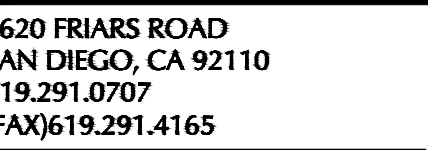


# SITE DEVELOPMENT PERMIT SUBMITTAL

88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CA 94108  
PHONE (415) 981-1100  
[www.nbbj.com](http://www.nbbj.com)



Alexandria Real Estate Equities, Inc.  
10996 Torreyana Road  
San Diego, CA 92121



verside - Sacramento - San Luis Obispo  
range - Denver - Tucson - Phoenix  
rickengineering.com

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
0996 TORREYANA RD, SUITE 250, SAN DIEGO,  
CA 92121

CONTRACTOR:  
(PRE CONSTRUCTION SERVICES)  
OPR CONSTRUCTION  
5010 SHOREHAM PLACE, SAN DIEGO, CA  
92122  
(858) 795-3259

**CIVIL ENGINEER:**  
RICK ENGINEERING COMPANY  
5620 FRIARS ROAD, SAN DIEGO, CA 92110  
(619) 291-0707

**LANDSCAPE ARCHITECT:**  
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC  
2605 STATE STREET, SUITE B  
SAN DIEGO, CA 92103  
(619) 325-1990

**STRUCTURAL ENGINEER:**  
COFFMAN ENGINEERING  
1455 FRAZEE ROAD, SUITE 600  
SAN DIEGO, CA 92108  
(619) 232-4673

**MECHANICAL / PLUMBING ENGINEER:**  
**SEC ENGINEERS**  
 1360 CARROLL ROAD, SUITE 100  
 SAN DIEGO CA 92121  
 (619) 578-3270

**ELECTRICAL ENGINEER:**  
IPE CONSULTING  
6690 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(858) 673-4445



Issue Date  
01/04/2022

[illegible]

SCALE	PROJECT ARCHITECT NBBJ
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PROJECT NUMBER	
----------------	--

SHEET ISSUE DATE 01/04/2022

SHEET NAME

COVER SHEET

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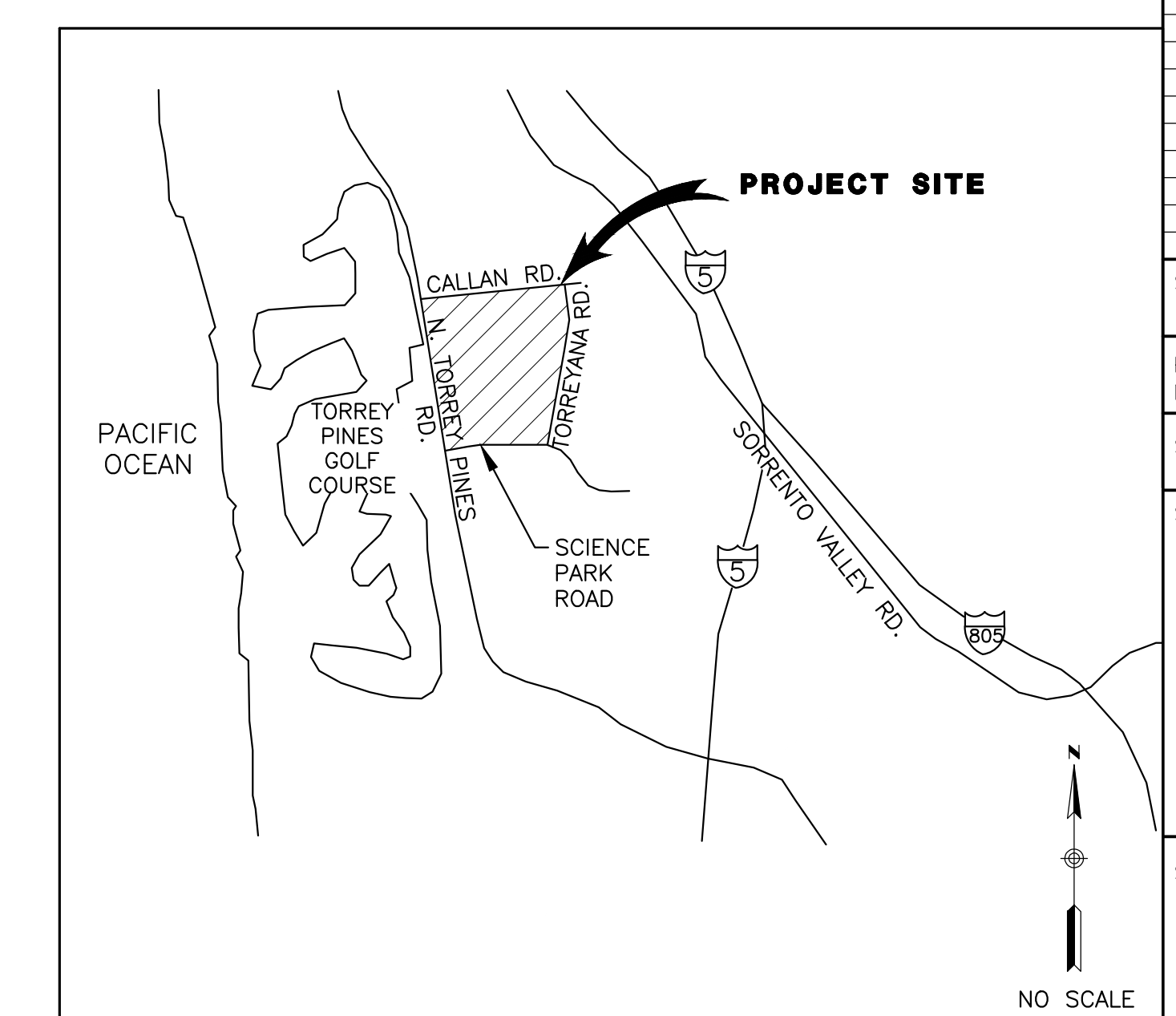
SHEET NUMBER

C001

60 TOTAL SHEETS



### VICINITY MAP







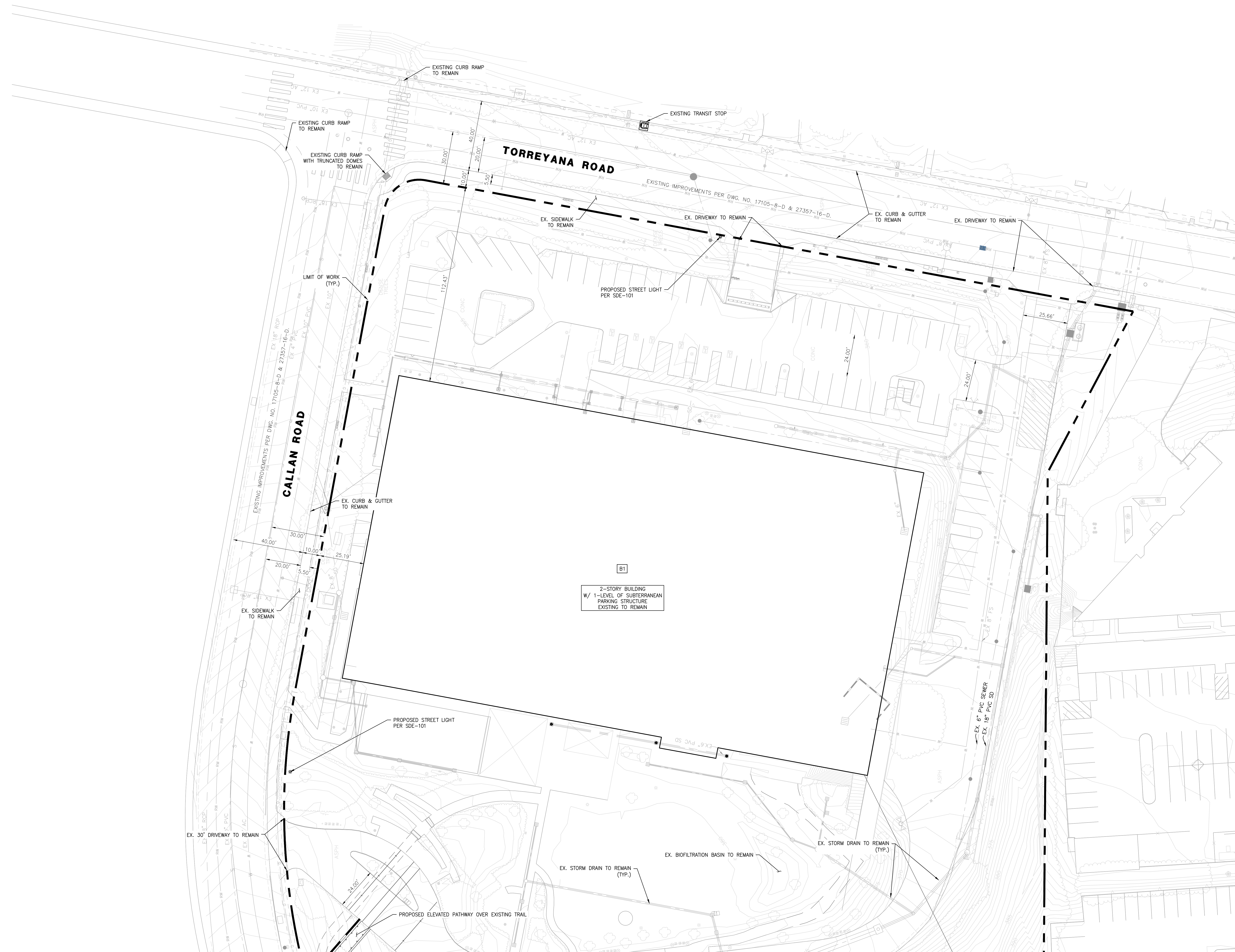






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ATTACHMENT 15

LEGEND:  
RIGHT OF WAY (PVT. L.N.)  
EXIST. WATER MAIN  
EXIST. SEWER MAIN  
EX. STORM DRAIN  
EX. STORM DRAIN CLEANOUT/INLET  
STORM DRAIN (PVT.)  
TYPE 1 CATCH BASIN  
TYPE A-4 C.O. (PVT.)  
PROP. WATER METER  
PROP. FIRE SERVICE PIV  
PROP. FIRE SERVICE FDC  
PROP. BACKFLOW DEVICE  
PROP. FIRE HYDRANT  
PROP. WATER SERVICE  
PROP. FIRE SERVICE  
PROP. SEWER SERVICE  
SIGHT VISIBILITY TRIANGLE  
PER SDMC 113-02SS  
TYPE 1 CATCH BASIN  
6" CURB & GUTTER  
PROPOSED MAJOR CONTOUR LINE  
PROPOSED MINOR CONTOUR LINE  
ROUND AREA DRAIN/CLEANOUT (PVT.)  
RETAINING WALL (PVT.)  
SWALE  
CONCRETE PAVING  
BIORETENTION AREA (PVT.)  
SWALE  
ASPHALT CONCRETE PAVING SECTION  
TRUNCATED DOMES.SDRSD G-30  
20' FIRE ACCESS PAVING  
EXISTING TRANSIT STOP  
LIMIT OF WORK

1"=20'

GRAPHIC SCALE: 1"=20'

KEYPLAN

nbbj

88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CA 94108  
PHONE (415) 981-1100  
www.nbbj.com

ALEXANDRIA

Alexandria Real Estate Equities, Inc.  
10996 Torreyana Road  
San Diego, CA 92121

RICK

ENGINEERING COMPANY  
5620 FRIARS ROAD  
SAN DIEGO, CA 92110  
619.291.0707  
(FAX)619.291.4165  
Riverside - Sacramento - San Luis Obispo  
Chgo - Denver - Tucson - Phoenix  
rickengineering.com

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10996 TORREYANA RD, SUITE 250,SAN DIEGO,  
CA 92121  
CONTRACTOR:  
(PRE CONSTRUCTION SERVICES)  
DPR CONSTRUCTION  
5010 SHORHAM PLACE, SAN DIEGO, CA  
92122  
(858) 795-3259  
CIVIL ENGINEER:  
RICK ENGINEERING COMPANY  
5620 FRIARS ROAD, SAN DIEGO, CA 92110  
(619) 291-0707  
LANDSCAPE ARCHITECT:  
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC  
2655 STATE STREET, SUITE B  
SAN DIEGO, CA 92103  
(619) 325-1990  
STRUCTURAL ENGINEER:  
COFFMAN ENGINEERING  
1435 PRAIRIE ROAD, SUITE 600  
SAN DIEGO, CA 92108  
(619) 232-4673  
MECHANICAL / PLUMBING ENGINEER:  
ECO ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO CA 92121  
(858) 578-3270  
ELECTRICAL ENGINEER:  
MPE CONSULTING  
16690 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(858) 673-4445

REGISTERED PROFESSIONAL ENGINEER  
No. 76519  
CIVIL  
STATE OF CALIFORNIA

ONE ALEXANDRIA  
SQUARE

Issue Date  
01/04/2022

REVISIONS

MARK DATE DESCRIPTION

SCALE PROJECT ARCHITECT  
NBBJ

PROJECT NUMBER

SHEET ISSUE DATE 01/04/2022

SHEET NAME

GRADING SHEET

SHEET NUMBER  
C004  
60 TOTAL SHEETS





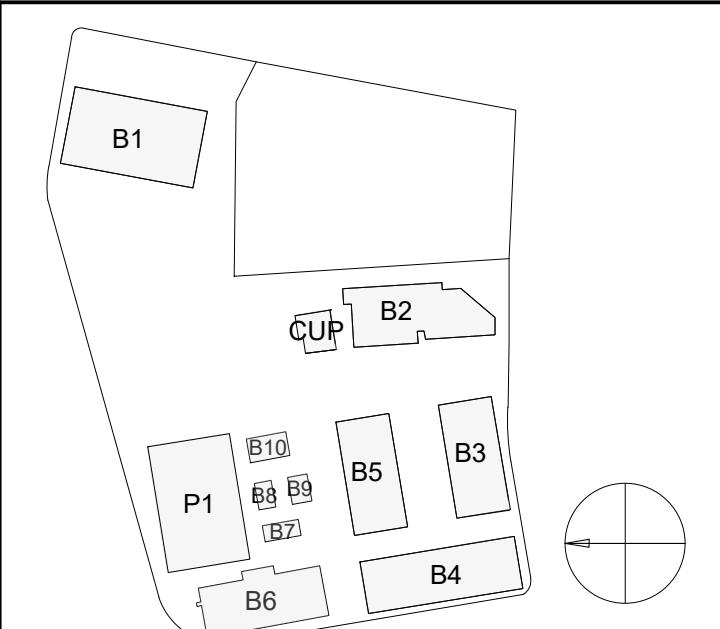
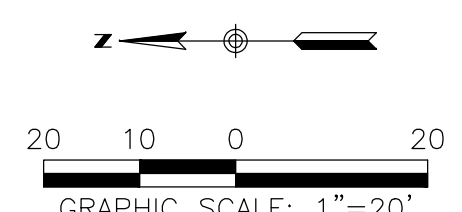
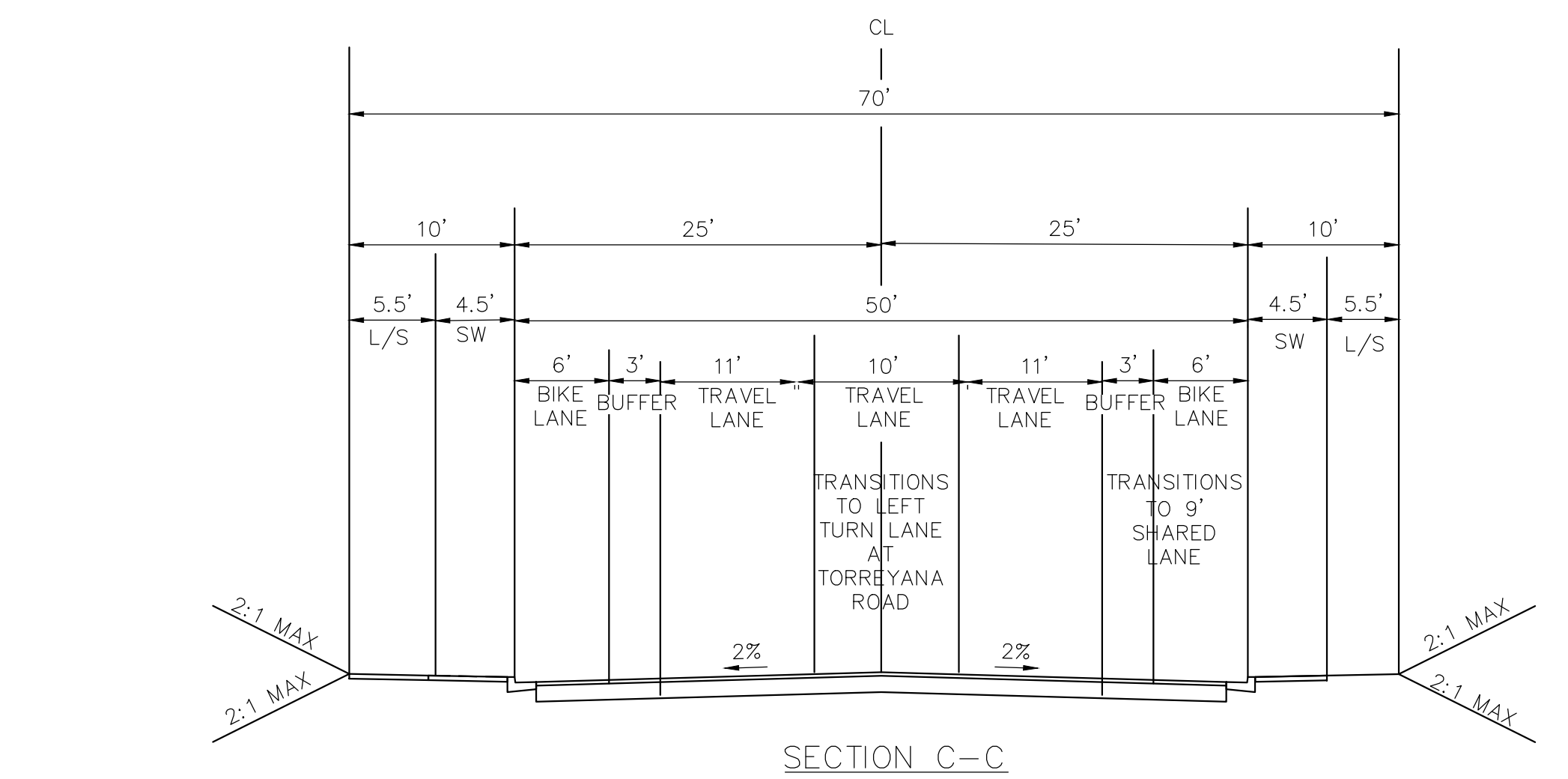




**SCIENCE PARK ROAD**

# ATTACHMENT 15

1. FOR ALL PROPOSED UTILITIES, REFER TO SHEETS 9-13
2. 5' OFFSET FROM BUILDING SHOWN PER PROP D



**OWNER:**  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10956 TORREYANA RD, SUITE 250/SAN DIEGO,  
CA 92123

**CONTRACTOR:**  
(P/R CONSTRUCTION SERVICES)  
DPR CONSTRUCTION  
10000 MIRAMAR PLACE, SAN DIEGO, CA  
92122  
(858) 795-3259

**CIVIL ENGINEER:**  
RICK ENGINEERING COMPANY  
2600 FRIARS ROAD, SAN DIEGO, CA 92110  
(619) 291-0703

**LANDSCAPE ARCHITECT:**  
GROUNDED LANDSCAPE ARCHITECTURE, INC  
2605 STATE STREET, SUITE B  
SAN DIEGO, CA 92103  
(619) 225-1890

**STRUCTURAL ENGINEER:**  
COFFMAN ENGINEERING  
10000 MIRAMAR PLACE, SUITE 600  
SAN DIEGO, CA 92108  
(619) 222-4673

**Mechanical / Plumbing Engineer:**  
DPR ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121  
(619) 578-3270

**ELECTRICAL ENGINEER:**  
MPE CONSULTING  
16690 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(619) 673-4445



ONE ALEXANDRIA  
SQUARE

Issue Date  
01/04/2022

[illegible]

SCALE PROJECT ARCHITECT  
NBBJ

PROJECT NUMBER	
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SHEET NAME

GRADING SHEET

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SHEET NUMBER

C006

60 TOTAL SHEETS





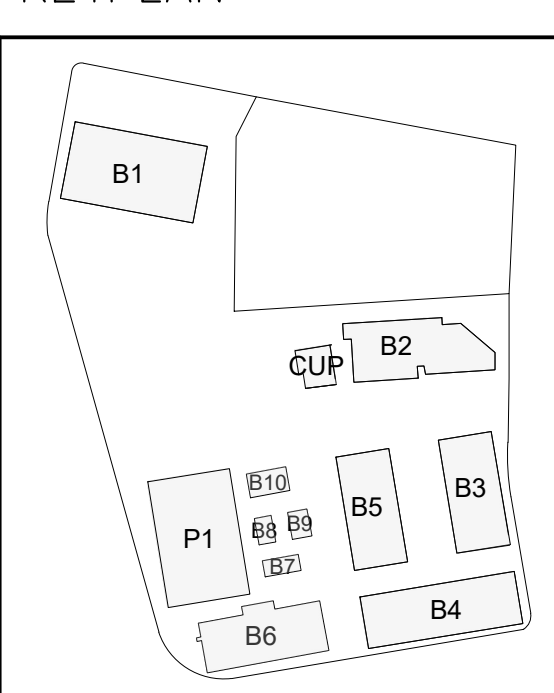






ONE ALEXANDER  
SQUARE

Issue Date  
01/04/2022

60 TOTAL SHEET







# ATTACHMENT 15

LEGEND:

EX RIGHT-OF-WAY  
EX WATER MAIN  
EX SEWER MAIN  
EX STORM DRAIN  
EX STORM DRAIN CLEANOUT/INLET

STORM DRAIN (PVT)  
TYPE 1 CATCH BASIN (PVT)  
TYPE A C.O. (PVT)  
TYPE B CURB INLET (PVT)  
PROP. WATER METER

PROP. FIRE SERVICE PIV & FDC (PVT)  
PROP. SEWER MANHOLE (PVT)  
PROP. SEWER CLEANOUT (PVT)  
PROP. WATER BACKFLOW DEVICE (PVT)  
PROP. FIRE BACKFLOW DEVICE (PVT)  
PROP. FIRE HYDRANT (PVT)  
PROP. THRUST BLOCK (PVT)  
PROP. WATER SERVICE (PVT)  
PROP. FIRE SERVICE (PVT)  
PROP. SEWER SERVICE (PVT)  
6" CURB & GUTTER

PROP. MAJOR CONTOUR LINE  
PROP. MINOR CONTOUR LINE  
ROUND AREA DRAIN/CLEANOUT (PVT.)  
RETAINING WALL (PVT.)

SWALE

UTILITY TRENCH

CONCRETE PAVING

BIORETENTION AREA (PVT.)

ASPHALT CONCRETE PAVING SECTION

TRUNCATED DOMES, SDSRD G-30

20' FIRE ACCESS PAVING

EX TRANSIT STOP

EX PROPERTY LINE/  
EX RIGHT-OF-WAY

SIGHT VISIBILITY TRIANGLE  
PER SDMC 113-0253

NOTES:

- FOR ALL PROPOSED UTILITIES, REFER TO SHEETS 9-13
- 5' OFFSET FROM BUILDING SHOWN PER PROP D
- UNLESS OTHERWISE NOTED, ALL PROPOSED UTILITIES ON SITE AND WITHIN BOULEVARD A AND BOULEVARD B ARE PRIVATE
- IF A 3" OR LARGER WATER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER

nbbj

88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CA 94108  
PHONE (415) 981-1100  
www.nbbj.com



Alexandria Real Estate Equities, Inc.  
10996 Torreyana Road  
San Diego, CA 92121

**RICK**  
ENGINEERING COMPANY

5620 FRIARS ROAD  
SAN DIEGO, CA 92110  
619.291.0707  
(FAX) 619.291.4165

Riverside - Sacramento - San Luis Obispo  
Chico - Denver - Tucson - Phoenix  
rickengineering.com

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10996 TORREYANA RD, SUITE 250, SAN DIEGO, CA 92121

CONTRACTOR:  
(PBE CONSTRUCTION SERVICES)  
DPR CONSTRUCTION  
5010 SERRAVALLO PLACE, SAN DIEGO, CA 92122  
(858) 795-3259

CIVIL ENGINEER:  
RICK ENGINEERING COMPANY  
5620 FRIARS ROAD, SAN DIEGO, CA 92110  
(619) 291-0707

LANDSCAPE ARCHITECT:  
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC  
2655 STATE STREET, SUITE B  
SAN DIEGO, CA 92103  
(619) 325-1990

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERING  
1435 PRAIRIE ROAD, SUITE 600  
SAN DIEGO, CA 92108  
(619) 232-4673

MECHANICAL / PLUMBING ENGINEER:  
ECO ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121  
(858) 578-3270

ELECTRICAL ENGINEER:  
MFE CONSULTING  
16600 WEST BERNARDO DRIVE  
SAN DIEGO, CA 92127  
(858) 673-4445



ONE ALEXANDRIA  
SQUARE

Issue Date  
01/04/2022

REVISIONS

MARK DATE DESCRIPTION

SCALE PROJECT ARCHITECT

PROJECT NUMBER

SHEET ISSUE DATE 01/04/2022

SHEET NAME

UTILITY SHEET

SHEET NUMBER

C011

60 TOTAL SHEETS

Page 11 of 60













ONE ALEXANDRIA  
SQUARE

Issue Date  
1/04/2022

[illegible]

SALE	PROJECT ARCHITECT NBBJ
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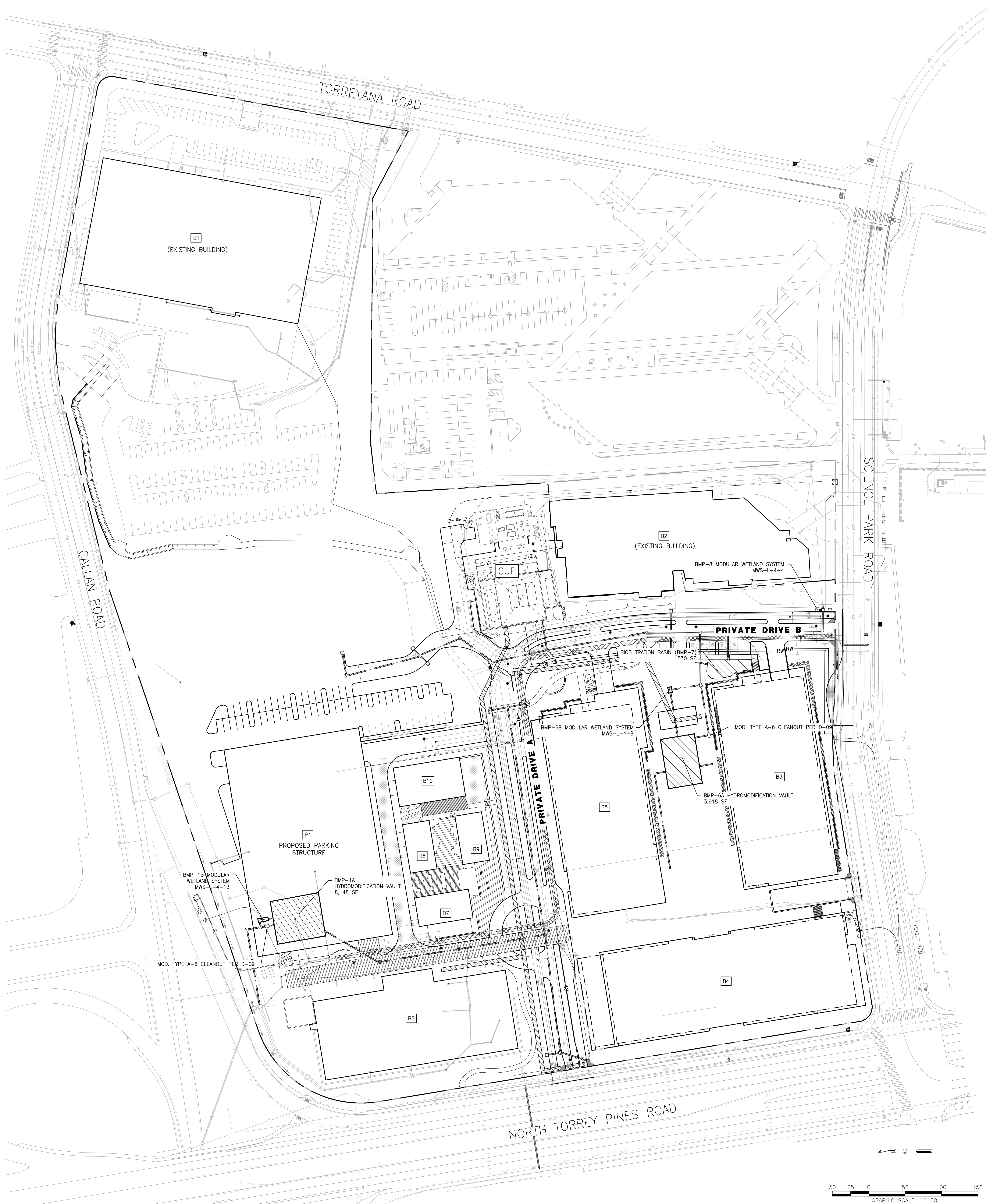
PROJECT	
NUMBER	

MEET ISSUE DATE 01/04/2022

HEET NAME

BMP SHEET

SHEET NUMBER

C014

LEGEND

EX. RIGHT OF WAY/PROPERTY LINE	
EASEMENT	
LOT LINE	
EX. STORM DRAIN	
EX. STORM DRAIN CLEANOUT/INLET	
STORM DRAIN (PVT.)	
TYPE I CATCH BASIN	
TYPE A C.O. (PVT.)	

POLLUTANT CONTROL/HYDROMODIFICATION BMP

LANDSCAPE AREA FOR IMPERVIOUS  
AREA DISPERSION

NOTE: ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE. PRIVATE WATER AND SEWER FACILITIES SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.

## STORM WATER QUALITY MANAGEMENT PLAN

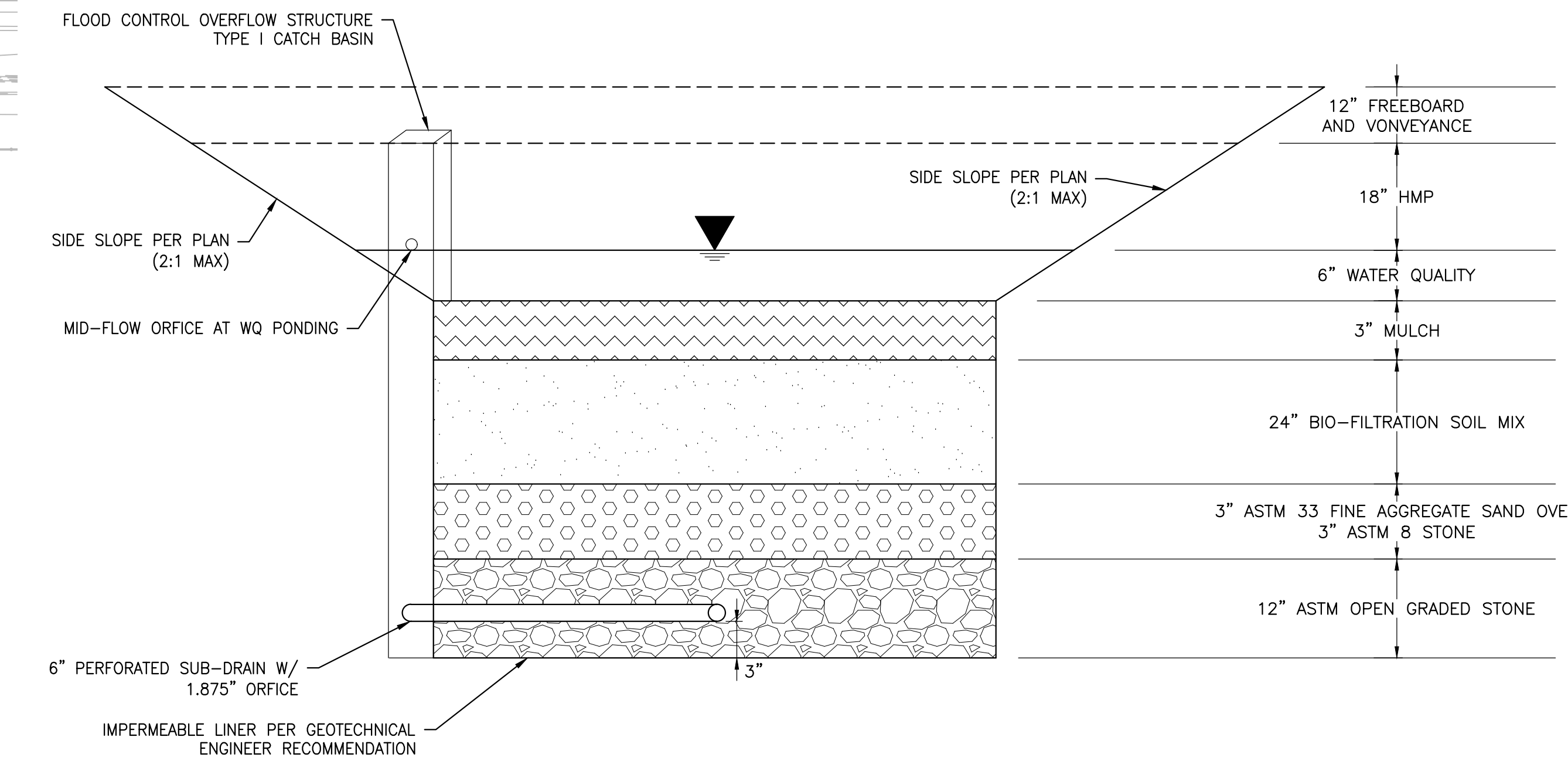
STORM WATER QUALITY MANAGEMENT PLAN FOR THE ONE ALEXANDRIA SQUARE PROJECT

PREPARED FOR:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10996 TORREYANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

PREPARED BY:  
 RICK ENGINEERING COMPANY  
 5620 FRIARS ROAD  
 SAN DIEGO, CA 92110

NOTES:

1. AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES
2. MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
3. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.

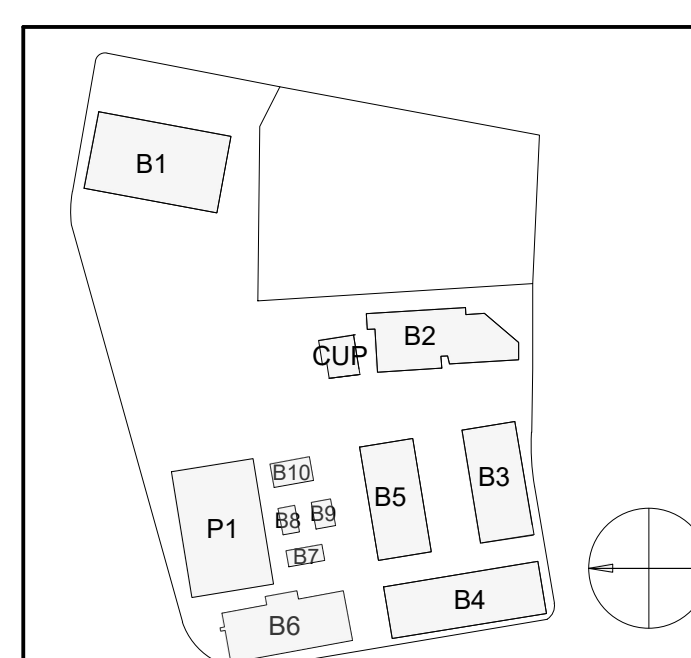


BIOFILTRATION BASIN  
CROSS-SECTION

BMP 7  
NOT TO SCALE

BMP-7 BASIN BOTTOM FOOTPRINT = 530 S

KEYPLAN











ONE ALEXANDRIA  
SQUARE

Issue Date  
1/04/2022

[illegible]

SCALE	PROJECT ARCHITECT
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	NBBJ
PROJECT	

PROJECT NUMBER

MEET ISSUE DATE 01/04/2022

SHEET NAME

FIRE PLAN

## THE PLAN

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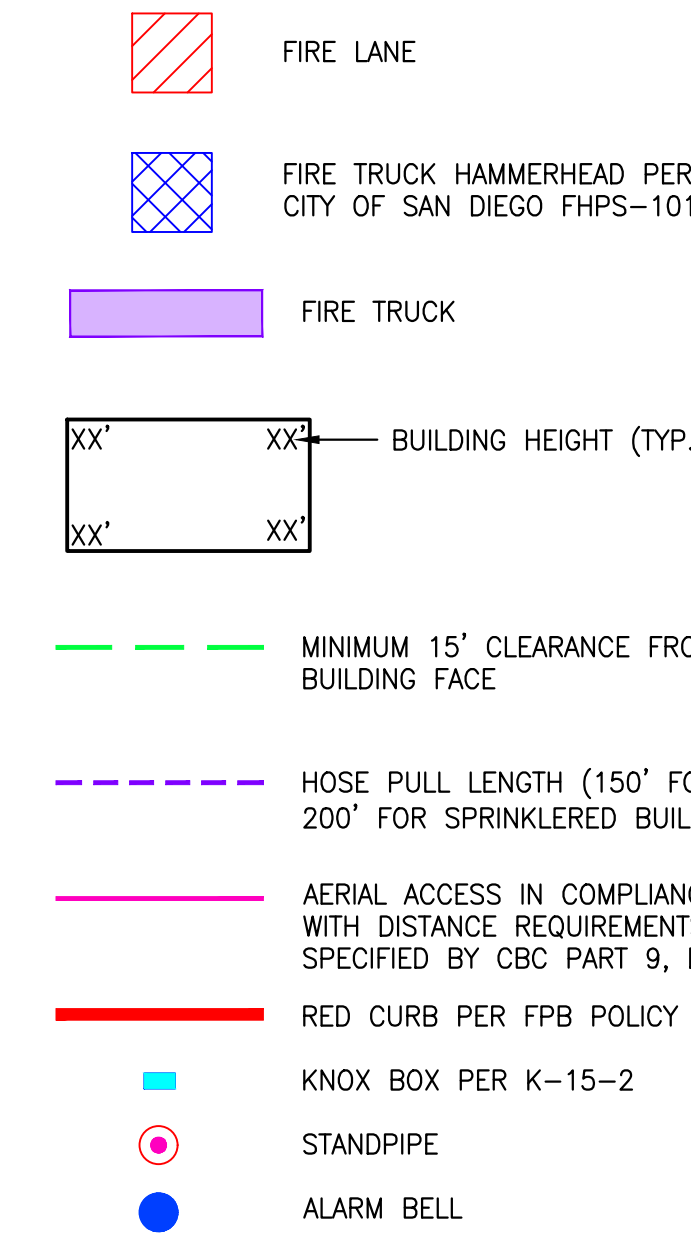
SHEET NUMBER

C016

60 TOTAL SHEETS

Page 16 of 60

LEGEND



NOTES:

1. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3. ACCESS ROADS SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 12' CLEAR WIDTH. ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4.
2. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURNAROUND. TURNAROUNDS SHALL BE LOCATED WITHIN 100 FEET OF THE END OF THE CFC FIGURE D103.1. RADIUS 30' INSIDE SO OUTSIDE. \*\*REFER TO "EXISTING DRIVEWAY" ADJACENT TO B2
3. POST INDICATOR VALLIES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE APPROVED ACCESS ROAD. CFC 501.2.1. CFC 512.2.1. THE LOCATIONS SHOWN ON THIS PLAN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE.
4. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER FIGURE 101.1. HOSE PULLS SHALL BE MEASURED FROM THE EXTERIOR OF THE BUILDING(S) TO THE POINT OF FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE FOR A SPRINKLERED BUILDING(S). THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. A CHANGE IN THE MAXIMUM HOSE PULL SHALL BE INDICATED BY A "KNOX" KEY.
5. THE LOCATION(S) OF AN APPROVED "KNOX" KEY BOX ARE SHOWN ON THE PLAN AND FOLLOW THE SAN DIEGO FIRE DEPARTMENT FFB POLICY K-15-2.
6. ALL REQUIRED VEHICLE ENTRY/EXIT SYSTEM AND/OR KNOX KEYSWITCH OVERRIDE SHALL BE PROVIDED FOR ALL VEHICLE ENTRY AND/OR EMERGENCY VEHICLE ENTRY POINTS TO THE PROJECT SITE. LOCATIONS TO BE APPROVED BY FIRE ACCESS REVIEWER. CFC SECTION 508.
7. ALL DRIVEWAYS/PARKING AREAS SHALL BE MARKED WITH A KEY INDICATOR. ALL REQUIRED ACCESS ROADS/WAYS SHALL NOT PROVIDE LESS THAN THE REQUIRED/APPROVED WIDTH AND/OR BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES, WHERE INADEQUATE WIDTH HAS NOT PROVIDED FOR PARKING. ALL ACCESS ROADS/WAYS SHALL BE KEPT CLEAR BY THE POSTING OF SIGNS OR THE PAINTING OF CURBS PER POLICY A-14-1.

KEYPLAN

