ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT SUBMITTAL

ALEXANDRIA®

ATTACHMENT 15

NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121



ALEXANDRIA. 10996 Torreyana Road San Diego, CA 92121



ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA RD, SUITE 250, SAN DIEG CONTRACTOR: (PRE CONSTRUCTION SERVICES) DPR CONSTRUCTION 5010 SHOREHAM PLACE, SAN DIEGO, CA 92122 (858) 795–3259 CIVIL ENGINEER:
RICK ENGINEERING COMPANY
5620 FRIARS ROAD, SAN DIEGO, CA 92110

(619) 291-0707

2605 STATE STREET, SUITE B

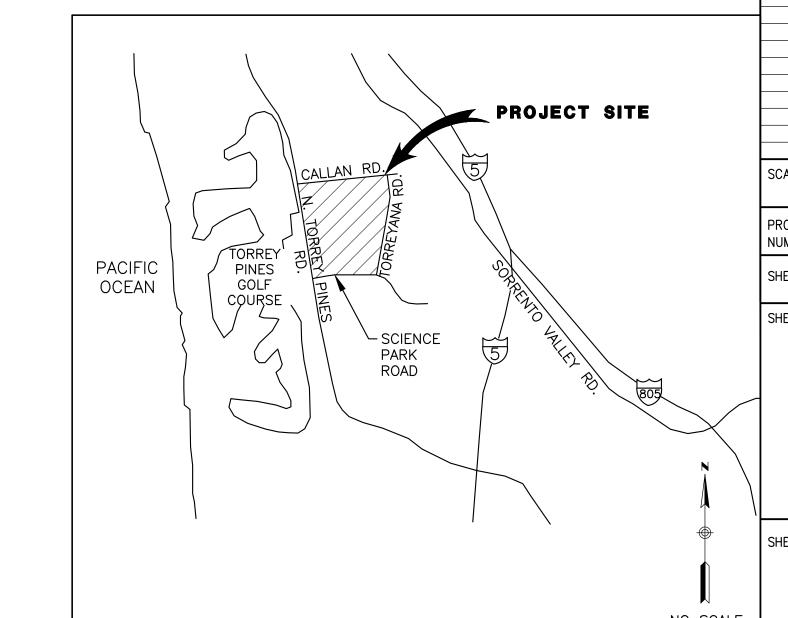
STRUCTURAL ENGINEER:
COFFMAN ENGINEERING
1455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108
(619) 232-4673 MECHANICAL / PLUMBING ENGINEER: DEC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO CA 92121 (858) 578-3270 ELECTRICAL ENGINEER:
MPE CONSULTING
16690 WEST BERNARDO DRIVE
SAN DIEGO, CA 92127
(858) 673-4445



ONE ALEXANDRIA SQUARE

Issue Date 01/04/2022 REVISIONS

MARK DATE DESCRIPTION



VICINITY MAP NUMBER SHEET ISSUE DATE 01/04/2022 COVER SHEET NO SCALE

SHEET NUMBER 60 TOTAL SHEETS

PROJECT ARCHITECT

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ONE ALEXANDRIA SQUARE

NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121

1,487 STALLS

ATTACHMENT 15

SAN FRANCISCO, CA 94108 PHONE (415) 981-1100



ALEXANDRIA

10996 Torreyana Road

San Diego, CA 92121

Engineering Compan

ALEXANDRIA REAL ESTATE EQUITIES, INC.

(PRE CONSTRUCTION SERVICES)

RICK ENGINEERING COMPANY

2605 STATE STREET, SUITE B

1455 FRAZEE ROAD, SUITE 600

MECHANICAL / PLUMBING ENGINEER:

360 CARROLL ROAD, SUITE 100

6690 WEST BERNARDO DRIVE

0996 TORREYANA RD, SUITE 250, SAN DIEC

5010 SHOREHAM PLACE, SAN DIEGO, CA

5620 FRIARS ROAD, SAN DIEGO, CA 92110

GROUNDLEVEL LANDSCAPE ARCHITECTURE IN

5620 FRIARS ROAD

(FAX)619.291.4165

619.291.0707

CONTRACTOR:

DPR CONSTRUCTION

(858) 795-3259

CIVIL ENGINEER:

(619) 291-0707

LANDSCAPE ARCHITECT:

SAN DIEGO, CA 92103

STRUCTURAL ENGINEER: OFFMAN ENGINEERING

SAN DIEGO, CA 92108

SAN DIEGO CA 92121

ELECTRICAL ENGINEER

SAN DIEGO, CA 92127

(858) 578-3270

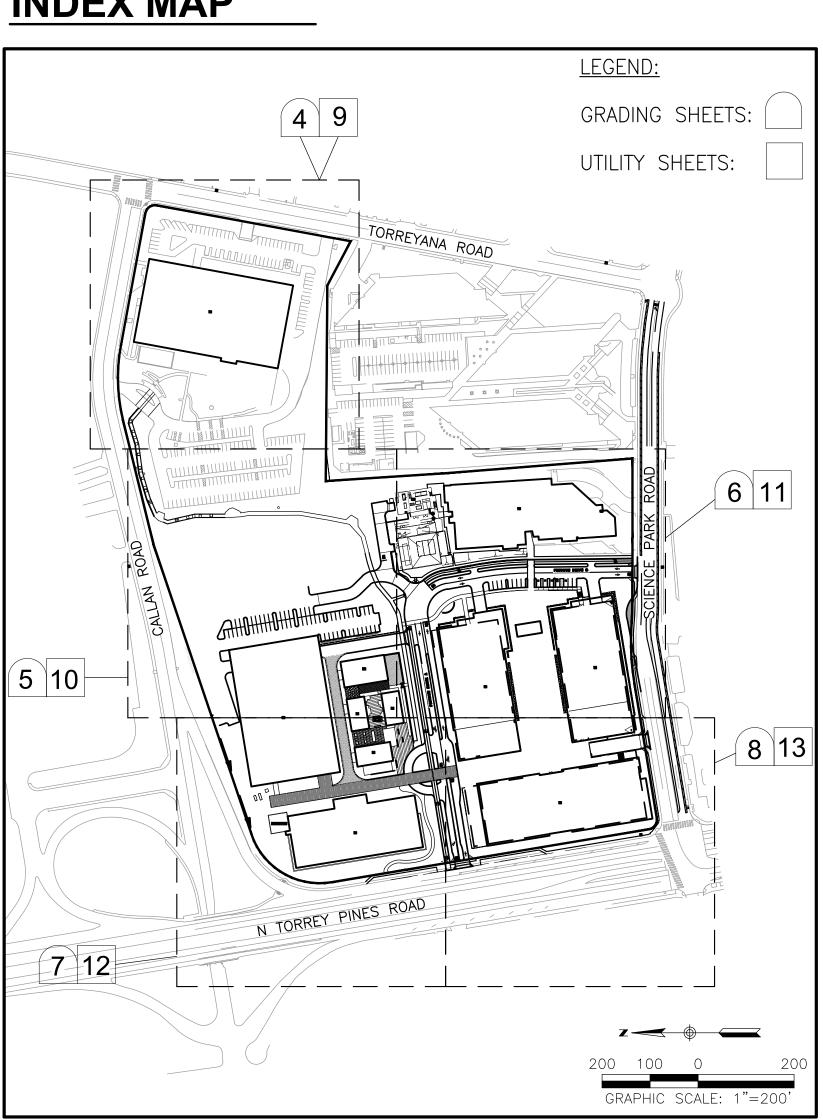
IPE CONSULTING

(619) 232-4673

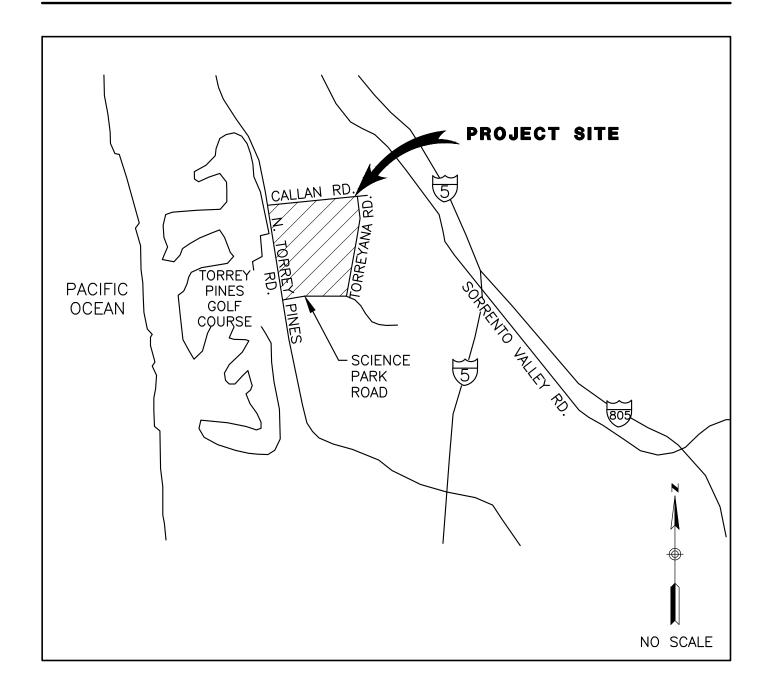
(619) 325-1990

SAN DIEGO, CA 92110

INDEX MAP



VICINITY MAP



DEVELOPMENT SUMMARY

ARE ONE ALEXANDRIA SQUARE IS A RESEARCH AND DEVELOPMENT SITE LOCATED AT THE INTERSECTION OF NORTH TORREY PINES ROAD AND SCIENCE PARK ROAD. THE DEVELOPMENT CONSISTS OF SIX PROPOSED STRUCTURES ON

- B1: 10996 TORREYANA ROAD. EXISTING BUILDING TO
- B2: 3010 SCIENCE PARK ROAD. EXISTING BUILDING TO • B3: 3-STORY 85,865 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN
- B4: 2-STORY 78,311 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN
- B5: 3-STORY 68,456 GSF BUILDING CONTAINING RESEARCH
- AND DEVELOPMENT SPACE WITH 1 LEVEL OF SUBTERRANEAN
- B6: 1-STORY 37,042 GSF BUILDING CONTAINING RESEARCH AND DEVELOPMENT SPACE.
- B7: 1-STORY 3,017 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE. • B8: 1-STORY 2,473 GSF BUILDING SUPPORTING USES OF
- RETAIL AND FOOD AND BEVERAGE. • B9: 1-STORY 2,735 GSF BUILDING SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE.
- B10: 1-STORY 7,275 GSF SUPPORTING USES OF RETAIL AND FOOD AND BEVERAGE. • 4-LEVEL 315.605 SF PARKING STRUCTURE

SITE ADDRESS: NORTH TORREY PINES ROAD, SAN DIEGO, CA 92121 <u>ASSESSOR'S PARCEL NUMBER:</u> 340-010-34, 340-012-01,

GROSS SITE AREA 966,782 SF (22.2 ACRES) LANDSCAPE AREA 9.3 ACRES HARDSCAPE AREA 12.9 ACRES

ZONING: IP-1-1 AND IS WITHIN THE COASTAL OVERLAY ZONE (COZ) AND AIRPORT LAND USE COMPATIBILITY ZONE FOR MCAS

UNIVERSITY COMMUNITY PLAN

EXISTING USE: INDUSTRIAL/SCIENTIFIC RESEARCH (R&D) <u>PROPOSED USE:</u> INDUSTRIAL/SCIENTIFIC RESEARCH (R&D) **SOURCE OF TOPOGRAPHY:** RICK ENGINEERING COMPANY; DATED:

GEOLOGIC HAZARD CATEGORY: 51 & 52 **LEGAL DESCRIPTION:**

PARCEL A: LOT 1 THROUGH 4 AND LETTERED LOT "A" OF ALEXANDRIA TECHNOLOGY CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 15437, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON SEPTEMBER 19, 2006 AS INSTRUMENT NO. 2006-0666754 OF OFFICIAL RECORDS. APNs: 340-012-01, 340-012-02, 340-012-03, 340-012-04, 340-012-05.

PARCEL B: LOT 12 OF TORREY PINES SCIENCE PARK UNIT 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 8434, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON DECEMBER

EXISTING BUILDING INFORMATION:

10, 1976. APN: 340-010-34

- B1: 10996 TORREYANA ROAD BUILDING TO REMAIN YEAR CONSTRUCTED: 2014
- B2: 3010 SCIENCE PARK ROAD BUILDING TO REMAIN YEAR CONSTRUCTED:
- 10931/10933 N TORREY PINES RD EXISTING BUILDING TO BE DEMOLISHED YEAR CONSTRUCTED:
- 10975 N TORREY PINES RD EXISTING BUILDING TO BE DEMOLISHED YEAR CONSTRUCTED:

PROPOSED UTILITIES:

- 6" WATER SERVICE UNDERGROUND
- 10" FIRE SERVICE UNDERGROUND 6" SEWER SERVICE - UNDERGROUND THERE ARE NO OVERHEAD UTILITIES PROPOSED FOR THIS PROJECT.
- PROPOSED ENTITLEMENTS:
- SITE DEVELOPMENT PERMIT AND COASTAL DEVELOPMENT PERMIT TO AMEND THE EXISTING ENTITLED DOCUMENTS LISTED BELOW:
- SITE DEVELOPMENT PERMIT NO. 151106 - SITE DEVELOPMENT PERMIT NO. 9829
- PLANNED DEVELOPMENT PERMIT NO. 10903 - COASTAL DEVELOPMENT PERMIT NO. 10911
- COASTAL DEVELOPMENT PERMIT NO. 9828

- UTILITY EASEMENTS TO BE QUITCLAIMED

 NEIGHBORHOOD DEVELOPMENT PERMIT TENTATIVE MAP

PARKING SUMMARY

PROJECT SITE SUMMARY MINIMUM STALLS PERMITTED PER 142.0530: 1,030 STALLS (2.1 SPACES PER 1,000 SF, EXCLUDING PARKING AREA) MAXIMUM STALLS PERMITTED PER 142.0530: 1,962 STALLS (4.0 SPACES / 1,000 SF, EXCLUDING PARKING AREA)

PARKING STRUCTURE 1

TOTAL STALLS PROVIDED:

STANDARD PARKING STALLS PROVIDED: ACCESSIBLE PARKING STALLS REQUIRED (2% OF STALLS PROVIDED): ACCESSIBLE PARKING STALLS PROVIDED VAN ACCESSIBLE PARKING STALLS REQUIRED* (1 PER 6 ADA STALLS):

VAN ACCESSIBLE PARKING STALLS PROVIDED*: TOTAL PARKING STALLS PROVIDED: 968 STALLS *INCLUDED IN ACCESSIBLE PARKING STALL COUNT

PROPOSED BUILDING SUMMARY

BUILDING 3	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	BUSINESS TYPE II-B YES
BUILDING 4	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	BUSINESS TYPE II-B YES
BUILDING 5	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	BUSINESS TYPE II-B YES
BUILDING 6	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	BUSINESS TYPE II-B YES
BUILDING 7	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	MERCANTILE TYPE V-B NO
BUILDING 8	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	MERCANTILE TYPE V-B NO
BUILDING 9	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	MERCANTILE TYPE V-B NO
BUILDING 10	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	MERCANTILE TYPE V-B NO
PARKING STRUCTURE 1	
OCCUPANCY CLASSIFICATION: TYPE OF CONSTRUCTION: SPRINKLERED:	STORAGE, S—2 TYPE II—B NO

DEVIATIONS

THE PROPOSED DEVELOPMENT IS REQUESTING THE FOLLOWING SETBACK DEVIATIONS FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) AND THE UCP CPOIZ-B, WHICH WILL BE PROCESSED THROUGH THE NDP.

- A DEVIATION FROM SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 131.0631, TABLE 131-06C, FOR THE REQUIRED REAR SETBACK WITHIN THE IP-1-1 ZONE. A 25-FOOT FRONT SETBACK IS REQUIRED, WHILE A SETBACK OF 15-FEET IS A DEVIATION FROM THE UNIVERSITY COMMUNITY PLAN COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ-B) FOR THE REQUIRED SETBACK FROM NORTH TORREY PINES ROAD. A 50-FOOT SETBACK IS REQUIRED, WHILE A VARIABLE SETBACK RANGING FROM 24-FEET TO 50-FEET IS PROVIDED
- THE PROPOSED DEVELOPMENT IS REQUESTING THE FOLLOWING DEVIATIONS FROM THE SAN DIEGO MUNICIPAL CODE (SDMC) WHICH WILL BE PROCESSED THROUGH THE NDP. - A DEVIATION FROM THE SAN DIEGO MUNICIPAL CODE SECTION 142.0560 (J) 1 TABLE 142-05M FOR THE MAXIMUM DRIVEWAY WIDTH ALLOWED ON NORTH TORREY PINES ROAD. A MAXIMUM 25' WIDE DRIVEWAY IS REQUIRED, WHILE A 30' DRIVEWAY IS

APPLICABLE CODES

DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES TO INCLUDE BUT NOT LIMITED TO THE MOST CURRENT VERSION OF FOLLOWING DOCUMENTS: 2019 CALIFORNIA BUILDING CODE

- 2019 CALIFORNIA ELECTRIC CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA ELEVATOR CODE • 2019 CALIFORNIA FIRE CODE
- CALIFORNIA BUILDING CODE, CHAPTER 11 AMERICANS WITH DISABILITIES ACT GUIDELINES, AS AMENDED, 28 CFR PART 36 AND 36 CFR 1911 ALL LOCAL CODES AND ORDINANCES ADOPTED BY THE CITY OF SAN DIEGO

ACCESSIBILITY REGULATIONS AS PRESCRIBED BY THE 2016

GENERAL NOTES

- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ANY NEW WATER AND SEWER SERVICE(S), IF REQUIRED, OUTSIDE OF ANY DRIVEWAY, AND THE DISCONNECTION AT THE MAIN OF THE EXISTING UNUSED WATER SERVICE ADJACENT TO THE PROJECT SITE, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER. . PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL APPLY FOR A PLUMBING PERMIT FOR THE INSTALLATION OF APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICE(S), ON EACH WATER SERVICE (DOMESTIC FIRE AND IRRIGATION). IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER. ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE
- FROM THE PROPERTY LINE TO ITS CONNECTION WITH THE PUBLIC SEWER MAIN. 4. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES. PRIOR TO THE ISSUANCE OF ANY CERTIFICATED OF OCCUPANCY, ALL PUBLIC WATER AND SEWER FACILITIES SHALL BE COMPLETE AND OPERATIONAL IN A

IN ADDITION, THE DEVELOPER SHALL SUBMIT CALCULATIONS, SATISFACTORY TO THE

DIRECTOR OF PUBLIC UTILITIES, FOR SIZING OF THE PROPOSED SEWER LATERAL

- MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY 6. THE OWNER/PERMITTEE SHALL DESIGN AND CONSTRUCT ALL PROPOSED PUBLIC WATER AND SEWER FACILITIES IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND CITY REGULATIONS, STANDARDS AND PRACTICES. 7. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A
- GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT 8. IT IS THE RESPONSIBILITY OF THE OWNER/PERMITTEE TO PROVIDE THE RIGHT-OF-WAY FREE AND CLEAR OF ALL ENCUMBRANCES AND PRIOR EASEMENTS. THE APPLICANT MUST SECURE "SUBORDINATION AGREEMENTS" FOR MINOR DISTRIBUTION FACILITIES AND/OR "JOINT-USE AGREEMENTS" FOR MAJOR
- TRANSMISSION FACILITIES 9. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT FOR THE PRIVATE PAVERS, PRIVATE DRAINAGE PIPES, LANDSCAPE AND IRRIGATION IN THE EL CAMINO REAL RIGHT-OF-WAY 10. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE
- SHALL ASSURE, BY PERMIT AND BOND, THE CONSTRUCTION OF A CURRENT CITY STANDARD, CURB RAMP, DRIVEWAYS, SIDEWALK, CURB AND GUTTER, ADJACENT TO THE SITE ON EL CAMINO REAL AND TOWNSGATE DRIVE, SATISFACTORY TO THE CITY 11. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, PER THE CITY OF SAN DIEGO
- STREET DESIGN MANUAL-STREET LIGHT STANDARDS, AND COUNCIL POLICY 200-18, THE OWNER/PERMITTEE SHALL ASSURE, BY PERMIT AND BOND TO INSTALL NEW STREET LIGHTS ADJACENT TO THE SITE ON EL CAMINO REAL AND TOWNSGATE DRIVE, SATISFACTORY TO THE CITY ENGINEER
- 12. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN A BONDED GRADING PERMIT FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF
- SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER 13. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER
- 14. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR
- 15. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE 16. DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH ALL STORM WATER CONSTRUCTION REQUIREMENTS OF THE STATE CONSTRUCTION GENERAL PERMIT,
- ORDER NO. 2009-0009DWQ, OR SUBSEQUENT ORDER, AND THE MUNICIPAL STORM WATER PERMIT, ORDER NO. R9-2013-0001, OR SUBSEQUENT ORDER. IN ACCORDANCE WITH ORDER NO. 2009-0009DWQ, OR SUBSEQUENT ORDER, A RISK
- LEVEL DETERMINATION SHALL BE CALCULATED FOR THE SITE AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED CONCURRENTLY WITH THE COMMENCEMENT OF GRADING ACTIVITIES 17. PRIOR TO ISSUANCE OF A GRADING OR A CONSTRUCTION PERMIT, A COPY OF THE NOTICE OF INTENT (NOI) WITH A VALID WASTE DISCHARGE ID NUMBER (WDID#) SHALL BE SUBMITTED TO THE CITY OF SAN DIEGO AS A PROOF OF ENROLLMENT
- UNDER THE CONSTRUCTION GENERAL PERMIT. WHEN OWNERSHIP OF THE ENTIRE SITE OR PORTIONS OF THE SITE CHANGES PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT), A REVISED NOI SHALL BE SUBMITTED ELECTRONICALLY TO THE STATE WATER RESOURCES BOARD IN ACCORDANCE WITH THE PROVISIONS AS SET FORTH IN SECTION II.C OF ORDER NO. 2009-0009-DWQ AND A COPY SHALL BE SUBMITTED TO THE CITY
- 18. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO AN AGREEMENT TO INDEMNIFY, PROTECT AND HOLD HARMLESS THE CITY, ITS OFFICIALS AND EMPLOYEES FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OR ACTION, LIABILITY OR LOSS ARISING OUT OF SURFACE DRAINAGE ENTERING INTO THE PROPERTY FROM THE RIGHT-OF-WAY

ABBREVIATIONS

AB AC BB CO CUP DG DWG DWY ELEC. EX OR EXIST FC FG FGBW FBFW FSFW FL FS GB HORIZ IE L/S MAX. MH MIN.	AGGREGATE BASE ASPHALT CONCRETE BROOKS BOX CLEANOUT CENTRAL UTILITY PLANT DECOMPOSED GRANITE DRAWING DRIVEWAY ELECTRICAL EXISTING FACE OF CURB FINISH GRADE FINISH GRADE FACE OF WALL FINISH SURFACE FACE OF WALL FLOW LINE FINISH SURFACE/FIRE SERVICE GRADE BREAK HORIZONTAL INVERT ELEVATION LANDSCAPE MAXIMUM MANHOLE MINIMUM	MISC. MOD NTS PA PIP PL PVT. PROP ROW,R/W SWR SD SDRSD TB TC TCO TF TG TP TW TYP. VERT WTR	MISCELLANEOUS MODIFIED NOT TO SCALE PLANTER AREA PROTECT IN PLACE PROPERTY LINE PRIVATE PROPOSED RIGHT—OF—WAY SEWER STORM DRAIN SAN DIEGO REGIONAL STANDARD DRAWINGS THRUST BLOCK TOP OF CURB TOP OF CLEANOUT TOP OF FOOTING TOP OF GRATE TOP OF WALL TYPICAL VERTICAL WATER
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GFA PLANS - NORTH CAMPUS

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AE104 B3 LEVEL 3 - B4 & B5 LEVEL 2 - FLOOR PLAN

AE108 PARKING STRUCTURE - FLOOR PLAN - LEVEL 1

AE109 PARKING STRUCTURE - FLOOR PLAN - LEVEL 2

AE110 PARKING STRUCTURE - FLOOR PLAN - LEVEL 3

AE111 PARKING STRUCTURE - FLOOR PLAN - LEVEL 4

AE112 PARKING STRUCTURE - FLOOR PLAN - ROOF

AE201 EXTERIOR ELEVATIONS - SCIENCE QUAD

ARKING STRUCTURE - FLOOR PLAN - 2ND

PARKING STRUCTURE - FLOOR PLAN - BASEMENT

EXTERIOR ELEVATIONS - PS1 & AMENITY VILLAGE

BUILDING SECTIONS - EAST WEST

BUILDING SECTIONS - NORTH SOUTH

BUILDING SECTIONS - BLDG P1 & BLDG B6

TITLE PLAN & GENERAL NOTES

DEMOLITION PLAN

EXISTING LOTS AND EASEMENTS

PROPOSED LOTS

CALGREEN CHECKLIST

CALGREEN CHECKLIST

AE105 B3, B4, &B5 ROOF PLAN

AE113 | CENTRAL PLANT

1/4/2022

1/4/2022

1/4/2022

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1/4/2022

5/26/2022 C060

1/4/2022

TM-3

GI015

GI016

PLUMBING AREA COUNT - SOUTH CAMPUS

PLUMBING AREA COUNT - NORTH CAMPUS

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OF 60

OF 60

OF 60

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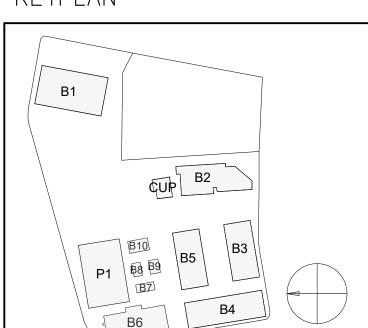
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Issue Date 5/26/2022 REVISIONS MARK DATE DESCRIPTION

NUMBER

SHEET NAME

KEYPLAN



TITLE SHEET SHEET NUMBER C002

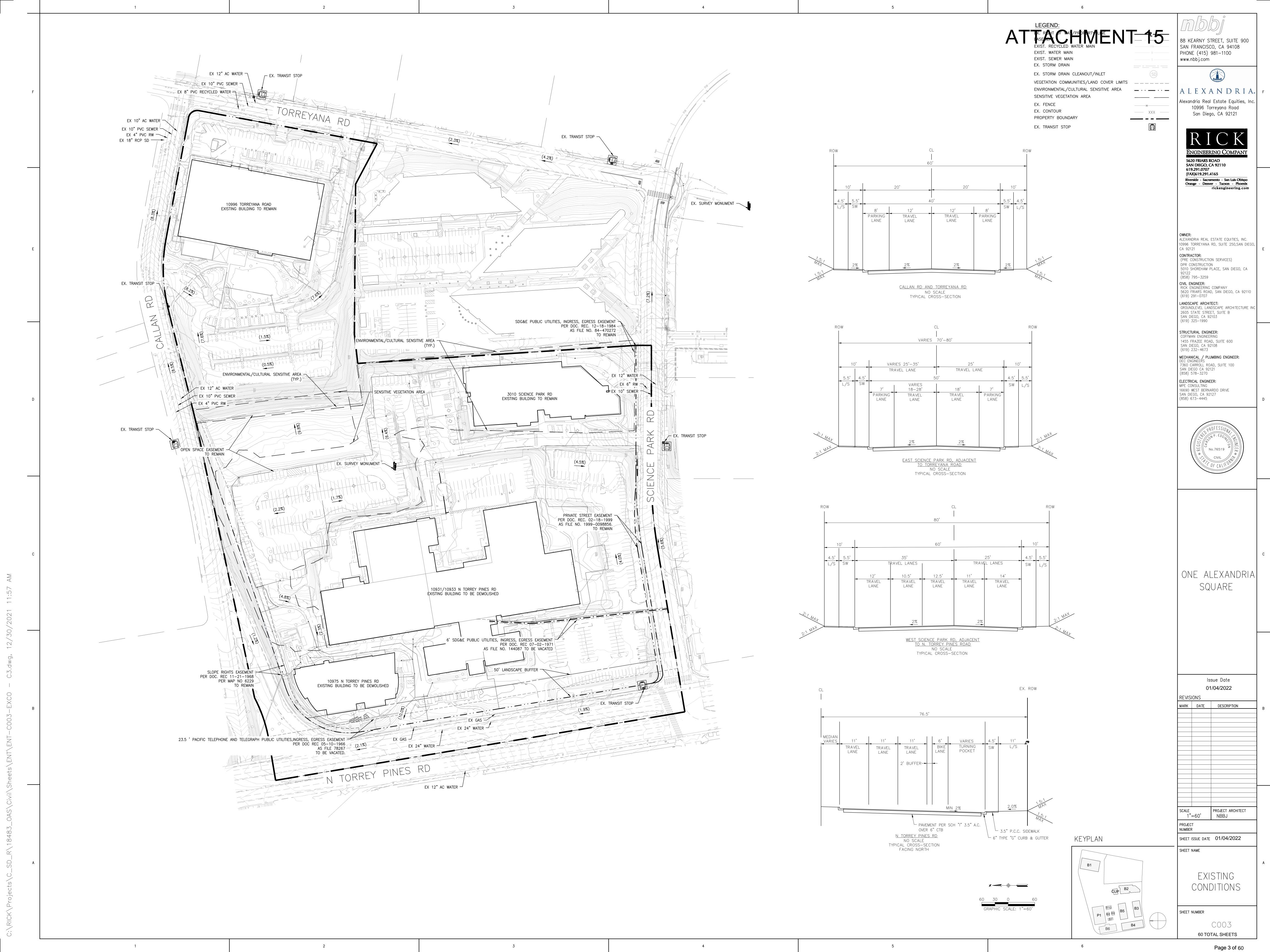
PROJECT ARCHITECT

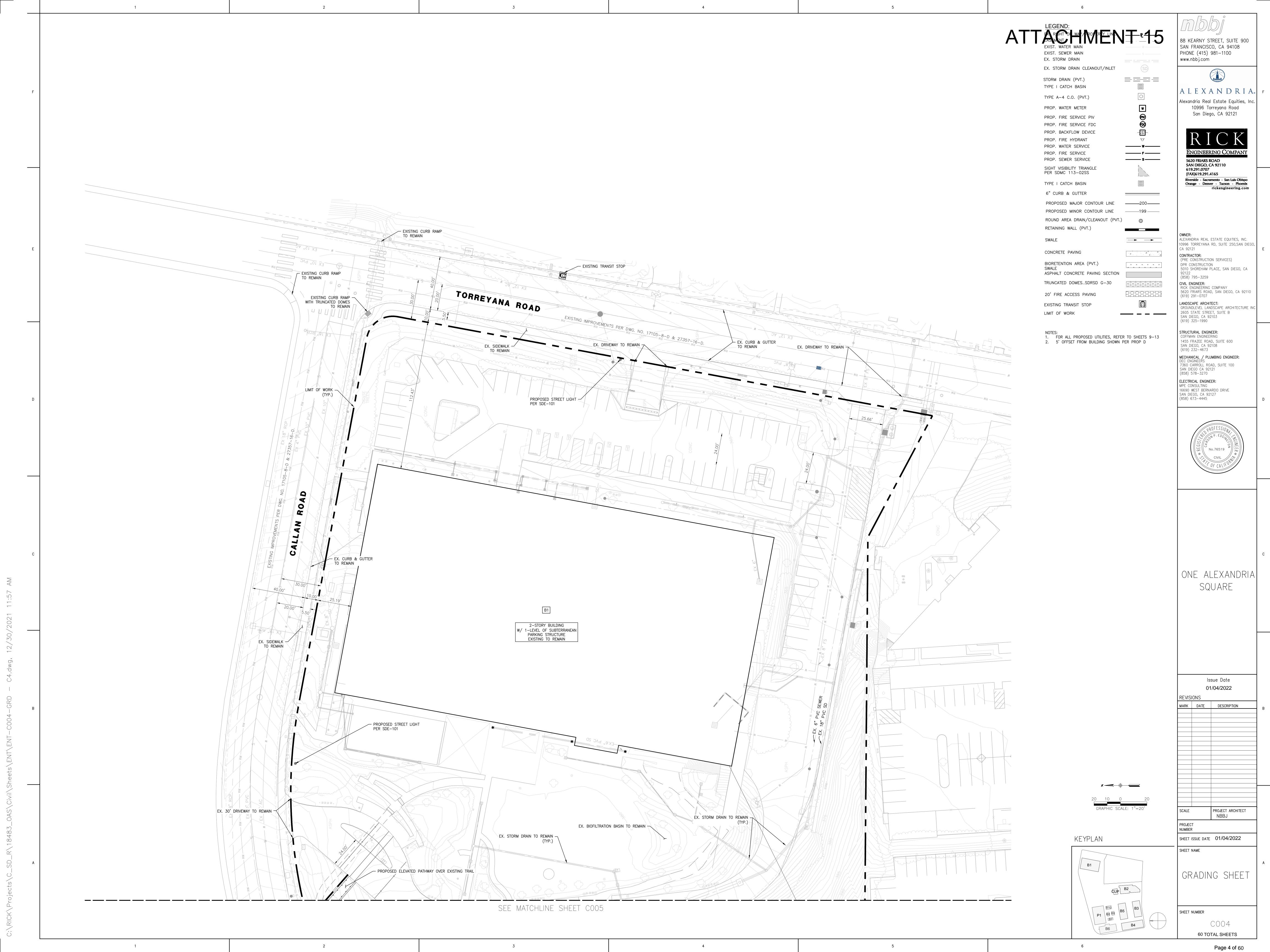
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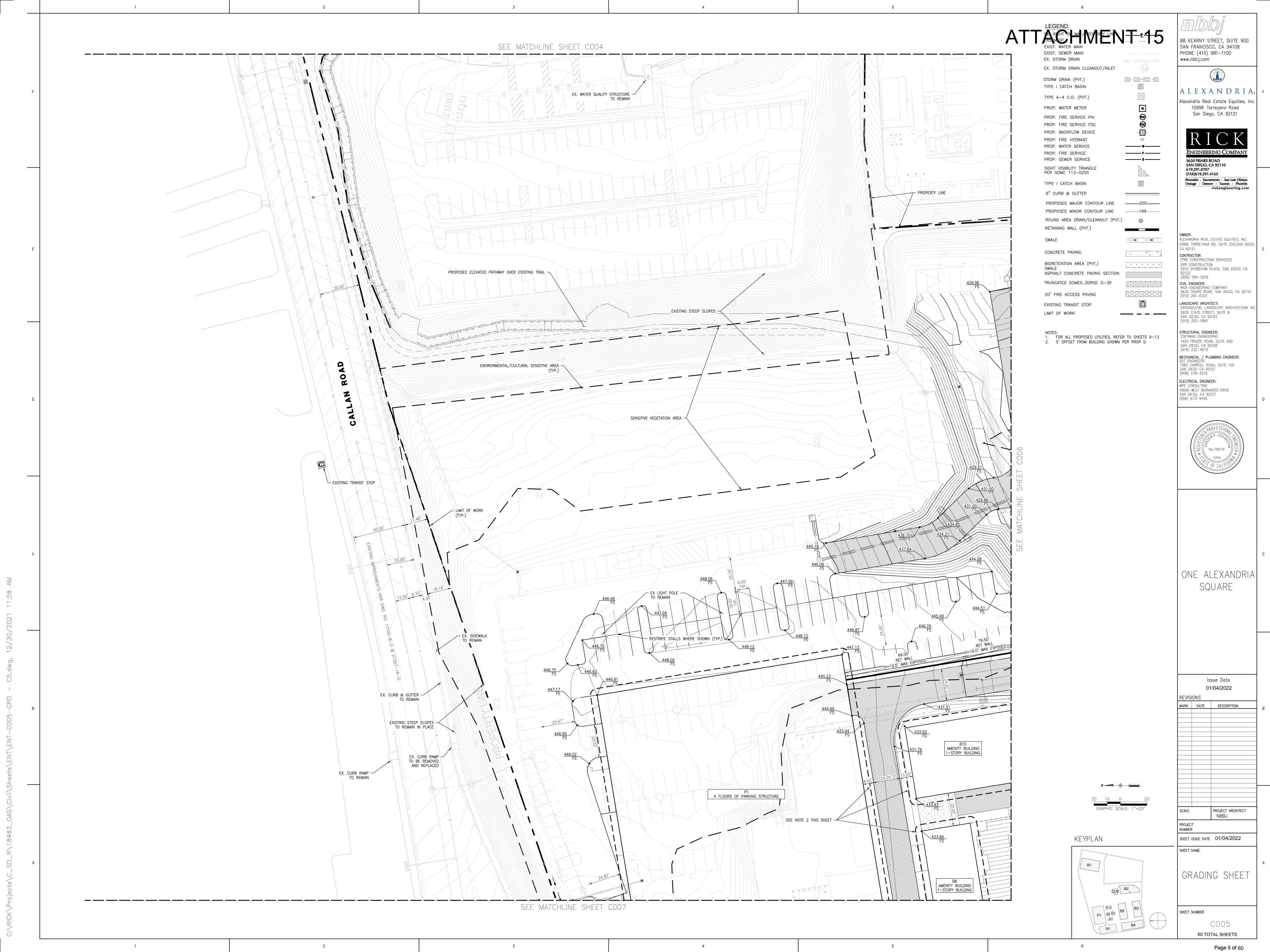
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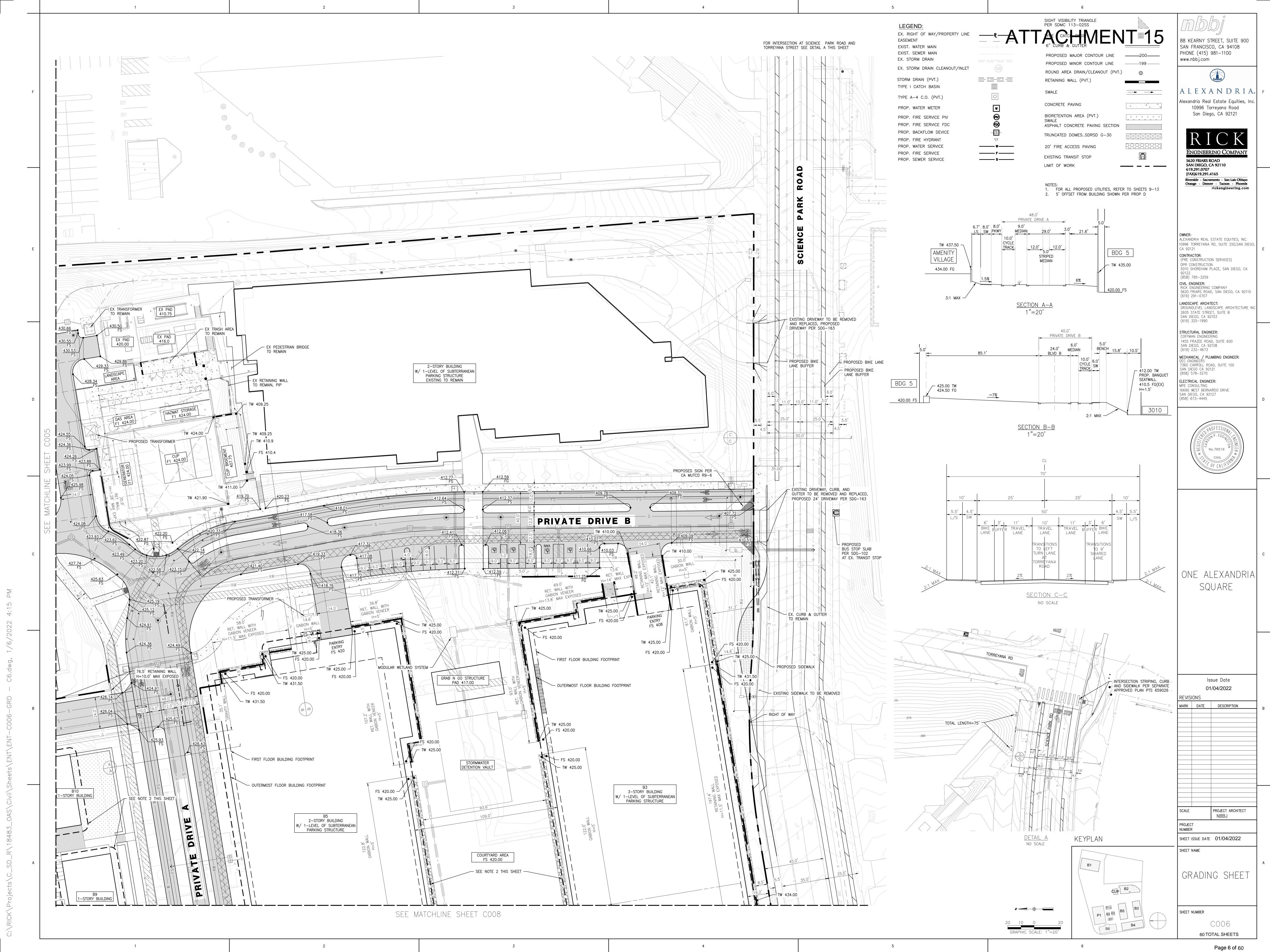
60 TOTAL SHEETS

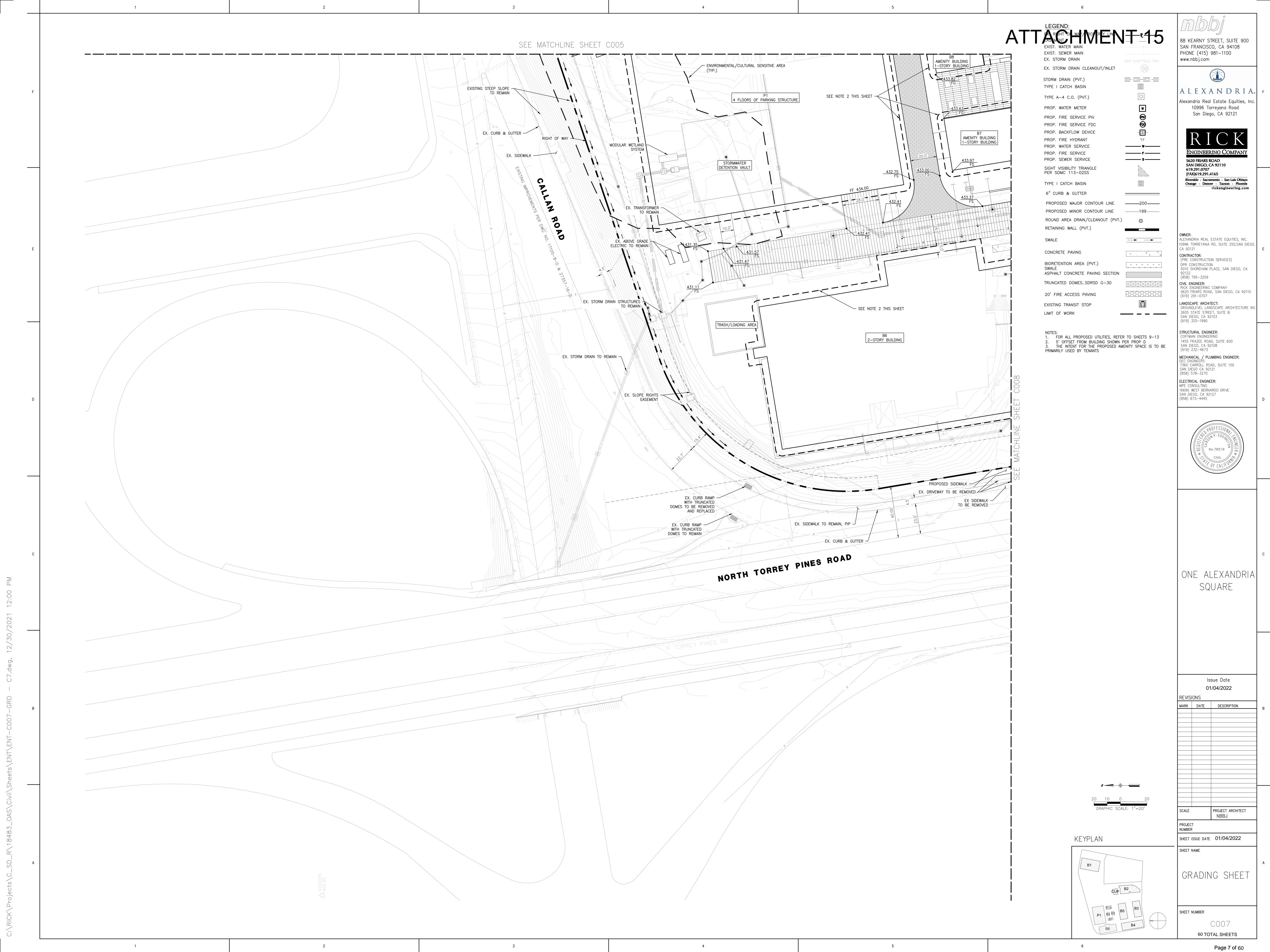
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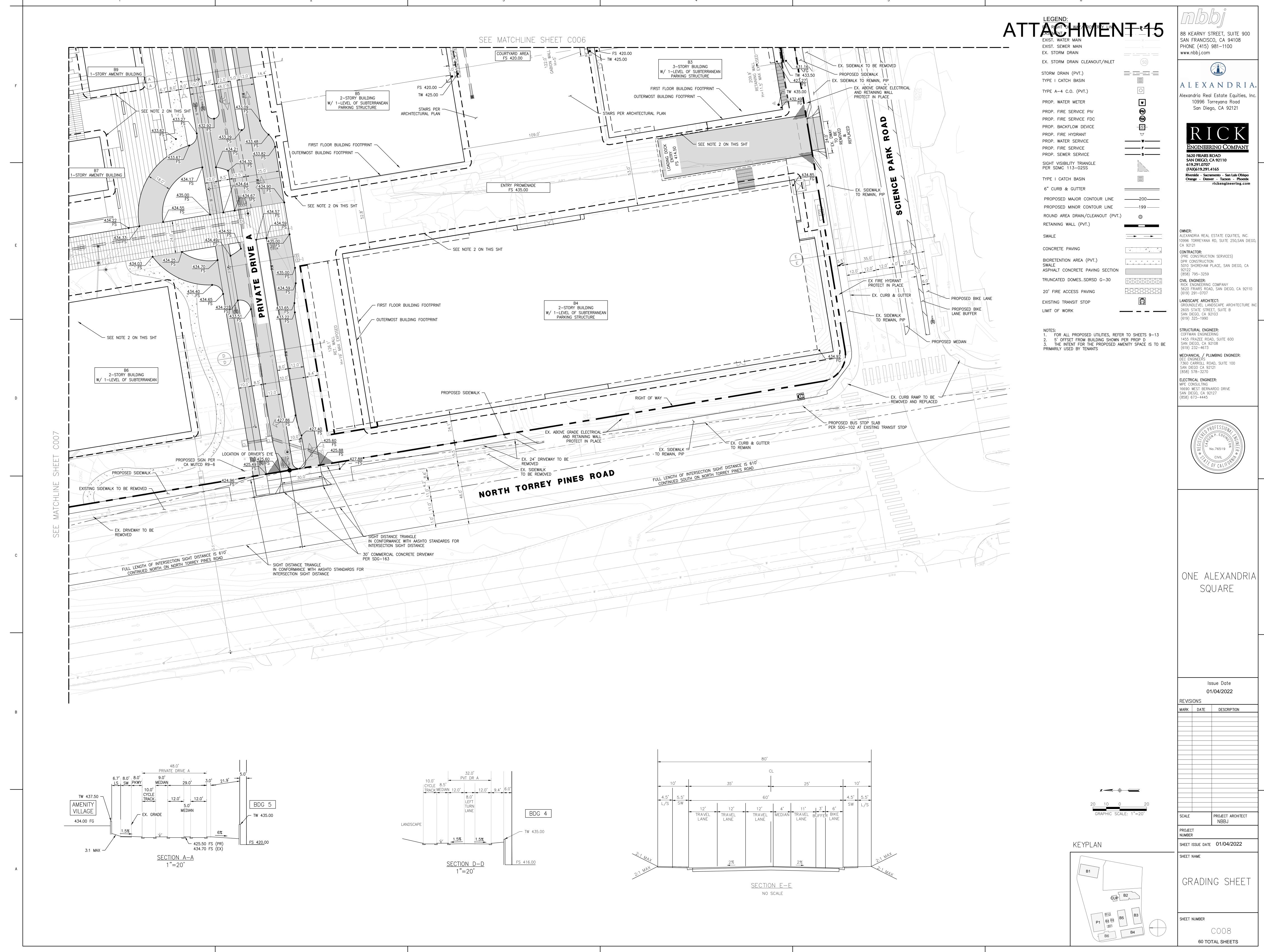




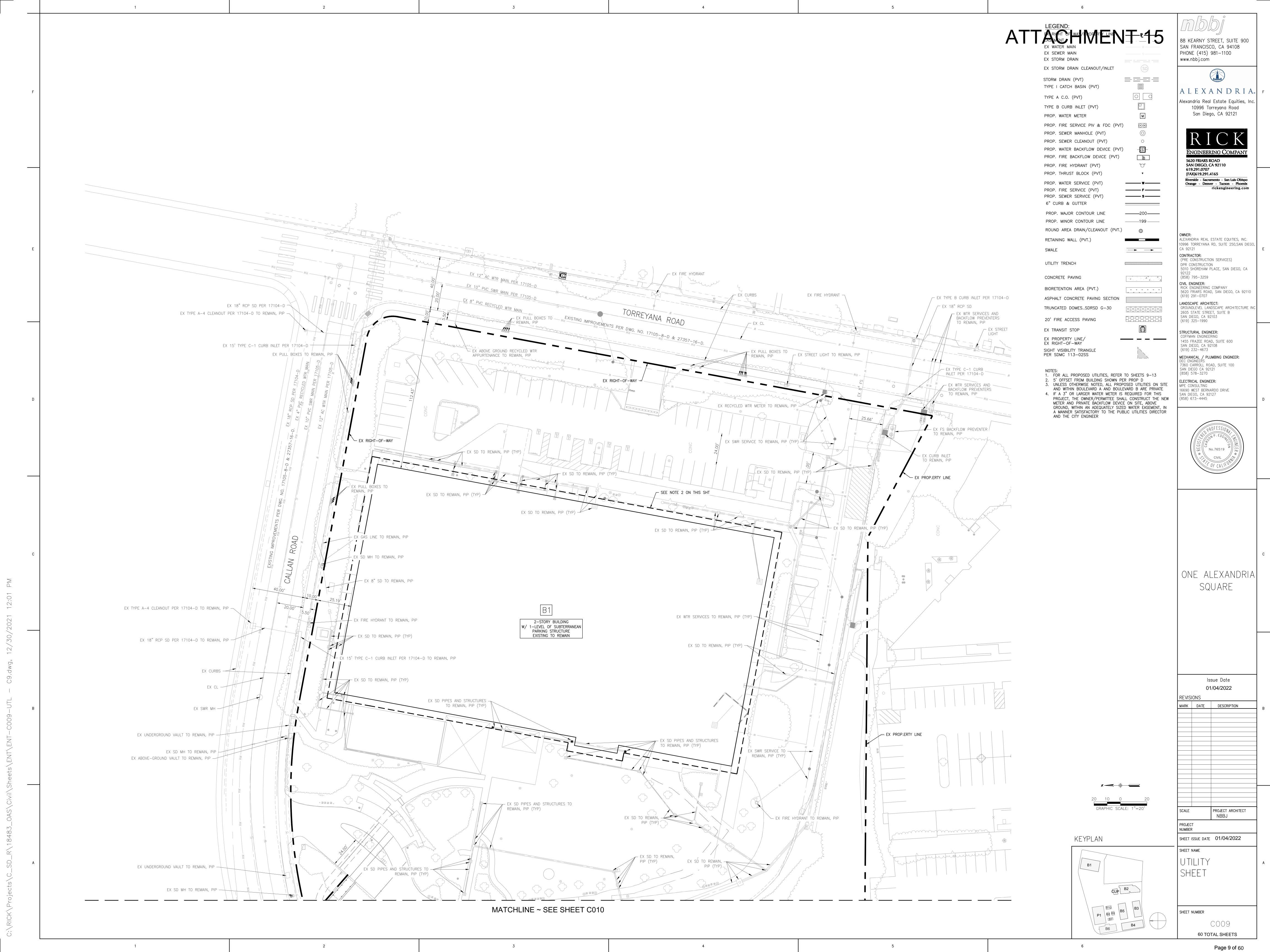


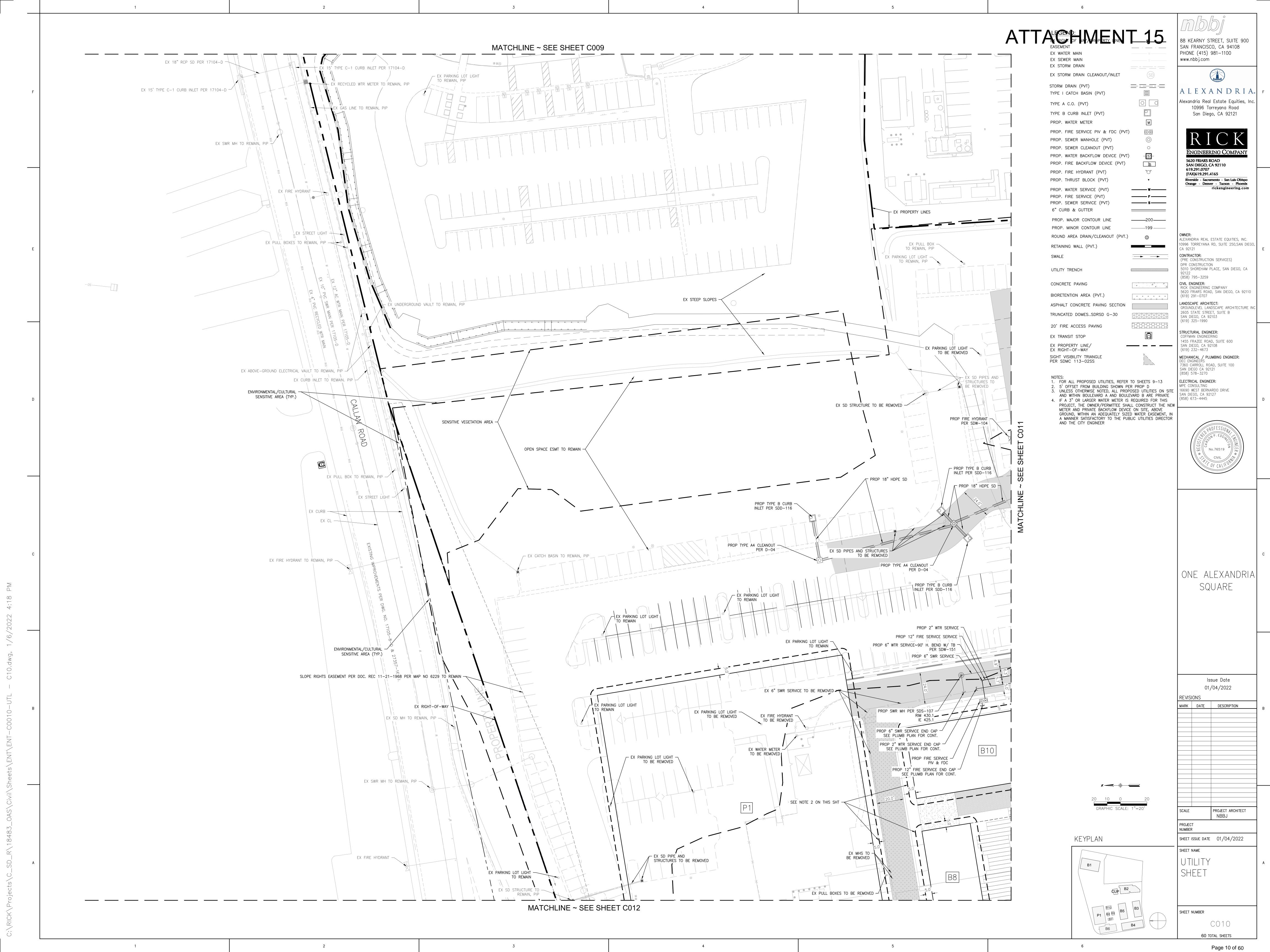


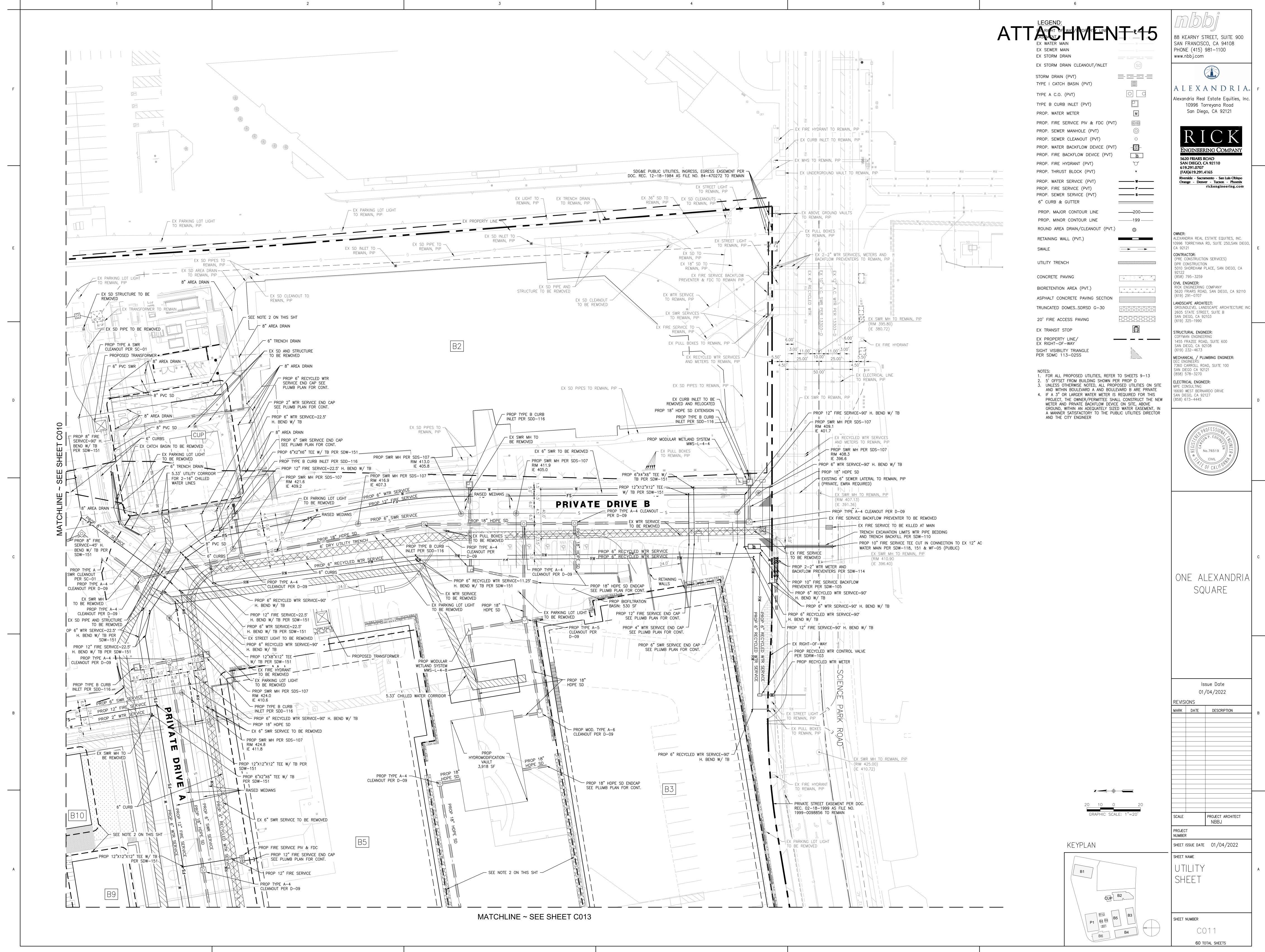




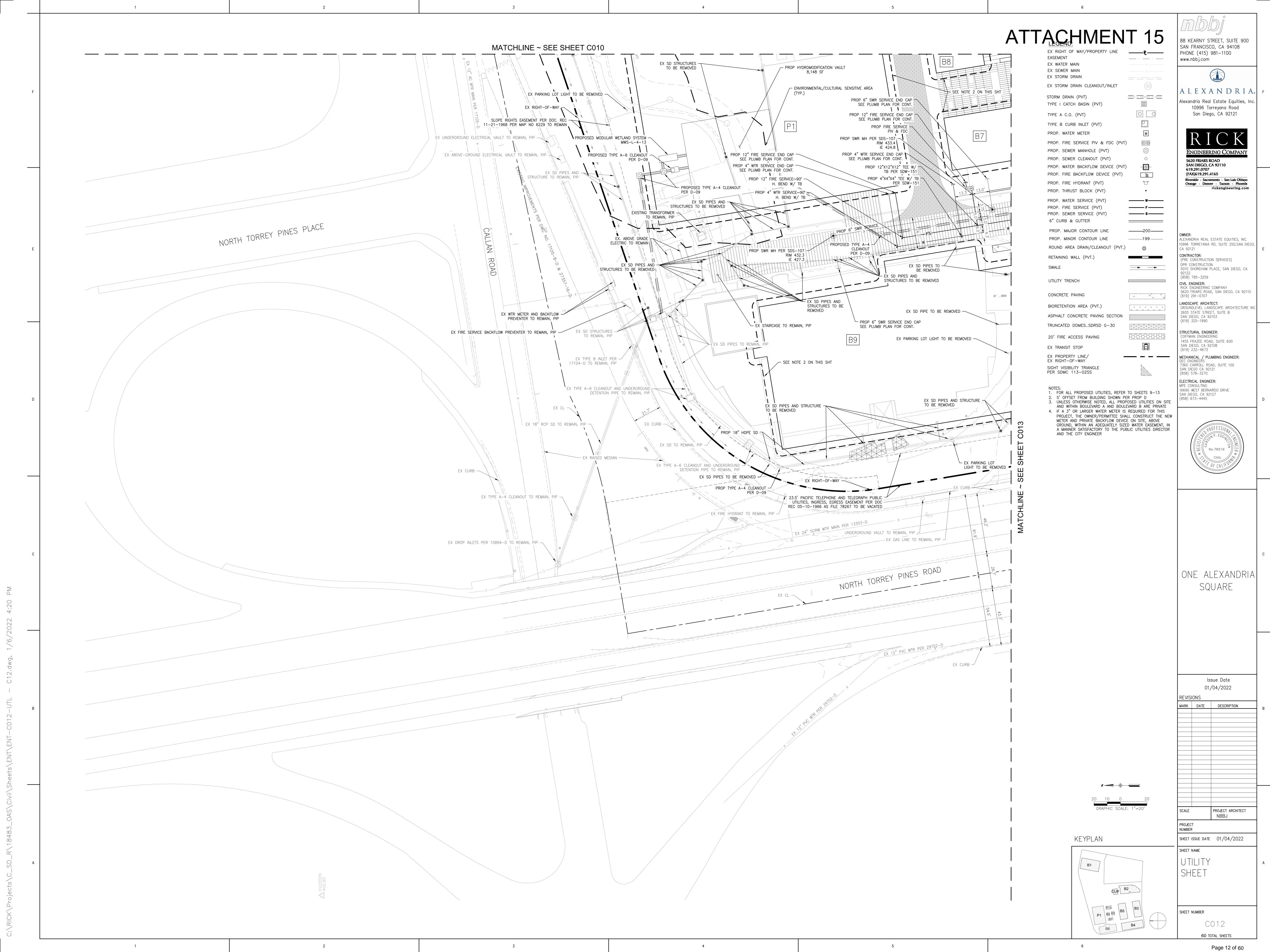
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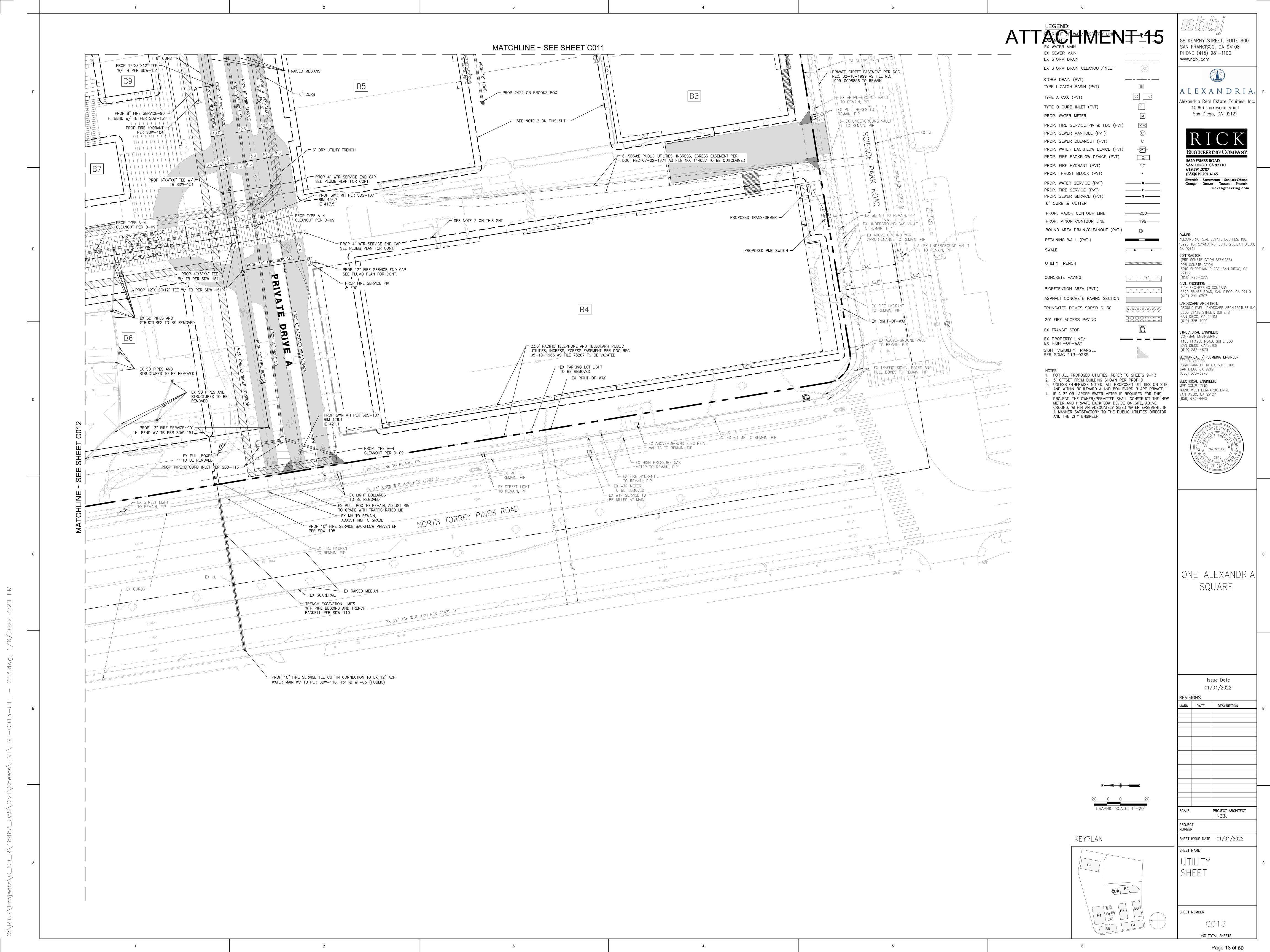


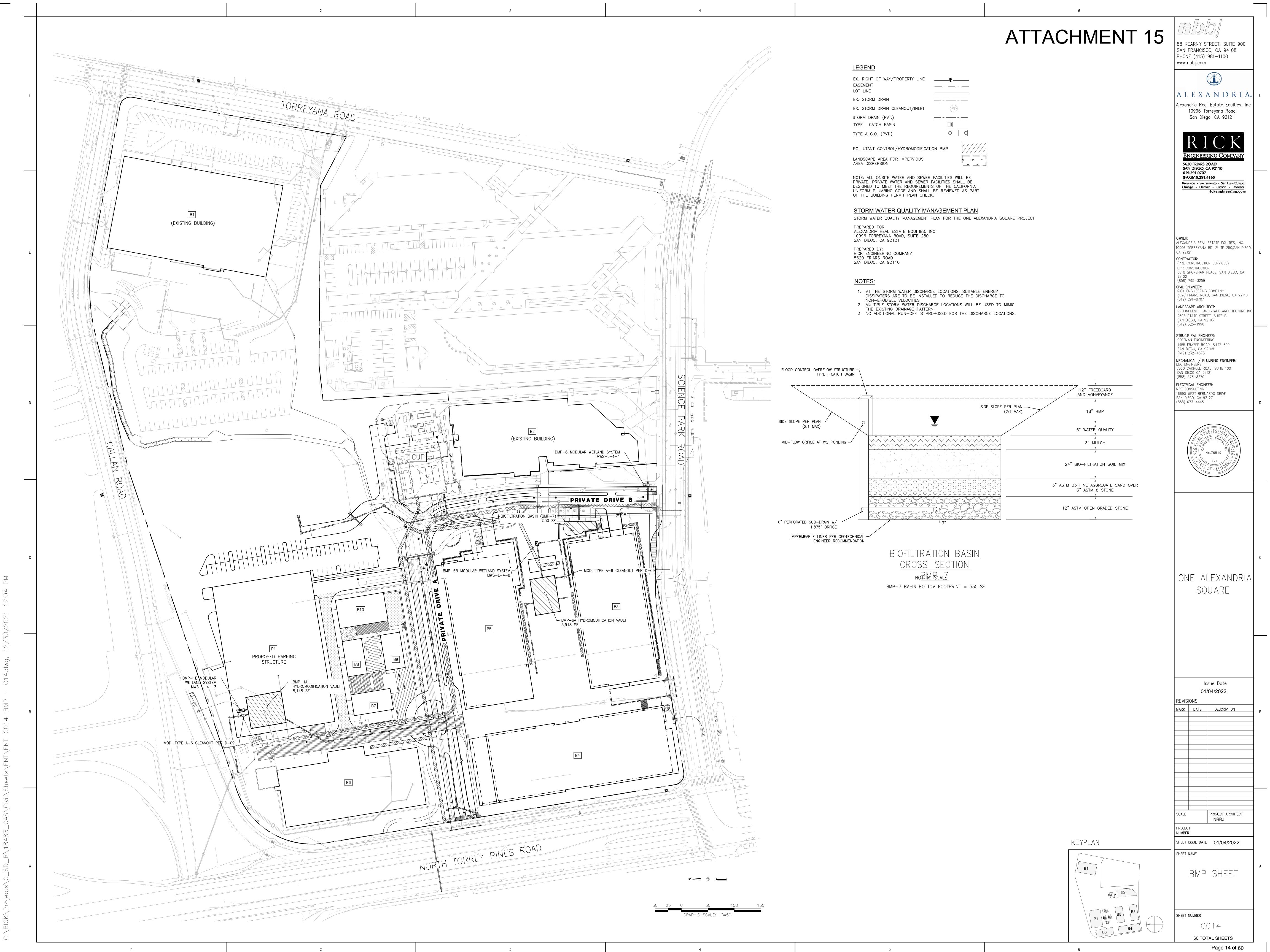




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BIORETENTION SOIL MIX SPECIFICATION CONTINUED

ANALYSIS FOR PH, SALINITY AND NUTRIENT LEVELS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ACCEPTANCE. NUTRIENT TESTS SHOULD INCLUDE THE TESTING LABORATORY RECOMMENDATIONS FOR SUPPLEMENTAL ADDITIONS TO THE SOIL AS CALCULATED BY THE AMOUNT OF MATERIAL TO BE ADDED PER VOLUME OF SOIL FOR THE TYPE OF PLANTS TO BE GROWN IN THE SOIL.

PROPERTYMETHODREQUIREMENTPH, UNITSSATURATION PASTE 6.0 TO 8.0EC, DS/MSATURATION EXTRACTO.5 TO 2.5BORON, PPMSATURATION EXTRACTLESS THAN 2.5CHLORIDE, PPMSATURATION EXTRACTLESS THAN 150SODIUM ADSORPTION RATIO LESS THAN 3.0CARBON TO NITROGEN RATIO 10 TO 200RGANIC MATTER, % OF DRY WEIGHTLOSS ON IGNITION1.5 TO 5EXTRACTABLE

TO 200IRON, PPM 24 TO 35MANGANESE, PPM 0.6 TO 6ZINC, PPM 1 TO 8COPPER, PPM 0.3 TO 5MAGNESIUM, PPM 50 TO 150SODIUM, PPM 0 TO 100SULFUR, PPM 25 TO 500MOLYBDENUM, PPM 0.1 TO 2ALUMINUM, PPM LESS THAN 3.0 BIORETENTION SOIL SHALL BE ANALYZED BY USING #200, 1/4 INCH, 1/2 INCH, AND 1 INCH SIEVES (ASTM D 422 OR AS APPROVED BY MUNICIPALITY), AND MEET THE FOLLOWING GRADATION:

DRY WEIGHT BASISAMMONIUM BICARBONATE/DPTA EXTRACTION PHOSPHORUS, PPM 10 TO 40POTASSIUM, PPM 100

SIEVE SIZE PERCENT PASSING (BY WEIGHT) 1 INCH 99-100 1/2 INCH 90-100 1/4 INCH 40-90 LESS THAN 5% NO. 200

SCHEDULE 2 - C. RAKE BIORETENTION SOIL AS NEEDED TO LEVEL OUT.

3.05 BIORETENTION SOIL PLACEMENT

SCHEDULE 0 - A. IMPORTED BACKFILL MATERIAL FOR THE BIORETENTION ZONES SHOULD BE PLACED IN A RELATIVELY LOOSE CONDITION, NO ROLLING OR OTHER HEAVY EQUIPMENT, TO PROMOTE THE PLANNED INFILTRATION OF WATER, THROUGH THE BIORETENTION SOIL MIX LAYER. SCHEDULE 1 - B. BIORETENTION SOIL SHALL BE INSTALLED IN SIX (6) TO TWELVE (12) INCH LIFTS AND LIGHTLY WATERED TO PROVIDE SETTLEMENT AND NATURAL COMPACTION. NO MECHANICAL COMPACTION IS ALLOWED. AFTER NATURAL COMPACTION HAS BEEN COMPLETED, ADD, IF NEEDED, ADDITIONAL BIORETENTION SOIL TO PROPOSED FINISH GRADE AS INDICATED ON THE PLANS.

D. VEHICULAR TRAFFIC, CONSTRUCTION EQUIPMENT SHALL NOT DRIVE—ON, MOVE ONTO, OR DISTURB THE BIORETENTION SOIL ONCE PLACED AND WATER COMPACTED. SCHEDULE 3 - E. THE GEOTECHNICAL ENGINEER SHALL PERFORM ONE PERCOLATION TEST PER BIORETENTION BASIN/SWALE IN ACCORDANCE WITH THE COUNTY OF SAN DIEGO DEPARTMENT OF ENVIRONMENT HEALTH PERCOLATION TESTING CRITERIA OR OTHER APPROVED METHODS "IN SITU" PRIOR TO PLANTING THE BIORETENTION AREA (THE ENGINEER OF WORK MAY REQUIRE MORE THAN ONE "IN SITU" TEST DEPENDING ON SIZE OF BIORETENTION AREA). "IN SITU" PERCOLATION TEST(S) SHALL HAVE AN INITIAL RATE OF AT LEAST 8-10 INCHES PER HOUR TO INSURE A LONG TERM INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR. IF THE PERCOLATION RATE DOES NOT MEET AT LEAST 8-10 INCHES PER HOUR, THE CONTRACTOR SHALL PROVIDE AND SUBMIT CORRECTIVE ACTION TO THE GEOTECHNICAL ENGINEER FOR APPROVAL, SUCH AS ROTOTILLING OR HAND CULTIVATION TO IMPROVE THE PERCOLATION RATE. ONCE THE

IMPROVE THE PERCOLATION RATE AND RE-TEST AT HIS EXPENSE. F. EROSION AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION SHALL BE EMPLOYED TO PROTECT THE LONG-TERM FUNCTIONALITY OF THE BIORETENTION BASIN/SWALE. THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR THIS REASON:

APPROVED CORRECTIONS ARE DETERMINED, THE CONTRACTOR WILL PERFORM THE REQUIRED CORRECTIVE ACTION TO

1. PROVIDE EROSION CONTROL IN THE CONTRIBUTING DRAINAGE AREAS TO THE FACILITY AND STABILIZE UPSLOPE AREAS. 2. FACILITIES SHOULD NOT BE USED AS SEDIMENT CONTROL FACILITIES, UNLESS INSTALLATION OF ALL BIORETENTION-RELATED MATERIALS ARE WITHHELD TOWARDS THE END OF CONSTRUCTION ALLOWING THE TEMPORARY USE OF THE LOCATION AS A SEDIMENT CONTROL FACILITY, AND APPROPRIATE EXCAVATION OF SEDIMENT IS PROVIDED PRIOR TO INSTALLATION OF BIORETENTION MATERIALS.

G. A TWO-INCH LAYER OF BARK MULCH SHALL BE INSTALLED ON THE SURFACE OF THE BIORETENTION SOIL IF PLANTING OF CONTAINER STOCK IS INSTALLED AND IF NO HYDROSEEDING IN TO BE INSTALLED TO PREVENT FOOT COMPACTION OF THE BIORETENTION SOIL. BARK MULCH MAY BE USED ON THE SIDE SLOPES OF BASINS/SWALES ABOVE THE MAXIMUM WATER LINE. IF SPECIFIED BY THE LANDSCAPE ARCHITECT. BARK MULCH SHALL BE A 3-INCH MINUS BLEND CREATED FROM CLEAN LANDSCAPE TRIMMINGS. BARK MULCH SHALL BE A WELL-AGED, DARK-COLORED PRODUCT RECOMMENDED FOR MULCHING IN SHRUB BEDS.

H. IF HYDROSEEDING IS TO BE INSTALLED ON THE SURFACE OF THE BIORETENTION SOIL, NO STABILIZED MATRIX SHALL BE USED IN THE HYDROSEED COMPONENTS OR MIX.

WATER QUALITY TECHNICAL REPORT

WATER QUALITY TECHNICAL REPORT FOR ONE ALEXANDRIA SQUARE PROJECT

PREPARED FOR: ALEXANDRIA REAL ESTATE EQUITIES, INC. 10996 TORREYANA ROAD, SUITE 250 SAN DIEGO, CA 92121

PREPARED BY: RICK ENGINEERING COMPANY 5620 FRIARS ROAD SAN DIEGO, CA 92110

- 1. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATERS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES 2. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE
- EXISTING DRAINAGE PATTERN. 3. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.

BIORETENTION SOIL SPECIFICATION

2.4. BIORETENTION SOIL BIORETENTION SOIL SHALL ACHIEVE AN INITIAL INFILTRATION RATE OF AT LEAST 8 INCH PER HOUR NOR MORE THAN 20 INCHES PER HOUR "IN SITU" AND A LONG-TERM, IN-PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR. BIORETENTION SOIL SHALL ALSO SUPPORT VIGOROUS PLANT GROWTH. BIORETENTION SOIL SHALL BE A MIXTURE OF FINE SAND, AND COMPOST, MEASURED ON A VOLUME BASIS:

65% SAND 20% SANDY LOAM 15% COMPOST

A. SUBMITTALS

PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DATA AND INSTALLATION INSTRUCTIONS. INCLUDE REQUIRED SUBSTRATE PREPARATION, LIST OF MATERIALS, APPLICATION RATE/TESTING AND PERCOLATION RATES. CERTIFICATIONS: MANUFACTURER SHALL SUBMIT A LETTER OF CERTIFICATION THAT THE PRODUCTS MEET OR EXCEEDS ALL PHYSICAL PROPERTY, ENDURANCE, PERFORMANCE AND PACKAGING REQUIREMENTS. SUBMITTALS FOR BIORETENTION SOIL: TESTS MUST BE CONDUCTED WITHIN 120 DAYS PRIOR TO THE DELIVERY DATE OF THE BIORETENTION SOIL TO THE PROJECT SITE. BATCH-SPECIFIC TEST RESULTS AND CERTIFICATION WILL BE REQUIRED FOR PROJECTS INSTALLING MORE THAN 100 CUBIC YARDS OF BIORETENTION SOIL.

THE CONTRACTOR MUST SUBMIT THE FOLLOWING FOR APPROVAL:

1. A SAMPLE OF MIXED BIORETENTION SOIL. 2. GRAIN SIZE ANALYSIS RESULTS OF THE SAND COMPONENT PERFORMED IN ACCORDANCE WITH ASTM D 422, STANDARD TEST METHOD FOR PARTICLE SIZE ANALYSIS OF SOILS. 3. GRAIN SIZE ANALYSIS RESULTS OF THE SANDY LOAM COMPONENT PERFORMED IN ACCORDANCE WITH ASTM D 422, STANDARD TEST METHOD FOR PARTICLE SIZE ANALYSIS OF SOILS.

4. GRAIN SIZE ANALYSIS RESULTS OF COMPOST COMPONENT PERFORMED IN ACCORDANCE WITH ASTM D 422, STANDARD TEST METHOD FOR PARTICLE SIZE ANALYSIS OF SOILS. 5. AGRICULTURAL SOIL ANALYSIS OF RESULTS FOR THE BIORETENTION SOIL AS SPECIFIED IN SECTION 2.03 E 6. PROVIDE THE FOLLOWING INFORMATION ABOUT THE TESTING LABORATORY(IES) NAME OF LABORATORY(IES) INCLUDING a) CONTACT PERSON(S)

b) ADDRESS(ES) c) PHONE CONTACT(S) d) E-MAIL ADDRESS(ES)

B. SAND SHALL BE FREE OF WOOD, WASTE, COATING SUCH AS CLAY, STONE DUST, CARBONATE, ETC., OR ANY OTHER DELETERIOUS MATERIAL. ALL AGGREGATE PASSING THE NO. 200 SIEVE SIZE SHALL BE NON-PLASTIC. SAND FOR BIORETENTION SOIL SHALL BE ANALYZED BY USING #200, #100, #40, #30, #16. #8, #4, AND 3/8 INCH SIEVES (ASTM D 422 OR AS APPROVED BY MUNICIPALITY), AND MEET THE FOLLOWING GRADATION:

PERCENT PASSING (BY WEIGHT) 90-100 NO. 8 70-100 NO. 16 40-95 15-70 5-55 NO. 100 0-15 NO. 200

NOTE: ALL SANDS SHALL CONSIST OF NATURAL SAND, MANUFACTURED SAND, OR A COMBINATION THEREOF.

C. SANDY LOAM FOR BIORETENTION SOIL SHALL BE FREE OF WOOD, WASTE, COATING SUCH AS STONE DUST, CARBONATE, ETC., OR ANY OTHER DELETERIOUS MATERIAL. ALL AGGREGATE PASSING THE NO. 200 SIEVE SIZE SHALL BE NON-PLASTIC. SANDY LOAM SOIL SHOULD COMPLY WITH THE FOLLOWING SPECIFICATIONS ON USDA SOIL TEXTURAL CLASSIFICATION SCHEME

a. 50-74% SAND b. 11-48% SILT c. 2-15% CLAY

NOTE: ALL SANDY LOAM SHALL CONSIST OF NATURAL SAND, MANUFACTURED SAND OR A COMBINATION THEREOF.

D. COMPOST FOR BIORETENTION SOIL SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE DERIVED FROM WASTE MATERIALS INCLUDING YARD DEBRIS, WOOD WASTES OR OTHER ORGANIC MATERIALS. COMPOST SHALL HAVE A DARK BROWN COLOR AND A SOIL LIKE ODOR. COMPOST EXHIBITING A SOUR OR PUTRID SMELL, CONTAINING RECOGNIZABLE GRASS OR LEAVES. OR IS HOT (120F) UPON DELIVERY OR REWETTING IS NOT ACCEPTABLE. COMPOST SHALL BE PRODUCED AT A FACILITY INSPECTED AND REGULATED BY THE LOCAL ENFORCEMENT AGENCY FOR CALRECYCLE. THE PAST 3 INSPECTION REPORTS SHALL BE SUBMITTED VERIFYING COMPLIANCE WITH TITLE14 REQUIREMENTS OF THE PROCESS TO FURTHER REDUCE PATHOGENS (PFRP), FECAL COLIFORM AND SALMONELLA TESTING AND PATHOGEN AND EPA, 40 CFR 503

COMPOSITE QUALITY ANALYSIS:

REGULATIONS.

PROPERTYMETHODREQUIREMENTPH, UNITSSATURATION PASTE6 TO 8.5EC, DS/MSATURATION EXTRACTO TO 10BORON, PPMSATURATION EXTRACTLESS THAN 2.5MOISTURE CONTENT, %GRAVIMETRIC30 TO 60BULK DENSITY, LBS/CUBIC YARD 500 TO 1100ORGANIC MATTER, % OF DRY WIEGHTLOSS ON IGNITION35% TO 75%CARBON TO NITROGEN RATIO 15:1 TO 25:1MATURITYSOLVITA5 OR ABOVESTABILITYSOLVITA5 OR ABOVEPARTICLE SIZESIEVE ANALYSIS PASS 1/2 INCH SIEVE ≥80%PASS #200 SIEVE MAX 5%503C METALSTITLE 14 ARSENIC (AS) 20CADMIUM (CD) 15CHROMIUM (CR) 100COPPER (CU) 150LEAD (PB) 300MERCURY (HG) 10NICKEL (NI) 100SELENIUM (SE) 30ZINC (ZN) 300PATHOGEN SALMONELLATITLE 14 < 3 MPN PER 4 GMSFECAL COLIFORM <1000 MPN PER 1 GMPHYSICAL CONTAMINANTS PLASTIC METAL AND GLASS, %> 4MM% BY WEIGHT< 1SHARPS, % > 4MM% BY WEIGHT

E. BIORETENTION SOIL SHALL BE FREE OF ROOTS, CLODS, AND/OR STONES LARGER THAN 1-INCH IN THE GREATEST DIMENSION, POCKETS OF COARSE SAND, NOXIOUS WEEDS, STICKS, LUMBER, BRUSH AND OTHER LITTER. IT SHALL NOT BE INFESTED WITH NEMATODES, OR UNDESIRABLE DISEASE-CAUSING ORGANISMS SUCH AS INSECTS AND PLANT PATHOGENS. BIORETENTION SOIL MIX SHALL BE FRIABLE AND HAVE SUFFICIENT STRUCTURE IN ORDER TO GIVE GOOD TILTH AND AERATION TO THE SOIL.

GRADATION LIMITS - THE DEFINITION OF THE SOIL SHOULD BE THE FOLLOWING USDA CLASSIFICATION SCHEME BY WEIGHT:

SAND 85-92% SILT 14% MAXIMUM CLAY 5% MAXIMUM

PERMEABILITY RATE - HYDRAULIC CONDUCTIVITY RATE SHALL BE NOT LESS THE 8 INCH PER HOUR NOR MORE THAN 20 INCHES PER HOUR WHEN TESTED IN ACCORDANCE WITH USDA HANDBOOK NUMBER 60, METHOD 34B OR OTHER APPROVED

ATTACHMENT 15

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STRUCTURAL ENGINEER:

COFFMAN ENGINEERING

(858) 673-4445



Issue Date 01/04/2022 MARK DATE DESCRIPTION

PROJECT ARCHITECT

SHEET ISSUE DATE 01/04/2022

KEYPLAN

IBMP SHEET SHEET NUMBER

> **60 TOTAL SHEETS** Page 15 of 60

