT</b>	<b>319,748 SF</b>
REMAINING UNBUILT ENTITLEMENTS	108,421 SF
<b>TOTAL ENTITLEMENT:</b>	<b>428,169 SF</b>

PROPOSED PARKING		
	STANDARD	ACCESSIBLE
ON GRADE	581	15
BLDG. A SUBTERANEAN	50	3
BLDG. C SUBTERANEAN	79	4
(E) PARKING STRUCTURE	166	3
<b>TOTAL</b>	<b>876</b>	<b>25 = 901</b>

SCOPE OF WORK\*

**\*NO PROPOSED IMPROVEMENTS ON "SUNRISE" SDP 151106 SITE**

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No. SDP # 1250085  
PTS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
PROPOSED DEVELOPMENT - SCOPE OF WORK

Scale  
1" = 50'-0"

**A0.051**

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PROPOSED DEVELOPMENT - SCOPE OF WORK  
SCALE: 1" = 50'-0"



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Issue	Date & Issue Description	By	Check
1	01/24/2014		Designer
2	02/21/2014		Checker

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 02/04/2014  
Permit No.: SR # 1250085  
PIS # 344613

Project Name  
Torreyana / Sunrise

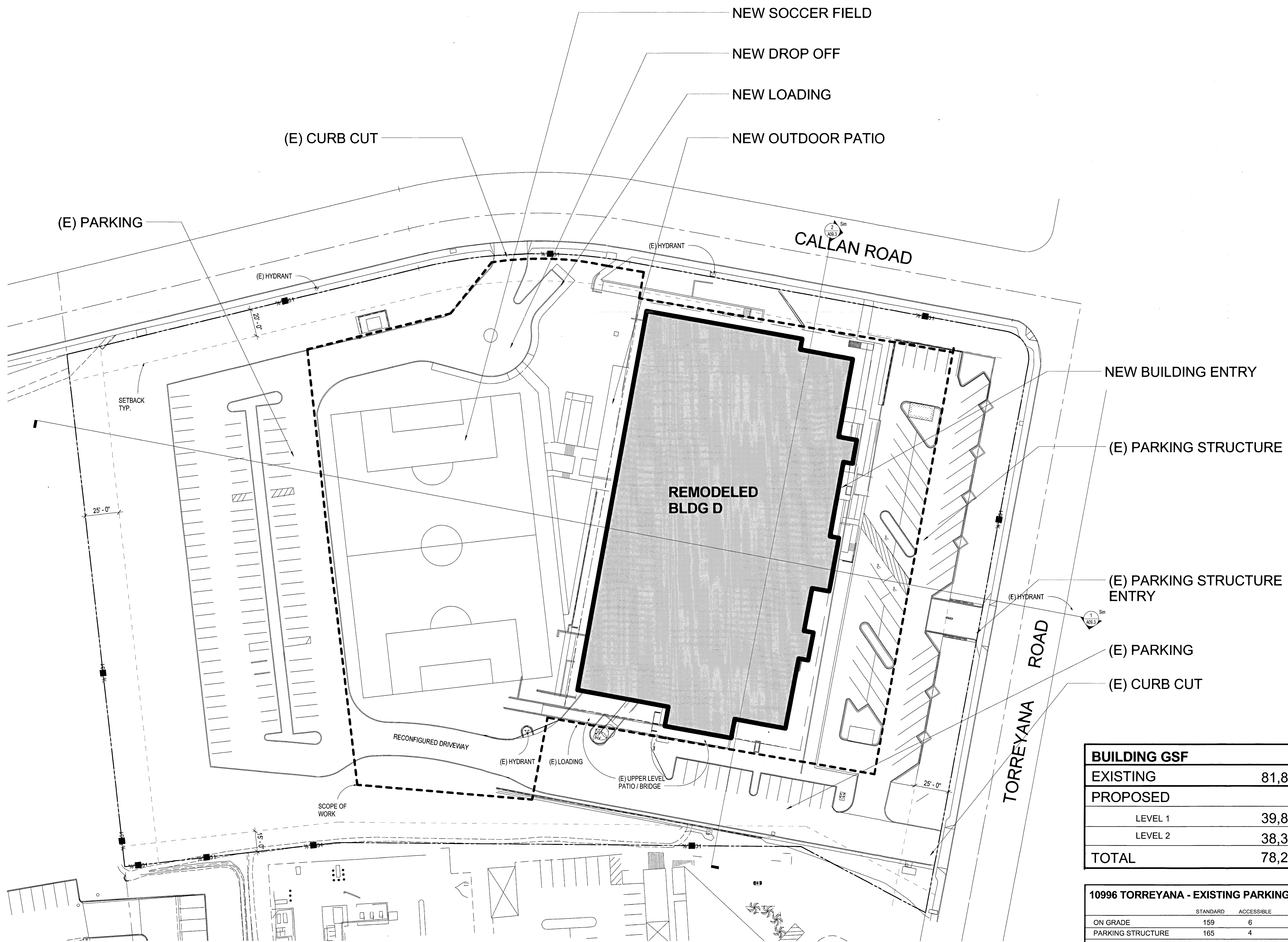
Project Number  
55.7106.016

Description  
TORREYANA SITE PLAN

Scale  
1" = 30'-0"

**A0.01**

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BUILDING GSF	
EXISTING	81,895
PROPOSED	
LEVEL 1	39,898
LEVEL 2	38,368
TOTAL	78,266

10996 TORREYANA - EXISTING PARKING		
	STANDARD	ACCESSIBLE
ON GRADE	159	6
PARKING STRUCTURE	165	4
TOTAL	324	10 = 334

10996 TORREYANA - PROPOSED PARKING		
	STANDARD	ACCESSIBLE
ON GRADE	101	0
PARKING STRUCTURE	165	4
TOTAL	266	4 = 270

\*PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

PROPOSED TORREYANA IMPROVEMENTS: SITE PLAN  
SCALE: 1" = 30'-0"

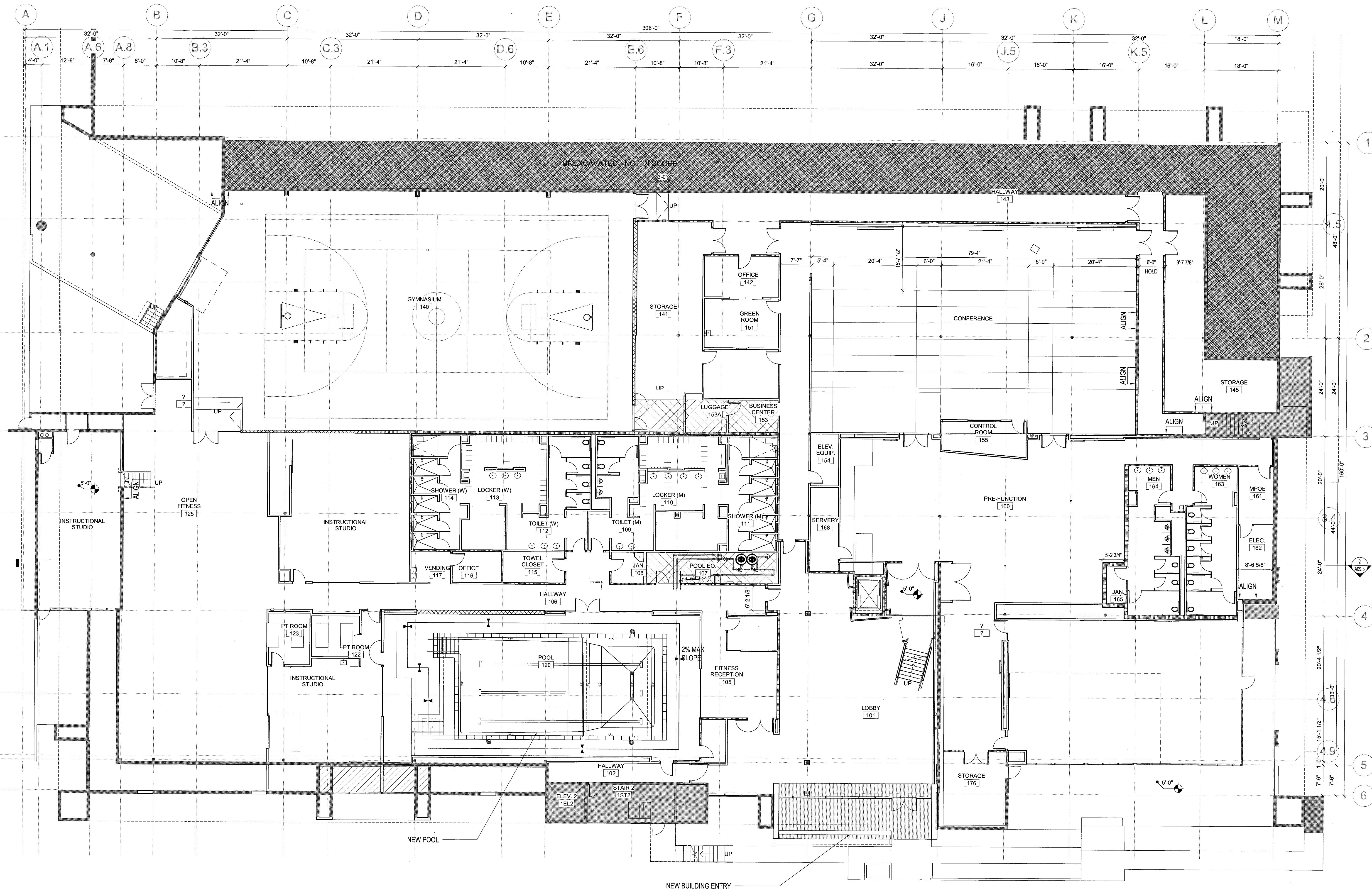


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San Diego CA 92121

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Tel: 619.557.2500  
Fax: 619.557.2520



BUILDING D: PROPOSED LEVEL 1 FLOOR PLAN

SCALE: 3/32" = 1'-0"

1

Issue	Date & Issue Description	By	Check
1	01/24/2014		Designer
2	02/21/2014		DesignChecker

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 02/04/2014  
Permit No. SCR # 1250085  
PIS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
BUILDING D - PROPOSED FLOOR PLAN LEVEL 01

Scale  
3/32" = 1'-0"

**A02.1**

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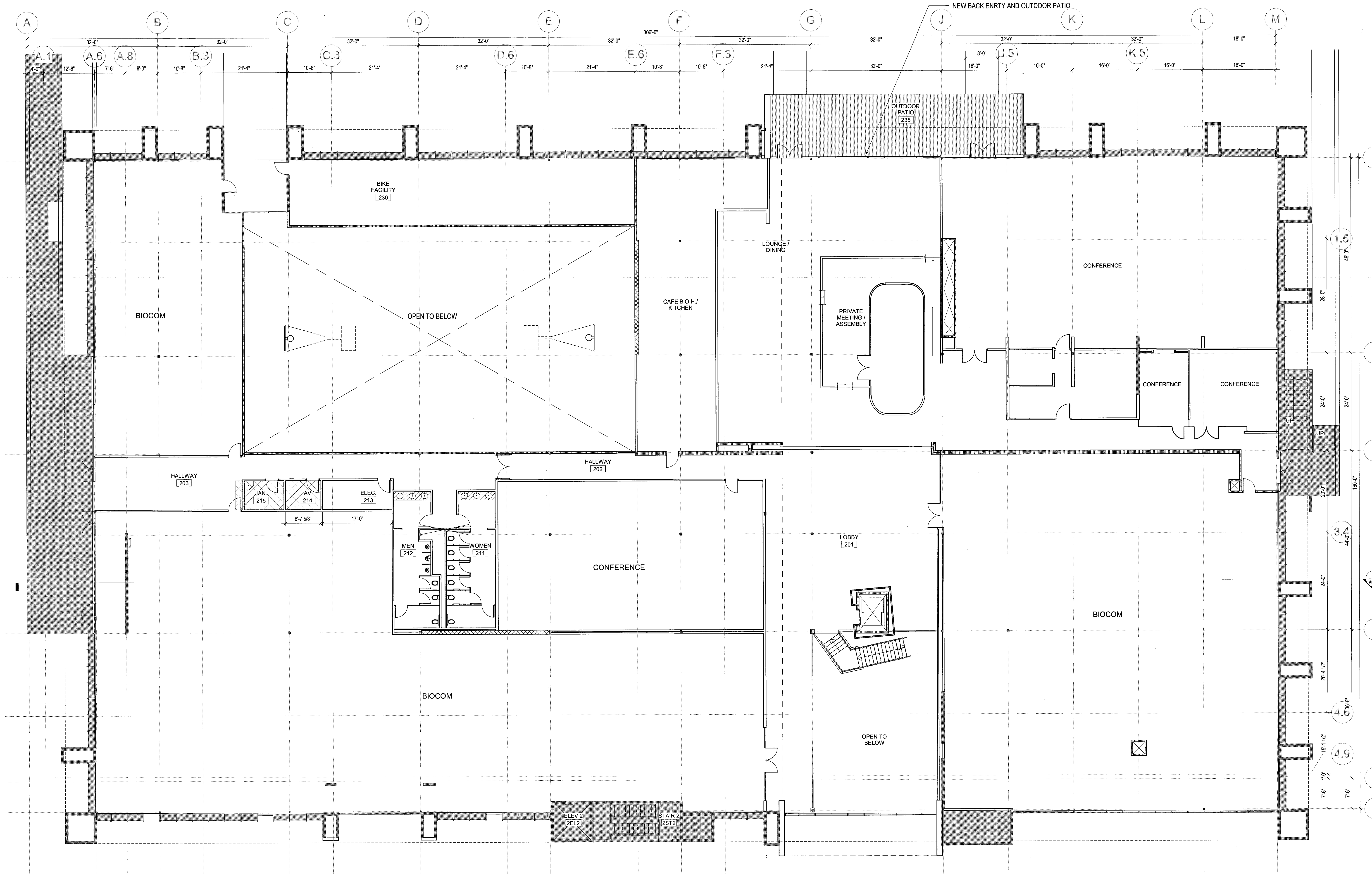


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**BUILDING D: PROPOSED LEVEL 2 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

1

Issue	Date & Issue Description	By	Check
1	01/24/2014		Designer/Checker
2	02/21/2014		

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No. SCR # 1250085  
PTS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
BUILDING D - PROPOSED FLOOR PLAN LEVEL 02

Scale  
3/32" = 1'-0"

**A02.2**

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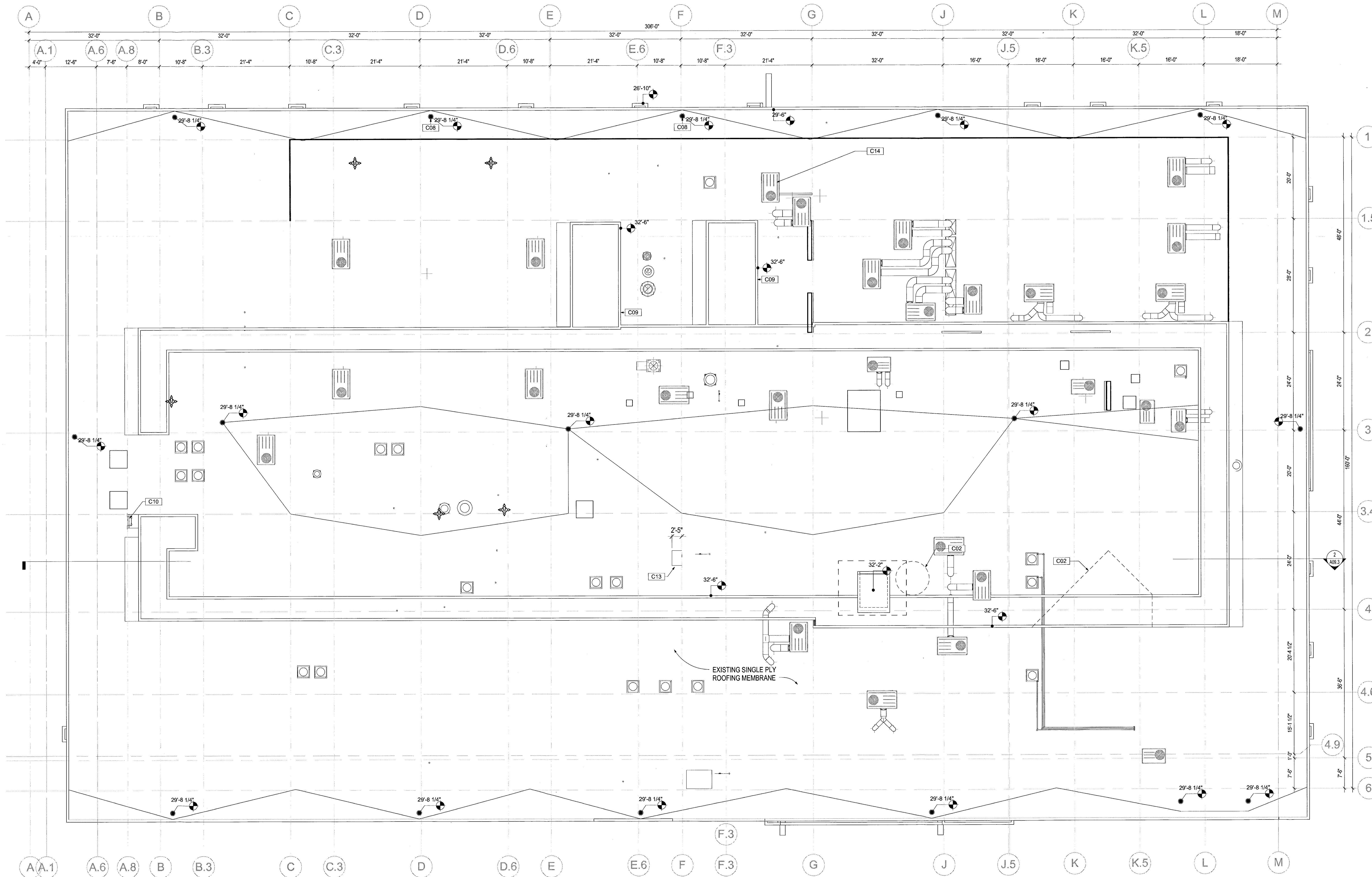


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**BUILDING D: PROPOSED ROOF PLAN**  
SCALE: 3/32" = 1'-0"

Issue	Date & Issue Description	By	Check
1	01/24/2014		Designer/Checker
2	02/21/2014		

Seal/Signature \_\_\_\_\_

**APPROVED EXHIBIT "A"**  
Approval Date: 03/04/2014  
Permit No. SCR # 1250095  
PIS # 344643

Project Name: Torreyana / Sunrise  
Project Number: 55.7106.016

Description: BUILDING D - PROPOSED ROOF PLAN

Scale: 3/32" = 1'-0"

**A02.3**

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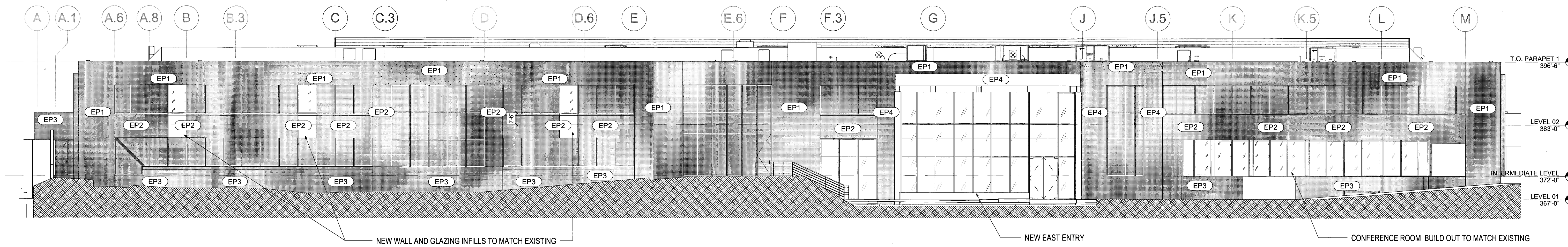


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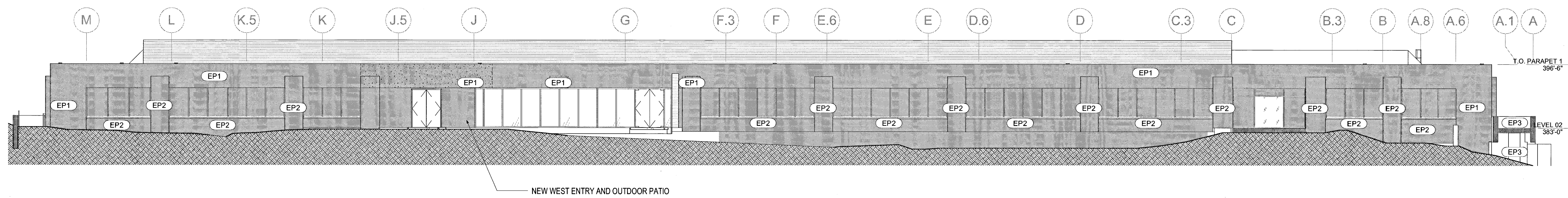
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San Diego CA 92101  
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Fax: 619.557.2520



**BUILDING D: PROPOSED EAST EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

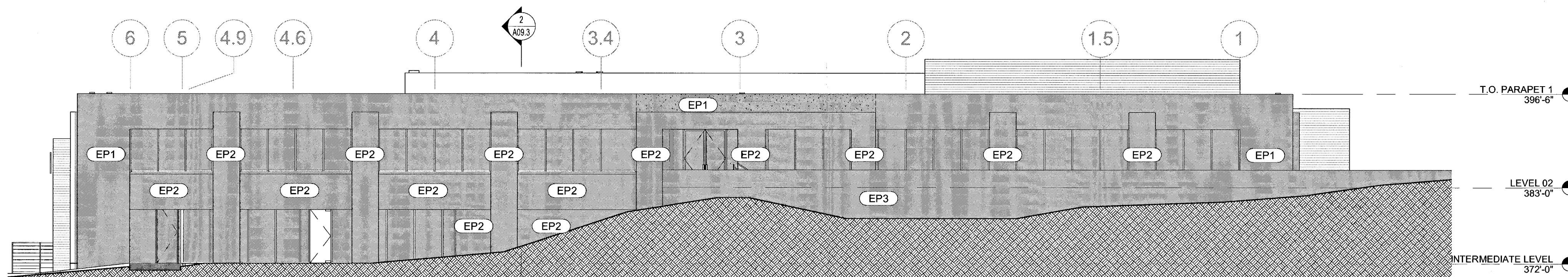
1



**BUILDING D: PROPOSED WEST EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

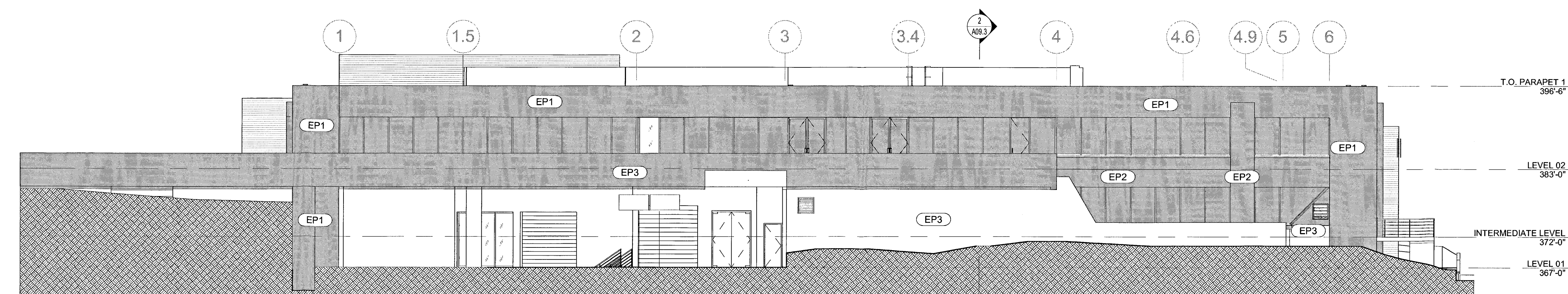
2



**BUILDING D: PROPOSED NORTH EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

3



**BUILDING D: PROPOSED SOUTH EXTERIOR ELEVATION**

SCALE: 3/32" = 1'-0"

4

<p>EP1 <b>EXTERIOR PAINT (FIELD)</b> CODE: EP1 MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7037 BALANCED BEIGE</p> <p>EP2 <b>EXTERIOR PAINT (ACCENT)</b> CODE: EP2 MANUFACTURER: SHERWIN WILLIAMS COLOR: SW6706 OFFBEAT GREEN</p> <p>EP3 <b>EXTERIOR PAINT (ACCENT)</b> CODE: EP3 MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7020 BLACK FOX</p> <p>T TEMPERED GLASS</p>	<p>CW 1 CURTAIN WALL TYPE</p> <p>SF 1 STOREFRONT TYPE</p> <p>EGL-1 1" INSULATED CLEAR GLASS SOLARBAN 70XL WINTER U-FACTOR: 0.28 SUMMER U-FACTOR: 0.26 SHGC: 0.27</p> <p>EGL-2 1/4" BLUE GLASS VERSALUX BLUE 2000R WINTER U-FACTOR: 1.02 SUMMER U-FACTOR: 0.92 SHGC: 0.33</p> <p>EGL-3 1" INSULATED CLEAR GLASS WINTER U-FACTOR: 0.28 SUMMER U-FACTOR: 0.26 SHGC: 0.27</p>
--	---

**EXTERIOR FINISH LEGEND**

SCALE: 3" = 1'-0"

Issue	Date & Issue Description	By	Check
1	01/24/2014		Designer/Checker
2	02/21/2014		

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No. SC# 1250085  
PIS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
BUILDING D - PROPOSED ELEVATIONS

Scale  
As indicated

**A09.1**

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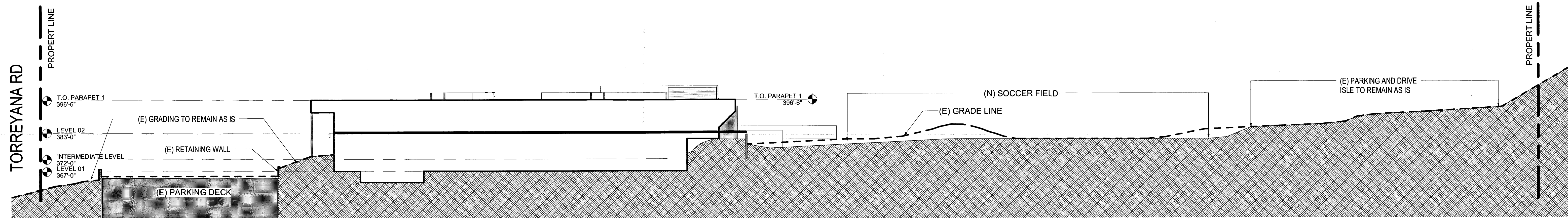


Alexandria Real Estate Equities, Inc.

10996 Torreyana Road  
San Diego CA 92121

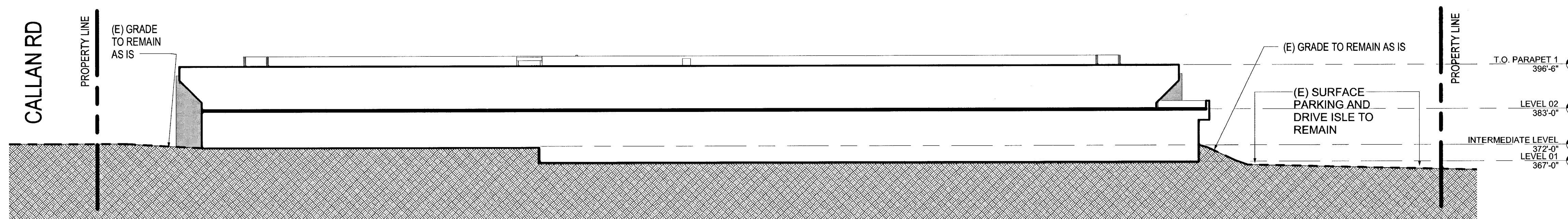
225 Broadway  
Suite 1600  
San Diego CA 92101  
Tel: 619.557.2500  
Fax: 619.557.2520

**Gensler**



**BUILDING D: DIC SECTION 1**  
SCALE: 1" = 20'-0"

1



**BUILDING D: DIC SECTION 2**  
SCALE: 1" = 20'-0"

2

Issue	Date & Issue Description	By	Check
1	01/24/2014		DesignChecker
2	02/21/2014		

Seal/Signature

**APPROVED EXHIBIT "A"**

Approval Date: 03/04/2014  
Permit No.: SCR # 1250085  
PTS # 344643

Project Name  
Torreyana / Sunrise

Project Number  
55.7106.016

Description  
TORREYANA - SITE SECTIONS

Scale  
1" = 20'-0"

**A09.3**

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