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Alexandria Real Estate Equities, Inc.  
10996 Torreyana Road  
San Diego, CA 92121



5620 FRIARS ROAD  
SAN DIEGO, CA 92110  
619.291.0707  
(619) 291-4165  
Projects: San Luis Obispo  
Orange - Denver - Tucson - Phoenix  
rickengineering.com



OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10996 TORREYANA ROAD, SUITE 250, SAN DIEGO, CA 92121

CONTRACTOR:  
(PRE CONSTRUCTION SERVICES)  
DPR CONSTRUCTION, 5010 SHOREHAM  
PLACE, SAN DIEGO, CA 92122  
(858) 795-3259

CIVIL ENGINEER:  
RICK ENGINEERING COMPANY 5620  
FRIARS ROAD, SAN DIEGO, CA 92110  
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LANDSCAPE ARCHITECT:  
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC.  
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(619) 325-1990

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERING  
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SAN DIEGO, CA 92108  
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MECHANICAL / PLUMBING ENGINEER:  
DEC ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO CA 92121  
(658) 578-3270

ELECTRICAL ENGINEER:  
WEP CONSULTING  
16690 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(858) 673-4445

ONE ALEXANDRIA SQUARE

TM SUBMITTAL PACKAGE

PROJECT ISSUE DATE  
01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION

SCALE PROJECT ARCHITECT  
NBBJ

PROJECT NUMBER

DATE 01/04/2022

SHEET NAME  
TITLE SHEET

SHEET NUMBER  
TM-1

SHEET 1 OF 5

# ONE ALEXANDRIA SQUARE PROJECT

TENTATIVE MAP NO. 2406426, SDP NO. 2406424,  
CDP NO. 2406425, NDP NO. 2474613

TENTATIVE MAP/SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/NEIGHBORHOOD DEVELOPMENT PERMIT

## PROJECT DESCRIPTION

ARE ONE ALEXANDRIA SQUARE IS A RESEARCH AND DEVELOPMENT SITE LOCATED AT THE INTERSECTION OF NORTH TORREY PINES ROAD AND SCIENCE PARK ROAD. THE DEVELOPMENT CONSISTS OF EIGHT PROPOSED STRUCTURES ON THE SITE:

- B1: 10996 TORREYANA ROAD. EXISTING BUILDING TO REMAIN
- B2: 3010 SCIENCE PARK ROAD, EXISTING BUILDING TO REMAIN
- B3: 3-STORY 85,865 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN PARKING.
- B4: 2-STORY 78,311 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN PARKING.
- B5: 3-STORY 68,456 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN PARKING.
- B6: 1-STORY 37,042 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE.
- B7: 1-STORY 3,017 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE.
- B8: 1-STORY 2,473 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE.
- B9: 1-STORY 2,735 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE.
- B10: 1-STORY 7,275 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE.
- 4-LEVEL 315,605 SF PARKING STRUCTURE

## LEGAL DESCRIPTION

LOT 1 THROUGH 4, INCLUSIVE AND LOT "A" OF ALEXANDRIA TECHNOLOGY CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15437, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 19, 2006 AS FILE NO. 2006-0666754 OF OFFICIAL RECORDS.

LOT 12 OF TORREY PINES SCIENCE PARK UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 8434, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 10, 1976 AS FILE NO. 76-415927 OF OFFICIAL RECORDS.

## ASSESSORS PARCEL NUMBER

340-010-34, 340-012-01, 340-012-02, 340-012-03, 340-012-04, 340-012-05

## NUMBER OF LOTS

EXISTING: 6  
PROPOSED: 9 (7 COMMERCIAL, 1 OPEN SPACE, 1 PRIVATE DRIVEWAY)

## GROSS SITE AREA

966,782 SF (22.2 ACRES)

## OWNER/APPLICANT

ARE-10933 NORTH TORREY PINES, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
ARE-SD REGION NO. 27, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND  
ARE-SD REGION NO. 17, LLC A DELAWARE LIMITED LIABILITY COMPANY, AS TO PARCEL B

## SITE ADDRESS

NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121

## BENCHMARK

THE BENCHMARK FOR THIS SURVEY IS THE SOUTHWEST BRASS PLUG LOCATED ON N. TORREY PINES ROAD AT SCRIPPS CLINIC S'LY ENTRANCE. PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK DATED AUGUST 1989.

BM ELEVATION: 441.098, MSL

## BASIS OF BEARING

THE BASIS OF COORDINATES AND BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCCS83) (EPOCH 1991.35) ZONE 6, AND IS DETERMINED BY GPS RTK MEASUREMENTS TAKEN ON JUNE, 2012 AT SECOND ORDER STATIONS SDGPS-618 AND SDGPS-584 PER ROS 14492.

GRID BEARING SDGPS-618 TO STA SDGPS-584: N110°43'32"W

SDGPS-618

N: 1909330.65

E: 6256972.41

ELEV: 433.71

CGF: 0.9999670

CONVERGENCE: -00°32'43.829"

SDGPS-584

N: 1913893.58

E: 6256079.21

ELEV: 396.39

## BASES OF ELEVATIONS

THE BENCHMARK FOR THIS SURVEY IS THE SOUTHWEST BRASS PLUG LOCATED ON N. TORREY PINES ROAD AT SCRIPPS CLINIC S'LY ENTRANCE. PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK DATED AUGUST 1989.  
BM ELEVATION: 441.098, MSL, PER USGS ADJUSTMENT OF 1970

## APPROVAL NUMBERS

SDP NO. 2406424

CDP NO. 2406425

TM NO. 2406426

## GRADING TABULATIONS:

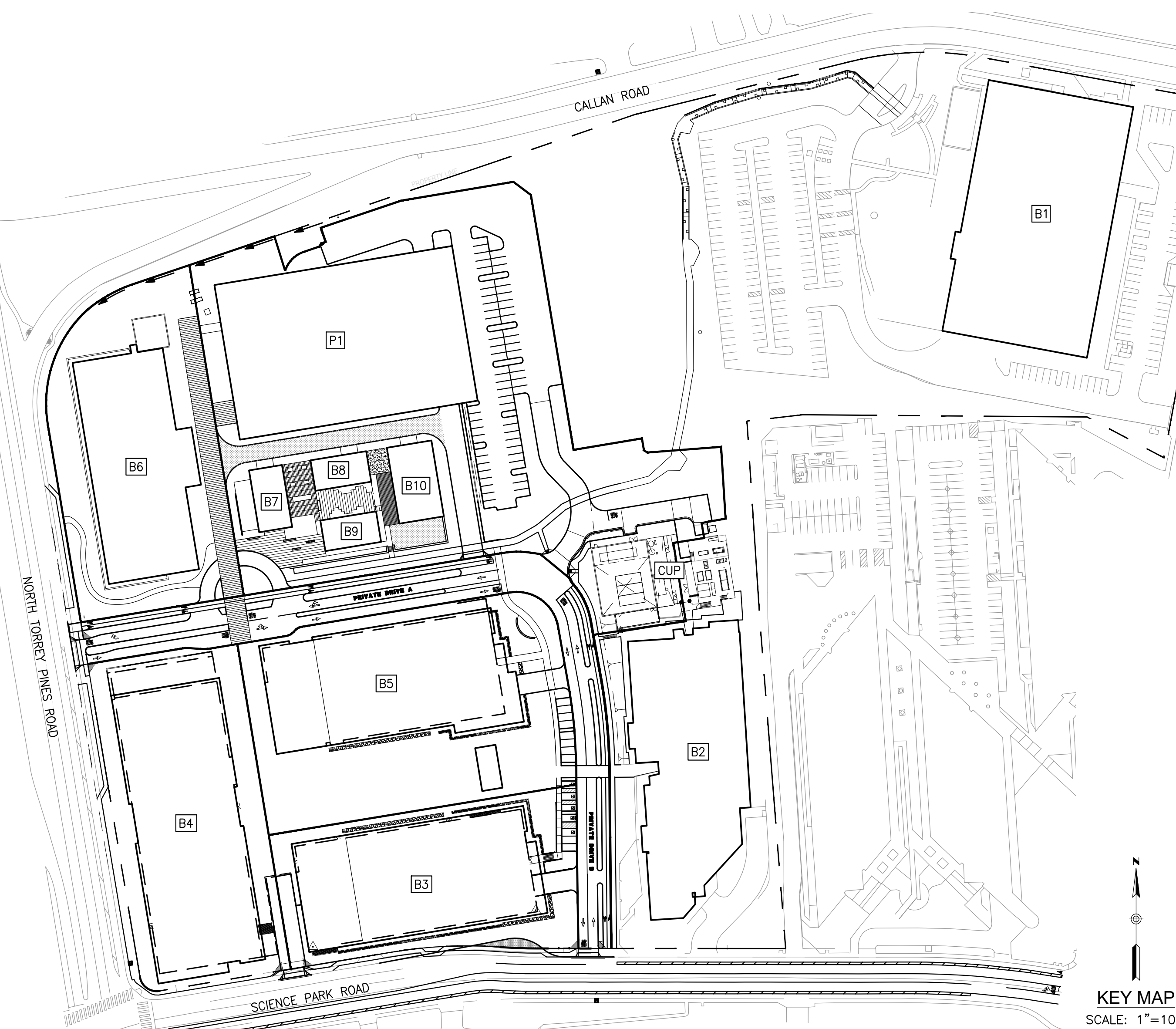
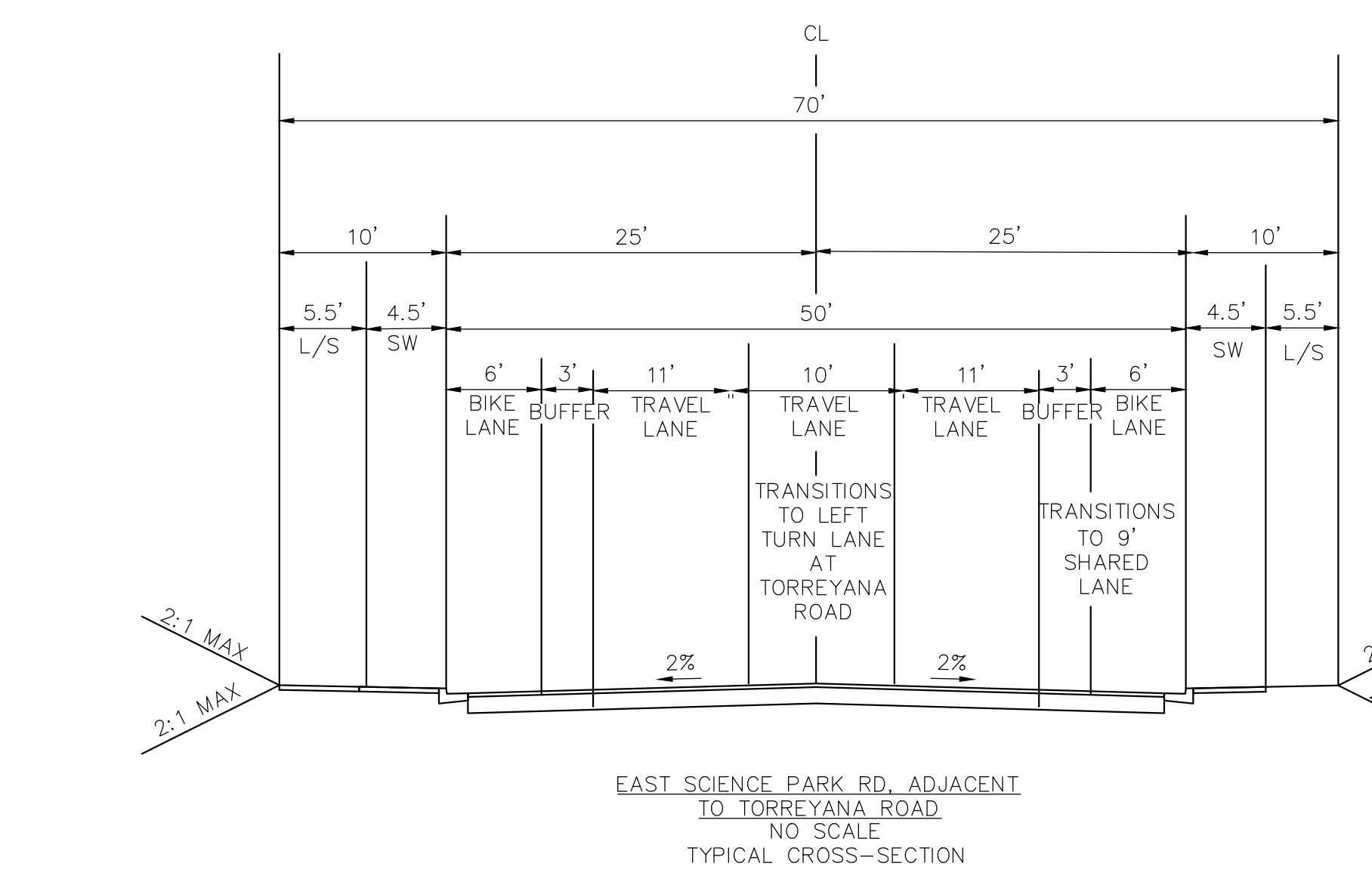
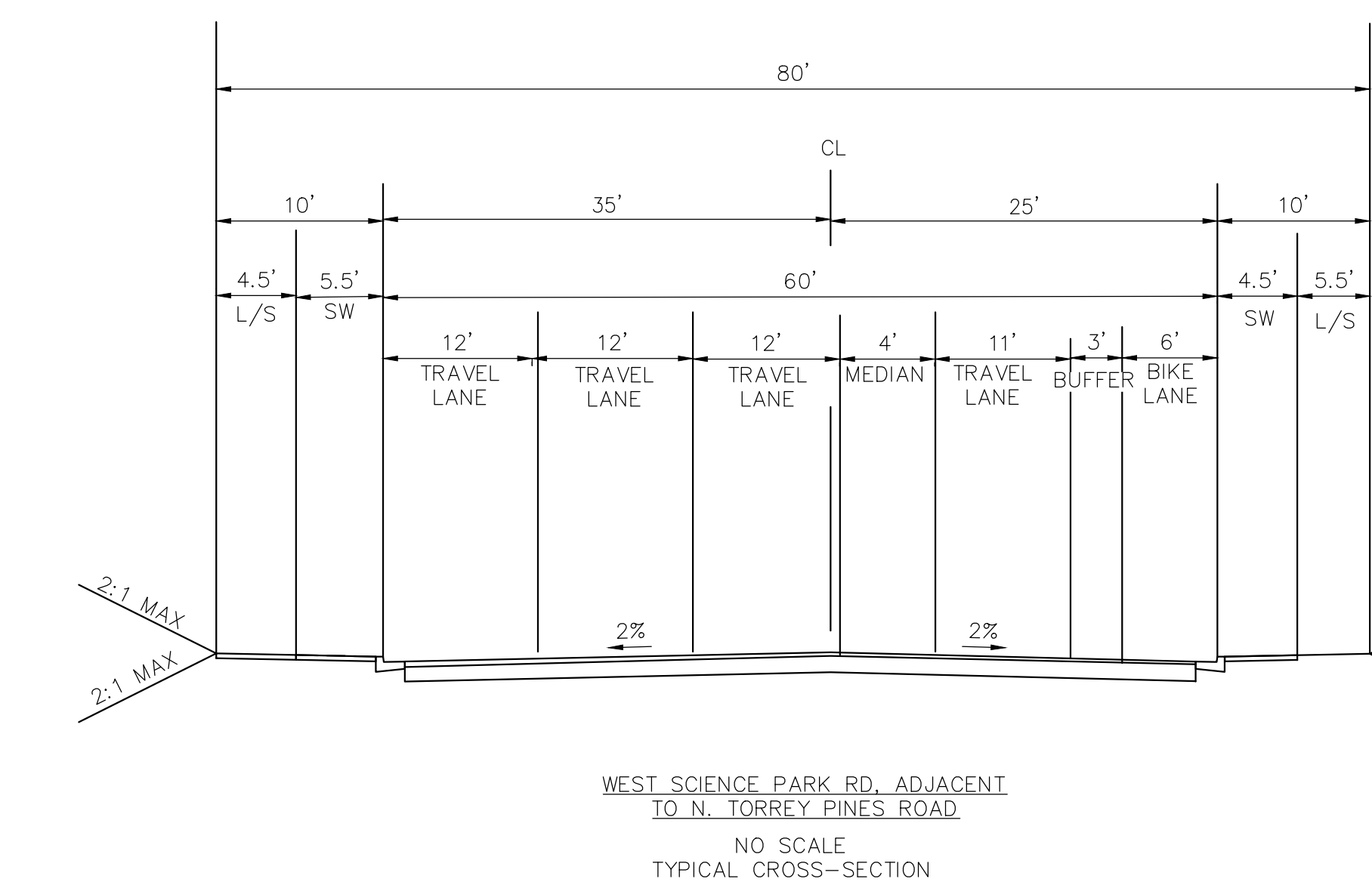
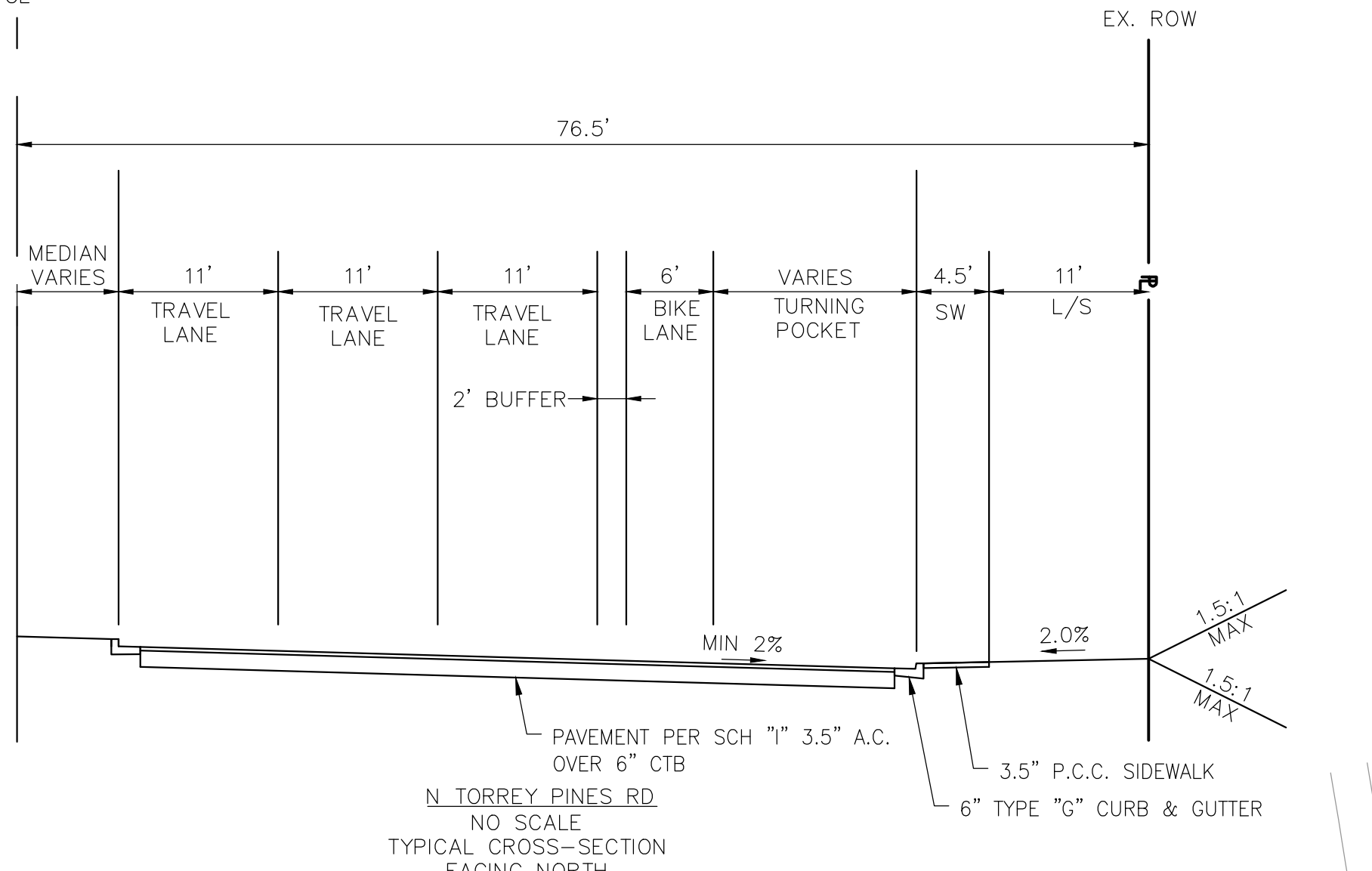
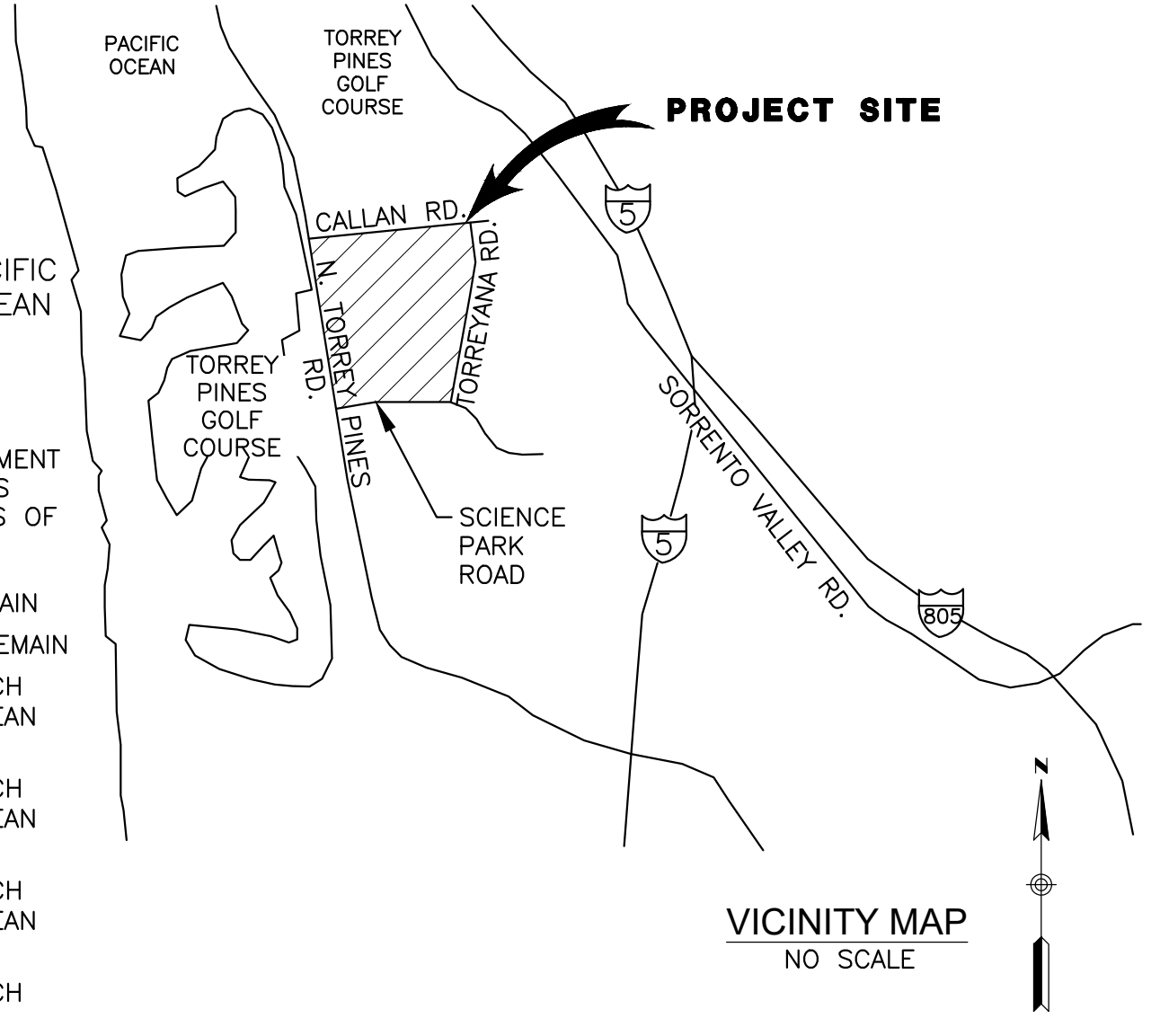
ONSITE GRADING:  
TOTAL AMOUNT OF SITE TO BE GRADED: 12.53 A.C.  
PERCENT OF TOTAL SITE TO BE GRADED: 60%  
AMOUNT OF TOTAL CUT: 180,713 CUBIC YARDS  
AMOUNT OF TOTAL FILL: 6,440 CUBIC YARDS  
AMOUNT OF IMPORT OR EXPORT: 174,273 CUBIC YARDS (EXPORT)  
MAX. VERTICAL DEPTH OF CUT: 30 FEET  
MAX. OVERALL HEIGHT OF CUT SLOPE: 20 FEET, 2:1 MAX. SLOPE RATIO  
MAX. VERTICAL DEPTH OF FILL: 15 FEET  
MAX. OVERALL HEIGHT OF FILL SLOPE: 20 FEET, 2:1 MAX. SLOPE RATIO

## GENERAL NOTES:

- TENTATIVE MAP NO.: 2406426
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT WITH THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- ALL ONSITE WATER AND SEWER SERVICES ARE PRIVATE, UNLESS OTHERWISE NOTED.
- DATE OF SURVEY: 01/07/2019  
AERIAL FLOWN ON 01/21/2019
- COORDINATES:  
SDGPS-618  
SDGPS-584  
DATUM: NAD83, CCS83 1991.35, ZONE 6, NVD29
- A FINAL MAP SHALL BE REQUIRED AND FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
- AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
- NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- THE SUBDVIDER SHALL RECORD A DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS FOR THE SHARED ACCESS EASEMENT FOR THE TWO PROJECT SITES CURRENTLY HELD BY THE SAME OWNER. THE DECLARATION OF COVENANTS AND RESERVATION OF EASEMENTS SHALL STATE: SINCE THE MUTUAL ACCESS EASEMENT AGREEMENT IS A PRIVATE AND NOT A PUBLIC ISSUE, THE CITY OF SAN DIEGO IS NOT RESPONSIBLE FOR ANY DISPUTE THAT MIGHT ARISE IN THE FUTURE BETWEEN THE PRIVATE PARTIES.

## FIRE NOTES:

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-00-1
- AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FHPS POLICY I-00-6, SHALL BE PROVIDED.
- ALL BUILDINGS WILL BE SPRINKLERED.



## SHEET INDEX

SHEET INDEX	SHEET No.
TITLE SHEET & GENERAL NOTES.....	TM-1
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DEMOLITION PLAN.....	TM-3
EXISTING LOTS AND EASEMENTS.....	TM-4
PROPOSED LOTS AND EASEMENTS.....	TM-5

## ABBREVIATIONS

AB	AGGREGATE BASE	FL	FLOW LINE	PVT.	PRIVATE
AC	ASPHALT CONCRETE	FS	FINISH SURFACE/FIRE SERVICE	PROP	PROPOSED
BB	BROOKS BOX	GB	GRADE BREAK	ROW, R/W	RIGHT-OF-WAY
CO	CLEANOUT	HORIZ	HORIZONTAL	SWR	SEWER
CUP	CENTRAL UTILITY PLANT	IE	INVERT ELEVATION	SD	STORM DRAIN
DG	DECOMPOSED GRANITE	L/S	LANDSCAPE	SDRSD	SAN DIEGO REGIONAL STANDARD DRAWINGS
DWG	DRAWING	MAX.	MAXIMUM	TB	THRUST BLOCK
DWY	DRIVEWAY	MH	MANHOLE	TC	TOP OF CURB
ELEC.	ELECTRICAL	MIN.	MINIMUM	TCO	TOP OF CLEANOUT
EX OR EXIST	EXISTING	MISC.	MISCELLANEOUS	TF	TOP OF FOOTING
FC	FACE OF CURB	MOD	MODIFIED	TG	TOP OF GRATE
FG	FINISH GRADE	NTS	NOT TO SCALE	TP	TOP OF PIPE
FBGW	FINISH GRADE BACK OF WALL	PA	PLANTER AREA	TW	TOP OF WALL
FBFW	FINISH GRADE FACE OF WALL	PIP	PROTECT IN PLACE	TYP.	TYPICAL
FSFW	FINISH SURFACE FACE OF WALL	PL	PROPERTY LINE	VERT	VERTICAL
				WTR	WATER

## OWNERS CERTIFICATE:

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE THE ENGINEER OF WORK MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS, WHICH THE ENGINEER OF WORK DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS. ALL PLAN CHANGES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO CONSTRUCTION.

I FURTHER AGREE TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN EXISTING CITY RIGHT-OF-WAY WITHIN 60 DAYS AFTER ISSUANCE OF THE CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED, IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT OR UNDER MY CONTROL.

NAME: ALEXANDRIA REAL ESTATE EQUITIES, INC.  
ADDRESS: 10996 TORREYANA ROAD  
SAN DIEGO, CA 92121  
TEL:

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

## DECLARATION OF RESPONSIBLE CHARGE: CIVIL

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

CARSON P. EDINGTON R.C.E. NO. 76519 \_\_\_\_\_ DATE

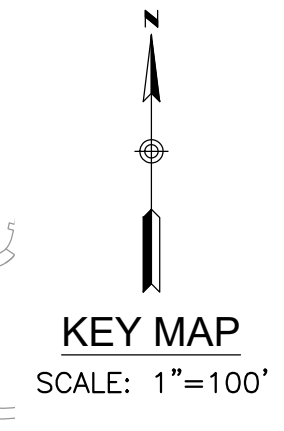
## DECLARATION OF RESPONSIBLE CHARGE: SURVEY

I HEREBY DECLARE THAT I AM THE LAND SURVEYOR OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE LAND SURVEYING WORK FOR THIS PROJECT AS DEFINED IN SECTION 8703 OF THE BUSINESS AND PROFESSIONS CODE.

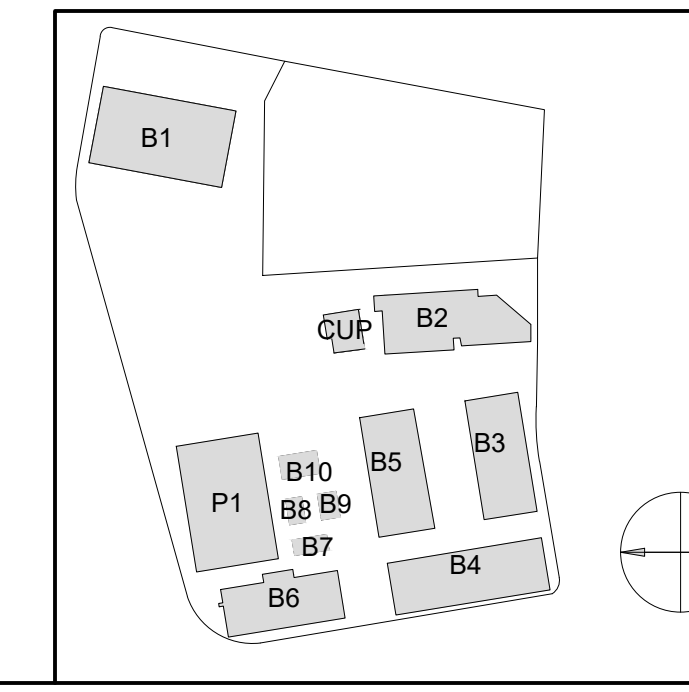
BRIAN D. JAQUESS LS. NO. 8379 \_\_\_\_\_ DATE

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## KEYPLAN



# ONE ALEXANDRIA SQUARE PROJECT

## TENTATIVE MAP NO. 2406426, SDP NO. 2406424, CDP NO. 2406425, NDP NO. 2474613

TENTATIVE MAP/SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/NEIGHBORHOOD DEVELOPMENT PERMIT

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## ONE ALEXANDRIA SQUARE

### TM SUBMITTAL PACKAGE

PROJECT ISSUE DATE  
01/04/2022

**REVISIONS**

MARK	DATE	DESCRIPTION

SCALE PROJECT ARCHITECT  
PROJECT NUMBER NBBJ

DATE 01/04/2022

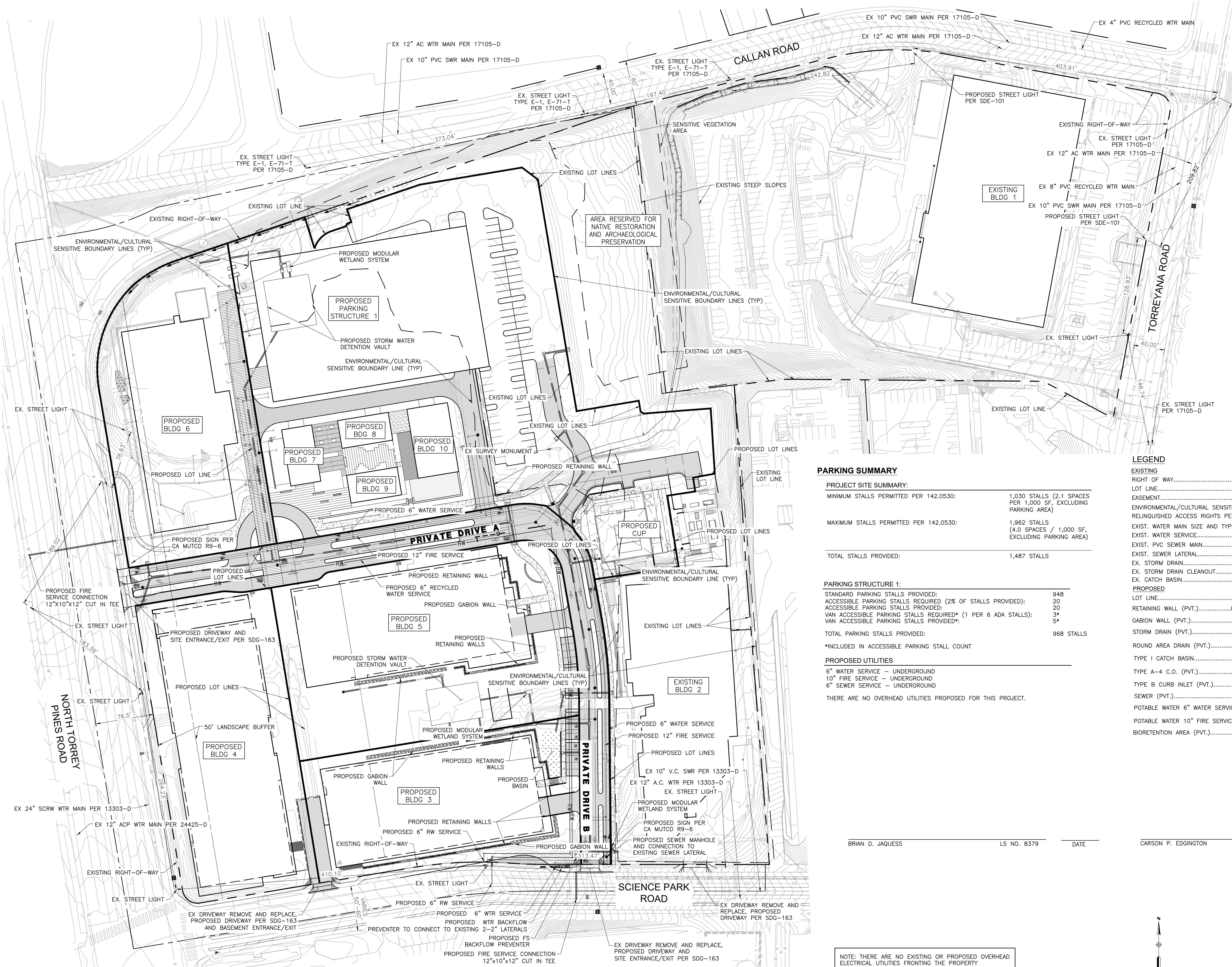
SHEET NAME

### SITE PLAN

SHEET NUMBER

## TM-2

SHEET 2 OF 5



#### PARKING SUMMARY

##### PROJECT SITE SUMMARY:

MINIMUM STALLS PERMITTED PER 142.0530:	1,030 STALLS (2.1 SPACES PER 1,000 SF, EXCLUDING PARKING AREA)
MAXIMUM STALLS PERMITTED PER 142.0530:	1,962 STALLS (4.0 SPACES / 1,000 SF, EXCLUDING PARKING AREA)
TOTAL STALLS PROVIDED:	1,487 STALLS

##### PARKING STRUCTURE 1:

STANDARD PARKING STALLS PROVIDED:	948
ACCESSIBLE PARKING STALLS REQUIRED (2% OF STALLS PROVIDED):	20
ACCESSIBLE PARKING STALLS PROVIDED:	20
VAN ACCESSIBLE PARKING STALLS REQUIRED* (1 PER 6 ADA STALLS):	3*
VAN ACCESSIBLE PARKING STALLS PROVIDED*:	5*
TOTAL PARKING STALLS PROVIDED:	968 STALLS

\*INCLUDED IN ACCESSIBLE PARKING STALL COUNT

##### PROPOSED UTILITIES

6" WATER SERVICE - UNDERGROUND  
 10" FIRE SERVICE - UNDERGROUND  
 6" SEWER SERVICE - UNDERGROUND

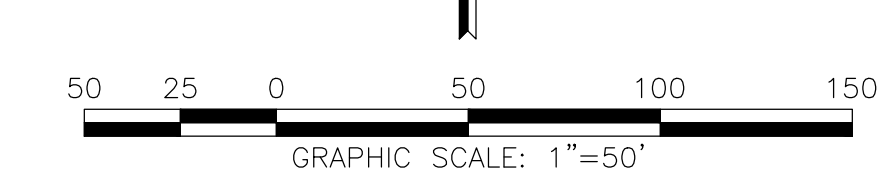
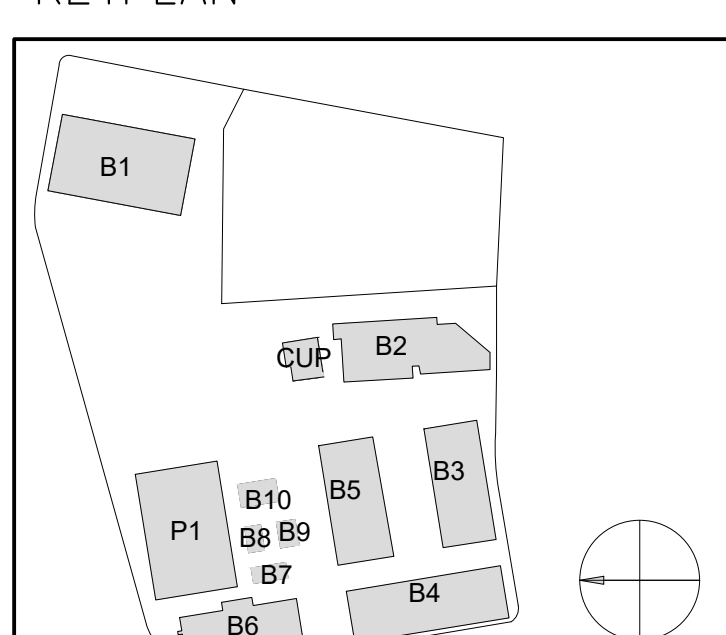
THERE ARE NO OVERHEAD UTILITIES PROPOSED FOR THIS PROJECT.

#### LEGEND

EXISTING	STANDARD DWG.	SYMBOL
RIGHT OF WAY	-----	---
LOT LINE	-----	---
EASEMENT	-----	---
ENVIRONMENTAL/CULTURAL SENSITIVE AREA	-----	---
RELINQUISHED ACCESS RIGHTS PER MAP 6229	-----	---
EXIST. WATER MAIN SIZE AND TYPE PER PLAN	-----	---
EXIST. WATER SERVICE	-----	---
EXIST. PVC SEWER MAIN	-----	---
EXIST. SEWER LATERAL	-----	---
EX. STORM DRAIN	-----	---
EX. STORM DRAIN CLEANOUT	-----	---
EX. CATCH BASIN	-----	---
PROPOSED		
LOT LINE	-----	---
RETAINING WALL (PVT.)	-----	---
GABION WALL (PVT.)	-----	---
STORM DRAIN (PVT.)	-----	---
ROUND AREA DRAIN (PVT.)	-----	---
TYPE I CATCH BASIN	-----	---
TYPE A-4 C.O. (PVT.)	-----	---
TYPE B CURB INLET (PVT.)	-----	---
SEWER (PVT.)	-----	---
POTABLE WATER 6" WATER SERVICE (PVT.)	-----	---
POTABLE WATER 10" FIRE SERVICE (PVT.)	-----	---
BIORETENTION AREA (PVT.)	-----	---

BRIAN D. JAQUESS LS NO. 8379 DATE  
 CARSON P. EDGINGTON R.C.E. NO. 76519 DATE

#### KEYPLAN



NOTE: THERE ARE NO EXISTING OR PROPOSED OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY

C:\RICK\Projects\13\_SDP\_R\18483\_DAS\_Civil\Sheets\TM-2\002-SITE.dwg, 1/6/2022, 4:26 PM

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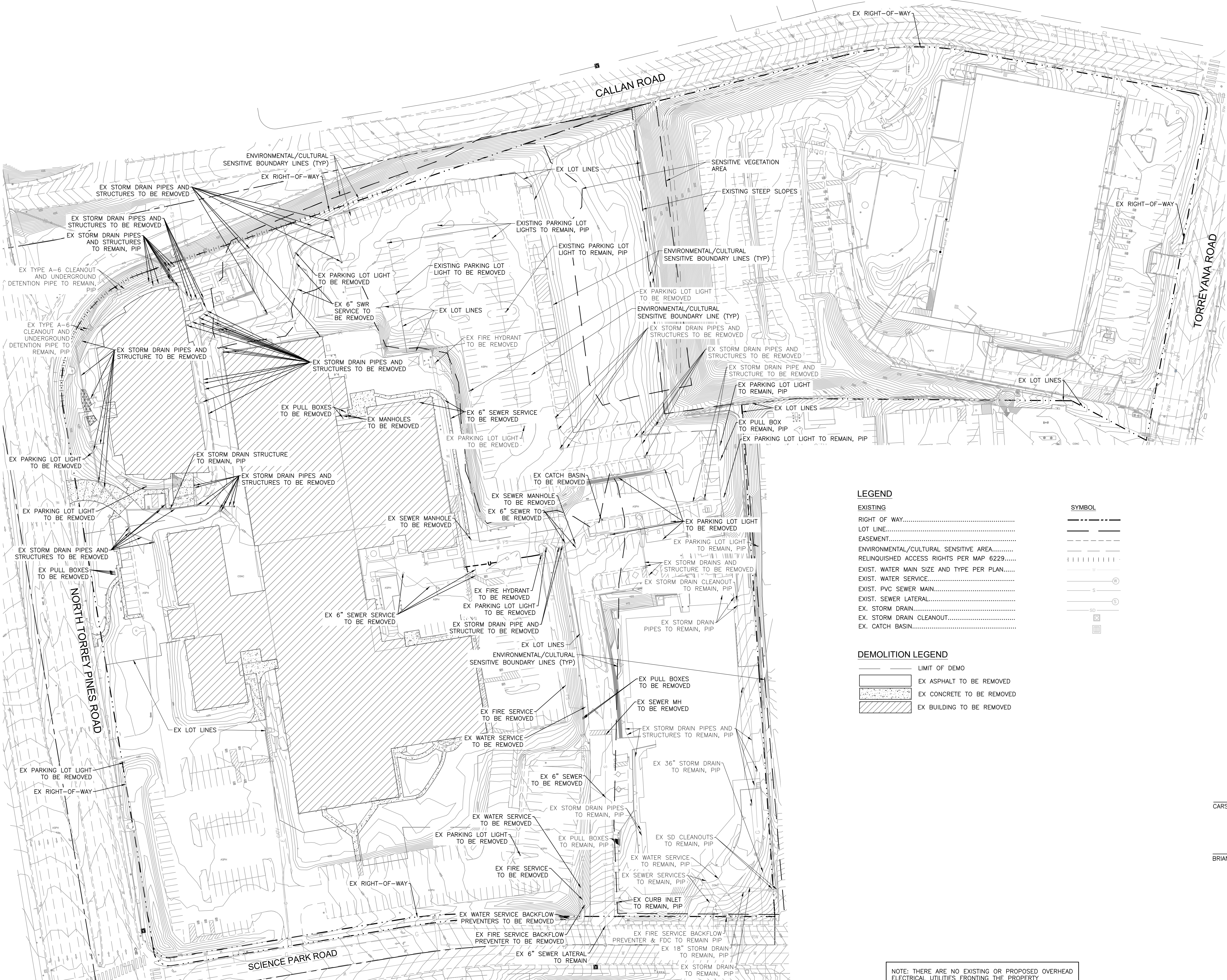
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**LEGEND**

EXISTING	SYMBOL
RIGHT OF WAY.....	
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EASEMENT.....	
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RELINQUISHED ACCESS RIGHTS PER MAP 6229.....	
EXIST. WATER MAIN SIZE AND TYPE PER PLAN.....	
EXIST. WATER SERVICE.....	
EXIST. PVC SEWER MAIN.....	
EXIST. SEWER LATERAL.....	
EX. STORM DRAIN.....	
EX. STORM DRAIN CLEANOUT.....	
EX. CATCH BASIN.....	

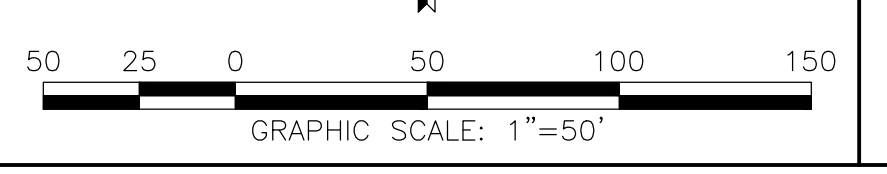
**DEMOLITION LEGEND**

	LIMIT OF DEMO
	EX ASPHALT TO BE REMOVED
	EX CONCRETE TO BE REMOVED
	EX BUILDING TO BE REMOVED

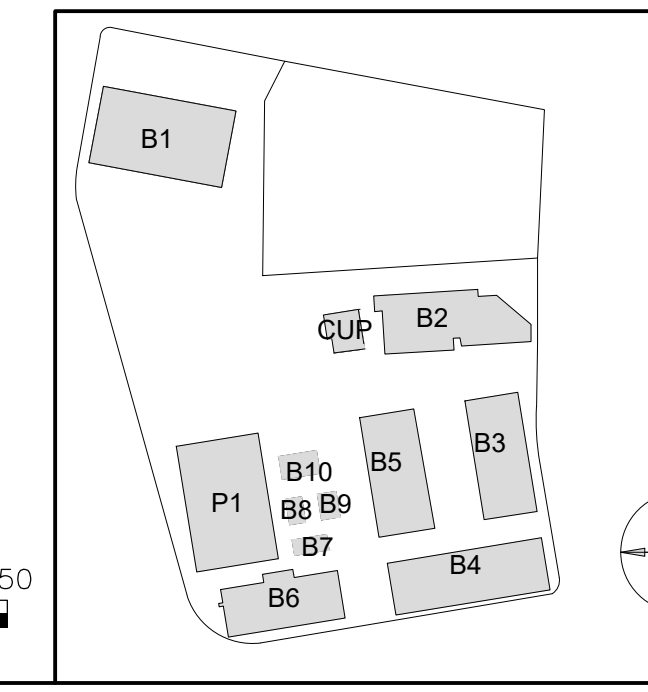
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**KEYPLAN**



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SHEET NAME

**DEMO PLAN**

SHEET NUMBER

**TM-3**

SHEET 3 OF 5

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CDP NO. 2406425, NDP NO. 2474613

TENTATIVE MAP/SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/NEIGHBORHOOD DEVELOPMENT PERMIT

**nbbj**

88 KEARNEY STREET, SUITE 900  
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ALEXANDRIA.

Alexandria Real Estate Equities, Inc.  
10996 Torreyana Road  
San Diego, CA 92121



5620 FRIARS ROAD  
SAN DIEGO, CA 92110  
619.291.0707  
(FAX) 619.291.4165



OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10996 TORREYANA RD., SUITE 250, SAN DIEGO, CA 92121

CONTRACTOR:  
(PRE CONSTRUCTION SERVICES)  
DPR CONSTRUCTION, 5010 SHOREHAM PLACE, SAN DIEGO, CA 92122  
(858) 795-3259

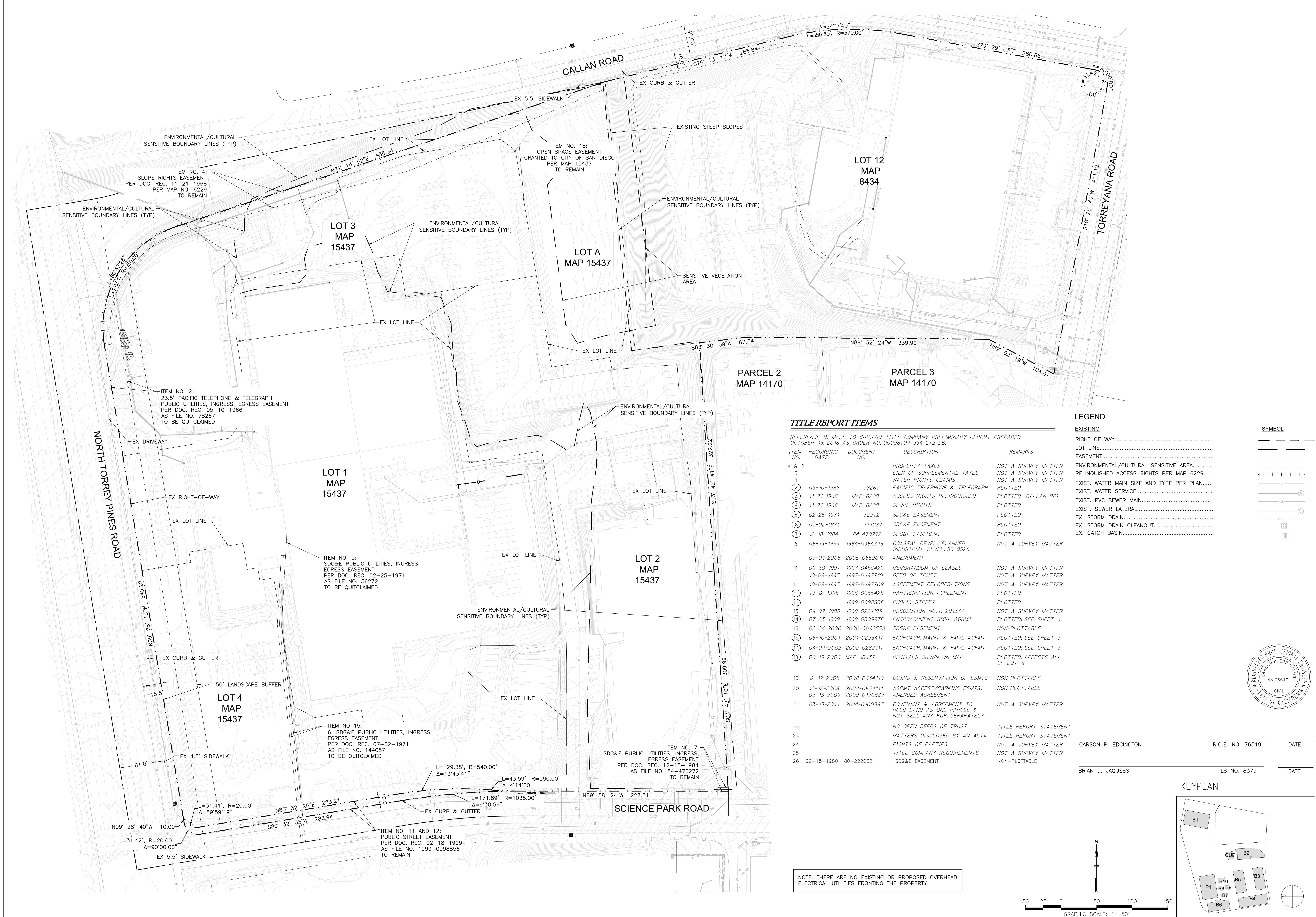
CIVIL ENGINEER:  
RICK ENGINEERING COMPANY 5620 FRIARS ROAD, SAN DIEGO, CA 92110  
(619) 291-0707

LANDSCAPE ARCHITECT:  
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC.  
2605 STATE STREET, SUITE B  
SAN DIEGO, CA 92103  
(619) 325-1990

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERING  
1455 FRAZEE ROAD, SUITE 600  
SAN DIEGO, CA 92108  
(619) 232-4673

MECHANICAL / PLUMBING ENGINEER:  
D&S ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO CA 92121  
(858) 576-3270

ELECTRICAL ENGINEER:  
MEP CONSULTING  
16690 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(858) 673-4445



**TITLE REPORT ITEMS**

REFERENCE IS MADE TO CHICAGO TITLE COMPANY PRELIMINARY REPORT PREPARED OCTOBER 15, 2018 AS ORDER NO. 00098704-994-LT-DB.

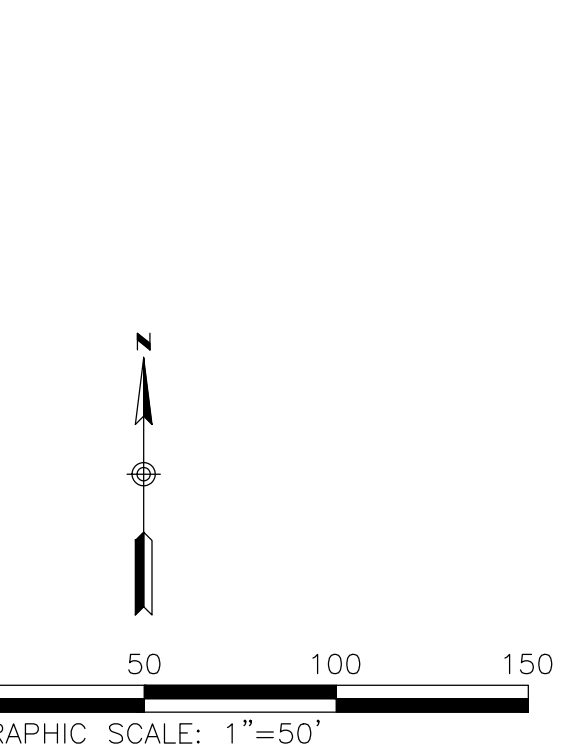
ITEM NO.	RECORDING DATE	DOCUMENT NO.	DESCRIPTION	REMARKS
A & B			PROPERTY TAXES	NOT A SURVEY MATTER
C			LIEN OF SUPPLEMENTAL TAXES	NOT A SURVEY MATTER
1			WATER RIGHTS, CLAIMS	NOT A SURVEY MATTER
(2)	05-10-1966	78267	PACIFIC TELEPHONE & TELEGRAPH	PLOTTED
(3)	11-21-1968	MAP 6229	ACCESS RIGHTS RELINQUISHED	PLOTTED (CALLAN RD)
(4)	11-21-1968	MAP 6229	SLOPE RIGHTS	PLOTTED
(5)	02-25-1971	36272	SDG&E EASEMENT	PLOTTED
(6)	07-02-1971	144087	SDG&E EASEMENT	PLOTTED
(7)	12-18-1984	84-470272	SDG&E EASEMENT	PLOTTED
8	06-15-1994	1994-0384849	COASTAL DEVEL./PLANNED INDUSTRIAL DEVEL.-89-0328	NOT A SURVEY MATTER
	07-01-2005	2005-0559016	AMENDMENT	
9	09-30-1997	1997-0486429	MEMORANDUM OF LEASES	NOT A SURVEY MATTER
	10-06-1997	1997-0497710	DEED OF TRUST	NOT A SURVEY MATTER
10	10-06-1997	1997-0497709	AGREEMENT RE: OPERATIONS	NOT A SURVEY MATTER
(11)	10-12-1998	1998-0655428	PARTICIPATION AGREEMENT	PLOTTED
(12)	1999-0098856		PUBLIC STREET	PLOTTED
(13)	04-02-1999	1999-0221193	RESOLUTION NO. R-291377	NOT A SURVEY MATTER
(14)	07-23-1999	1999-0509976	ENCROACHMENT RMVL AGRMT	PLOTTED; SEE SHEET 4
15	02-24-2000	2000-0092558	SDG&E EASEMENT	NON-PLOTTABLE
(16)	05-10-2001	2001-0295417	ENCROACH, MAINT & RMVL AGRMT	PLOTTED; SEE SHEET 3
(17)	04-04-2002	2002-0282117	ENCROACH, MAINT & RMVL AGRMT	PLOTTED; SEE SHEET 3
(18)	09-19-2006	MAP 15437	RECITALS SHOWN ON MAP	PLOTTED, AFFECTS ALL OF LOT A
19	12-12-2008	2008-0634110	CC&R's & RESERVATION OF ESMTS	NON-PLOTTABLE
20	12-12-2008	2008-0634111	AGMT ACCESS/PARKING ESMTS.	NON-PLOTTABLE
	03-13-2009	2009-0126882	AMENDED AGREEMENT	
21	03-13-2014	2014-0100363	COVENANT & AGREEMENT TO HOLD LAND AS ONE PARCEL & NOT SELL ANY POR. SEPARATELY	NOT A SURVEY MATTER
22			NO OPEN DEEDS OF TRUST	TITLE REPORT STATEMENT
23			MATTERS DISCLOSED BY AN ALTA	TITLE REPORT STATEMENT
24			RIGHTS OF PARTIES	NOT A SURVEY MATTER
25			TITLE COMPANY REQUIREMENTS	NOT A SURVEY MATTER
26	02-15-1980	80-222032	SDG&E EASEMENT	NON-PLOTTABLE

**LEGEND**

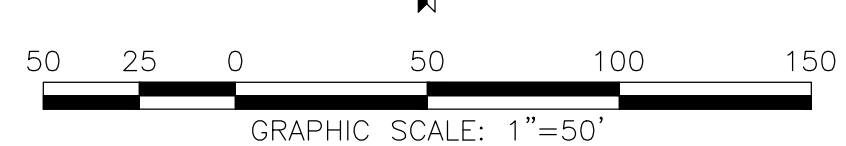
EXISTING	SYMBOL
RIGHT OF WAY	—
LOT LINE	----
EASEMENT	- - - -
ENVIRONMENTAL/CULTURAL SENSITIVE AREA	(Stippled Pattern)
RELINQUISHED ACCESS RIGHTS PER MAP 6229	(Dashed Line with X)
EXIST. WATER MAIN SIZE AND TYPE PER PLAN	(Line with W)
EXIST. WATER SERVICE	(Line with S)
EXIST. PVC SEWER MAIN	(Line with S)
EXIST. SEWER LATERAL	(Line with S)
EX. STORM DRAIN	(Line with SD)
EX. STORM DRAIN CLEANOUT	(Line with SD)
EX. CATCH BASIN	(Line with CB)



CARSON P. EDGINGTON	R.C.E. NO. 76519	DATE
BRIAN D. JAQUESS	LS NO. 8379	DATE



NOTE: THERE ARE NO EXISTING OR PROPOSED OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY



ONE ALEXANDRIA SQUARE

TM SUBMITTAL PACKAGE

PROJECT ISSUE DATE  
01/04/2022

REVISIONS

MARK	DATE	DESCRIPTION

SHEET NAME  
**EXISTING LOTS AND EASEMENTS**

SHEET NUMBER  
**TM-4**

SHEET 4 OF 5

# ONE ALEXANDRIA SQUARE PROJECT

TENTATIVE MAP NO. 2406426, SDP NO. 2406424,  
CDP NO. 2406425, NDP NO. 2474613

TENTATIVE MAP/SITE DEVELOPMENT PERMIT/COASTAL DEVELOPMENT PERMIT/NEIGHBORHOOD DEVELOPMENT PERMIT



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Branches: Sacramento - San Luis Obispo  
Orange - Denver - Tucson - Phoenix  
rickengineering.com



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SAN DIEGO, CA 92127  
(658) 673-4445

### ONE ALEXANDRIA SQUARE

#### TM SUBMITTAL PACKAGE

PROJECT ISSUE DATE  
01/04/2022

REVISIONS

MARK	DATE	DESCRIPTION

SCALE PROJECT ARCHITECT  
NUMBER NBBJ

PROJECT NUMBER  
DATE 01/04/2022

SHEET NAME  
**PROPOSED LOTS**

SHEET NUMBER  
**TM-5**

SHEET 5 OF 5



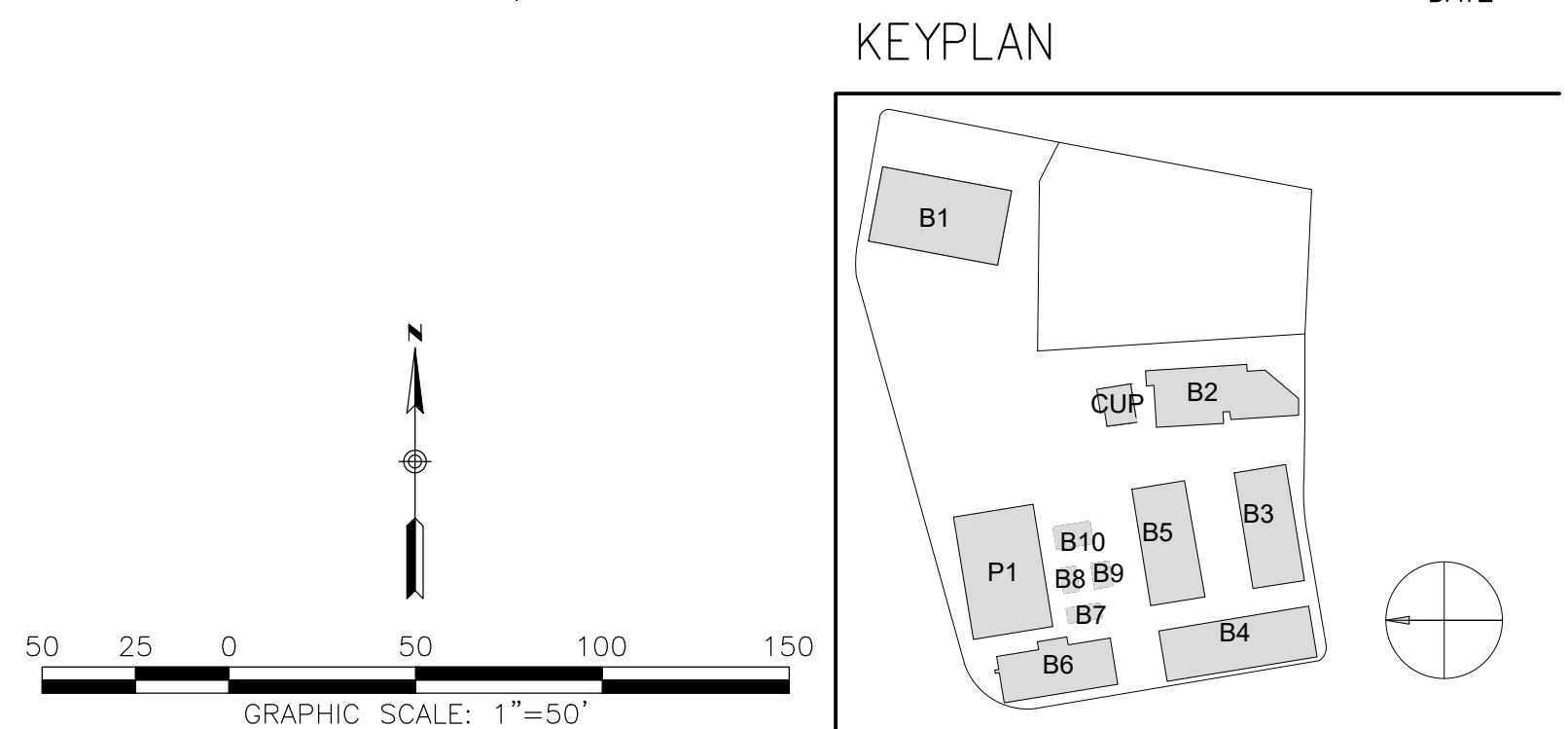
#### LEGEND

EXISTING	STANDARD DWG.	SYMBOL
PROPERTY LINE.....	.....	— — — — —
LOT LINE.....	.....	—————
EASEMENT.....	.....	·····
ENVIRONMENTAL/CULTURAL SENSITIVE AREA.....	.....	
RELINQUISHED ACCESS RIGHTS PER MAP 6229.....	.....	.....
EXIST. WATER MAIN SIZE AND TYPE PER PLAN.....	.....	.....
EXIST. WATER SERVICE.....	.....	.....
EXIST. PVC SEWER MAIN.....	.....	.....
EXIST. SEWER LATERAL.....	.....	.....
EX. STORM DRAIN.....	.....	.....
EX. STORM DRAIN CLEANOUT.....	.....	.....
EX. CATCH BASIN.....	.....	.....
<b>PROPOSED</b>		
LOT LINE.....	.....	—————
RETAINING WALL (PVT.).....PER SDRSD C-2 & C-3.....	.....	—————
GABION WALL (PVT.).....	.....	—————
STORM DRAIN (PVT.).....D-60.....	.....	—————
ROUND AREA DRAIN (PVT.).....	.....	.....
TYPE I CATCH BASIN.....	.....	.....
TYPE A-4 C.O. (PVT.).....SDRSD D-9.....	.....	.....
TYPE B CURB INLET (PVT.).....SDRSD D-2.....	.....	.....
SEWER (PVT.).....	.....	S
POTABLE WATER (PVT.).....	.....	W
POTABLE WATER (PVT.).....	.....	FS
BIORETENTION AREA (PVT.).....	.....	.....

NOTE: THERE ARE NO EXISTING OR PROPOSED OVERHEAD ELECTRICAL UTILITIES FRONTING THE PROPERTY

CARSON P. EDGINGTON R.C.E. NO. 76519 DATE

BRIAN D. JAQUESS LS NO. 8379 DATE



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