

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10996 TORREYANA RD, SUITE 250, SAN DIEGO,
CA 92121

CONTRACTOR:
PRE CONSTRUCTION SERVICES)
OPR CONSTRUCTION
5010 SHOREHAM PLACE, SAN DIEGO, CA
92122
(858) 795-3259

CIVIL ENGINEER:
RICK ENGINEERING COMPANY
5620 FRIARS ROAD, SAN DIEGO, CA 92110
(619) 291-0707

LANDSCAPE ARCHITECT:
GROUNDLEVEL LANDSCAPE ARCHITECTURE INC
2605 STATE STREET, SUITE B
SAN DIEGO, CA 92103
(619) 325-1990

STRUCTURAL ENGINEER:
COFFMAN ENGINEERING
455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108
(619) 232-4673

ECHANICAL / PLUMBING ENGINEER:
EC ENGINEERS
360 CARROLL ROAD, SUITE 100
SAN DIEGO CA 92121
(619) 578-3270

ELECTRICAL ENGINEER:
PE CONSULTING
5690 WEST BERNARDO DRIVE
SAN DIEGO, CA 92127
(619) 673-4445



ONE ALEXANDRIA
SQUARE

Issue Date
1/04/2022

REVISIONS

[illegible]

SCALE	PROJECT ARCHITECT
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PROJECT
NUMBER

SHEET ISSUE DATE 01/04/2022

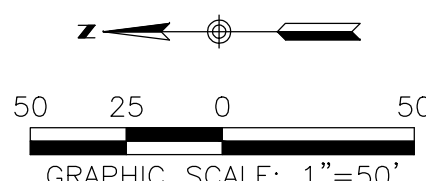
SHEET NAME

FIRE HYDRANT LOCATIONS

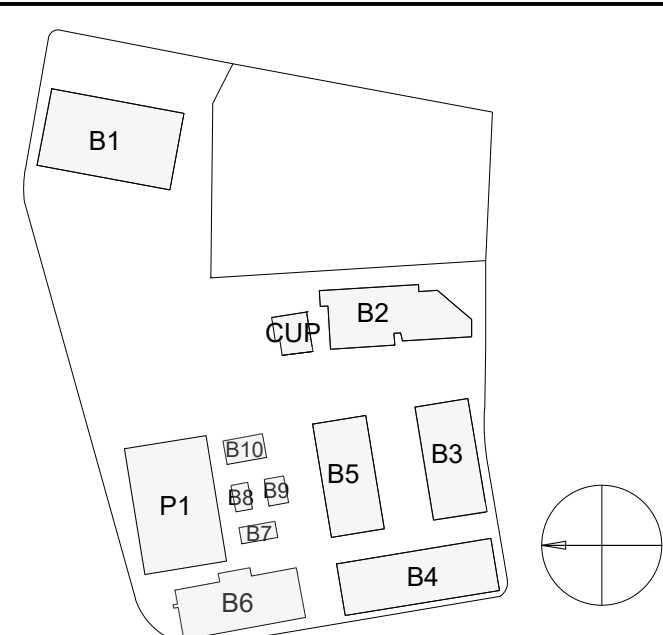
SHEET NUMBER

2017

60 TOTAL SHEETS



KEYPLAN



MAWA WATER BUDGET:
 $(ET_o)(0.62)[(ETAF)(LA) + (1-ETAF)(SLA)]$

$$(40)(0.62)[(0.45)(153,162) + (0.55)(8,538)] = \underline{1,825,746.24 \text{ GAL./YR}}$$

ETWU ESTIMATED TOTAL WATER USE:

HYDROZONE 1: $[(40)(0.62)] [(0.2 \times 103,001 / 0.81) + 0] = 946,083 \text{ GAL/YR}$

HYDROZONE 2: $[(40)(0.62)] [(0.5 \times 27,923 / 0.81) + 0] = 427,463 \text{ GAL./YF}$

HYDROZONE 3: $[(40)(0.62)] [(0.3 \times 22,238 / 0.75) + 0] = 220,601 \text{ GAL./YR.}$

HYDROZONE 4: $[(40)(0.62)] [(0.8 \times 0 / 0.75) + 8.538] = 211,742 \text{ GAL./YR.}$

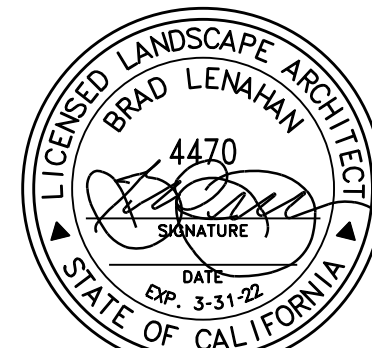
TOTAL ESTIMATED WATER USE = 1,805,890 GAL./YR.

IRRIGATION HYDROZONES			
HYDROZONE	PLANT FACTOR	AREA (SF)	AREA % OF TOTAL
#1 LOW (DRIP)	0.3	103,001 SF	63.70%
#2 MEDIUM (DRIP)	0.5	27,923 SF	17.27 %
#3 LOW (ROTORS)	0.3	22,238 SF	13.75 %
#4 HIGH (ROTORS)	0.8	8,539 SF	5.28 %
	TOTAL IRRIGATED AREA	161,700 SF	100 %

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES. POP-UP TYPE HEADS WILL BE USED ADJACENT TO WALKWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6' WIDE. DRIP IRRIGATION OR LOW-FLOW BUBBLERS SHALL BE USED IN PARKING AREAS AND ADJACENT TO LOW-LEVEL BUILDING GLASS. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.

A DEDICATED LANDSCAPE IRRIGATION METER WILL BE PROVIDED.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



ONE ALEXANDRIA
SQUARE

Issue Date
01/04/2022

[illegible]

SCALE	PROJECT ARCHITECT Designer
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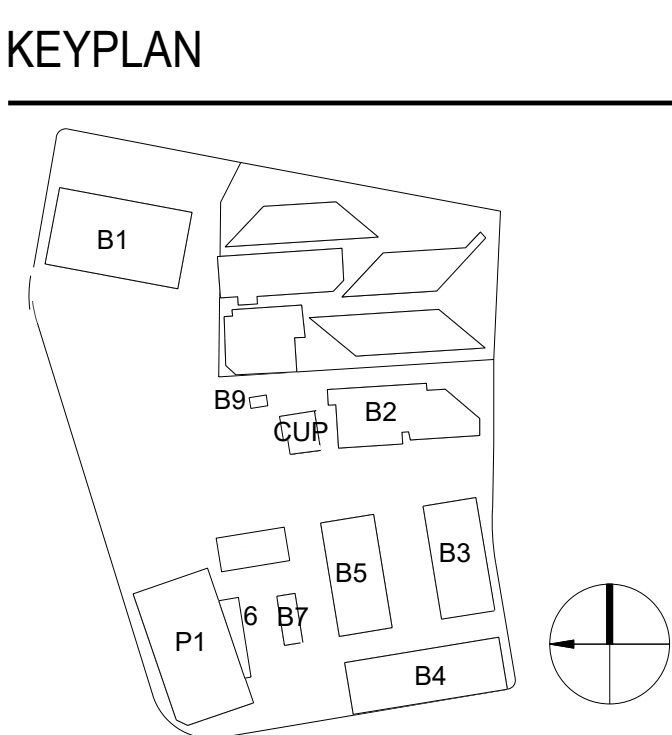
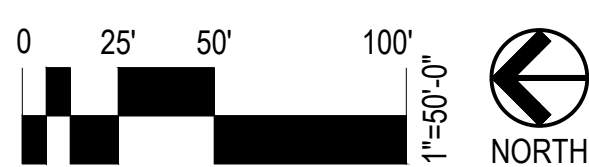
PROJECT	102320.00
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SHEET NAME

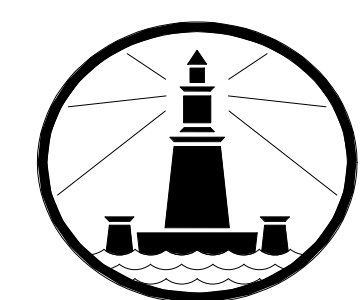
Irrigation Plan & Calculations

SHEET NUMBER

L-1.3



SITE DEVELOPMENT PERMIT
12/28/2021



ALEXANDRIA

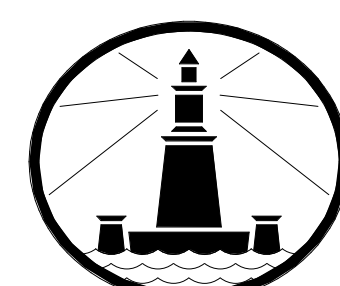
ONE ALEXANDRIA SQUARE

102320.10

12/30/2021 5:49:40 PM

nbbj

88 KEARNY STREET, SUITE 900
SAN FRANCISCO, CALIFORNIA 94108
PHONE 415 981 1100
www.nbbj.com



OWNER:
ALEXANDRIA REAL ESTATE EQUITABLE, INC.
19996 TORREYAVANA ROAD, SUITE 250
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
UPR
5010 SHOREHAM PL., SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
PICKA ENGINEERING
6200 FRIMARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2605 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 PRAIRIE ROAD, SUITE 800
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEC ENGINEERS
1455 PRAIRIE ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPE CONSULTING
10827 TORMORANT RD SUITE 200
SAN DIEGO, CA 92122

GROSS FLOOR AREA BREAK DOWN

Sum of Area		COUNTS TOWARDS		Grand Total
BUILDING NAME	LEVEL	TRUE	FALSE	
R1 (E) - 10996		67,365	11,000	78,365
R1 (E) - 10996 Total		67,266	11,000	78,266
R2 (E) - 3010		75,720	40,204	115,924
R2 (E) - 3010 Total		75,720	40,204	115,924
R3	BASEMENT		35,130	35,130
	LEVEL 1	17,741	34,184	51,925
	LEVEL 2	34,845	16,643	51,488
	LEVEL 3	33,279	2,286	35,565
R3 Total		85,865	53,858	139,723
R4	BASEMENT		41,263	41,263
	LEVEL 1	41,601	41,601	83,202
	LEVEL 2	36,711	2,030	38,741
R4 Total		78,311	43,293	121,604
R5	BASEMENT		34,125	34,125
	LEVEL 1	34,375	34,531	68,906
	LEVEL 2	34,080	1,873	35,953
R5 Total		68,456	35,998	104,454
SERVICE TUNNEL	BASEMENT		24,516	24,516
SERVICE Tunnel Total			24,516	24,516
R6	BASEMENT	4,440	25,589	30,029
	LEVEL 1	30,661	618	31,279
	LEVEL 2	1,907		1,907
R6 Total		37,007	26,207	63,214
R7	LEVEL 1	3,017		3,017
R7 Total		3,017		3,017
R8	LEVEL 1	2,473		2,473
R8 Total		2,473		2,473
R9	LEVEL 1	2,735		2,735
R9 Total		2,735		2,735
R10	LEVEL 1	4,586		4,586
	LEVEL 2	2,289		2,289
R10 Total		7,275		7,275
R11	BASEMENT		1,124	1,124
R11 Total			1,124	1,124
R12	LEVEL 1		1,446	1,446
R12 Total			1,446	1,446
CUP	BASEMENT	4,250		4,250
	LEVEL 1		7,388	7,388
Cup Total			11,638	11,638
PS1	LEVEL 1	54,058	54,058	108,116
	LEVEL 2	54,145	54,145	108,290
	LEVEL 3	54,145	54,145	108,290
	LEVEL 4	43,973	43,973	87,946
	BASEMENT 1	54,058	54,058	108,116
	BASEMENT 2	54,145	54,145	108,290
PS1 Total	BASEMENT 2 (UNDER RAMP)		1,080	1,080
			315,695	315,695
Grand Total		428,125	564,978	993,103

PARKING GARAGE PS1

LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B2 FLOOR	126	0	0	0	0	126
B2 FLOOR BELOW RAMP	4	0	0	0	0	4
RAMP B2-B1	44	0	0	0	0	44
BASEMENT 2	174	0	0	0	0	174
B1 FLOOR	126	0	0	0	0	126
RAMP B1-F1	44	0	0	0	0	44
BASEMENT 1	170	0	0	0	0	170
1ST FLOOR	50	41	15	5	20	111
RAMP F1-F2	44	0	0	0	0	44
FLOOR 1	94	41	15	5	20	155
2ND FLOOR	123	0	0	0	0	123
RAMP F2-F3	44	0	0	0	0	44
FLOOR 2	167	0	0	0	0	167
3RD FLOOR	126	0	0	0	0	126
RAMP F3-F4	44	0	0	0	0	44
FLOOR 3	170	0	0	0	0	170
4TH FLOOR	132	0	0	0	0	132
FLOOR 4	132	0	0	0	0	132
TOTAL GARAGE STALLS	907	41	15	5	20	968

NEW LAB BUILDINGS B3, B4 & B5 - PARKING

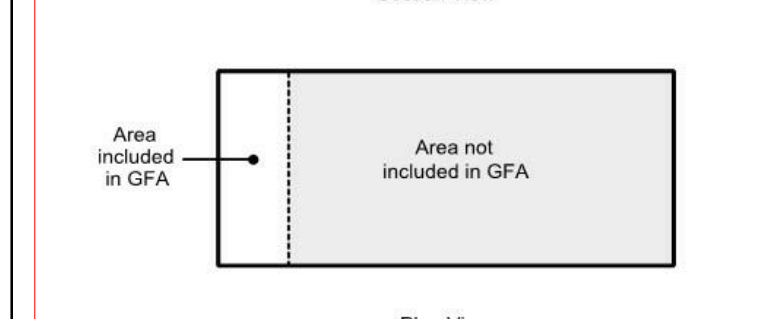
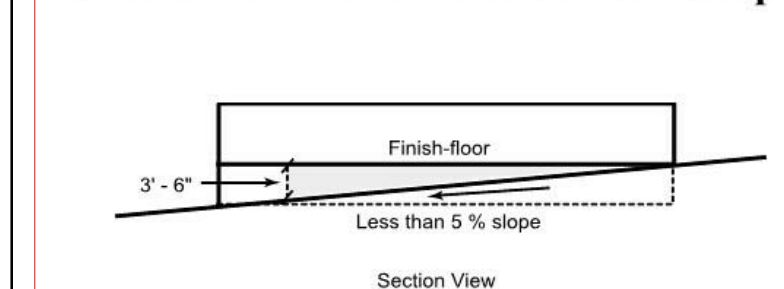
LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B3 BASEMENT	53	3	2	1	3	6
B4 BASEMENT	60	3	0	2	2	6
B5 BASEMENT	21	0	1	1	2	2
SITE PARKING IN PVT DRIVE B, AT 3070 BCD	0	8	6	1	7	1
TOTAL STALLS	134	14	9	5	14	16

SDMC §113.0234 (a)(2)(A)

For lots that slope less than 5 percent along each edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 3 feet, 6 inches as shown in Diagram 113-021.

Diagram 113-02I

Basements with Less than 5 Percent Slope

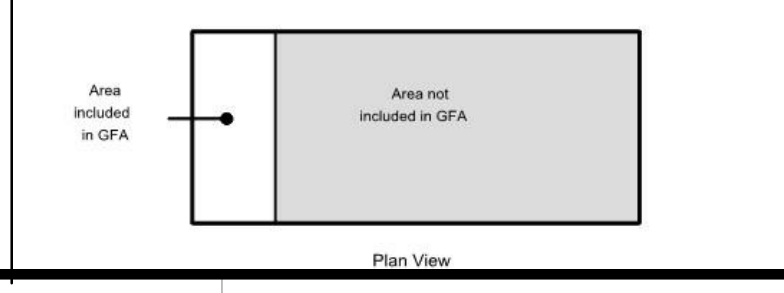
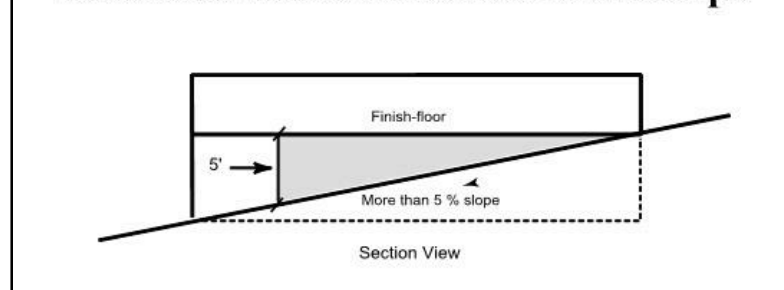


SDMC §113.0234 (a)(2)(B)

For lots that slope 5 percent or more along any edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 5 feet, as shown in Diagram 113-02J.

Diagram 113-02J

Basements with 5 Percent or More Slope



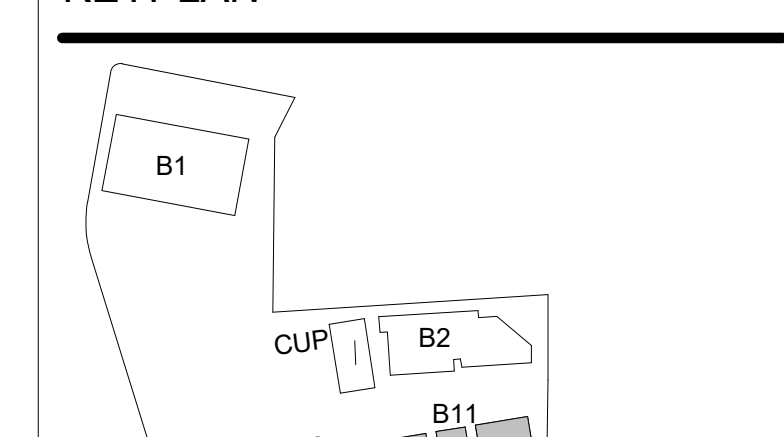
SDMC §113.0234(d)(3)(B)

In order to exclude a parking structure from the calculation of gross floor area, a combination of at least two of the following shall be incorporated into project design as follows:

- (i) The parking structure includes at least one subterranean floor where the vertical distance between adjacent grade and the finished floor elevation above is 5 feet or less. Elevations that provide vehicular access to a subterranean parking level may still meet this provision where the vertical distance is 5 feet or less as measured in accordance with Section 113.0234(a)(3)(B);
- (ii) The parking structure is part of a wrapped design to screen parked vehicles within the structure from the adjacent public right-of-way;

- (iii) The parking structure is screened from the adjacent public right-of-way on at least two elevations; or
- (iv) The parking structure is at least 40 percent open on at least two elevations.

KEYPLAN



ONE ALEXANDRIA
SQUARE

SITE
DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCL
06	11/08/2021	RE-SUBMITTAL (CYCL
05	06/07/2021	RE-SUBMITTAL (CYCL
04	2/8/2021	RE-SUBMITTAL (CYCL
03	12/21/2020	RE-SUBMITTAL (CYCL
02	11/03/2020	SDP 1ST SUBMITTAL

01	08/19/2020	MIR SUBMITTAL
SCALE 1/32" = 1'-0"	PROJECT ARCHITECT NBBJ LLP	
PROJECT	102320.10	

GFA PLANS - SOUTH CAMPUS

SHEET NUMBER

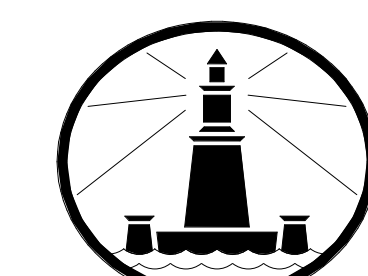
60 TOTAL SHEETS

B3 LEVEL 3 - B4 & B5 LEVEL 2 - GFA PLAN

B3 LEVEL 1 - B4 & B5 BASEMENT LEVEL - GFA PLAN

B3 LEVEL 2 - B4 & B5 LEVEL 1 - GFA PLAN

B3 BASEMENT LEVEL - GFA PLAN



ALEXANDRIA

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10986 TORREYANA ROAD, SUITE 200
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
CPR
5010 SHOREHAM PL, SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
ROCK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2600 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1465 FRAZER ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEG ENGINEERS
7380 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPC CONSULTING
10807 THORNHANT RD SUITE 200
SAN DIEGO, CA 92127

GROSS FLOOR AREA BREAK DOWN

Sum of Area	BUILDING NAME	LEVEL	COUNTS TOWARDS		Grand Total
			GFA	FALSE	
B1 (E) - 10996			67,266	11,000	78,266
B1 (E) - 10996 Total			67,266	11,000	78,266
B2 (E) - 3010			75,720	40,294	116,014
B2 (E) - 3010 Total			75,720	40,294	116,014
B3	BASEMENT			35,130	35,130
	LEVEL 1		17,741	16,443	34,184
	LEVEL 2		34,845		34,845
	LEVEL 3		33,270	2,285	35,554
B3 Total			85,865	53,858	139,723
B4	BASEMENT			41,263	41,263
	LEVEL 1		41,601		41,601
	LEVEL 2		36,711	2,030	38,741
B4 Total			78,311	43,293	121,604
B5	BASEMENT			34,125	34,125
	LEVEL 1		34,375		34,375
	LEVEL 2		34,000	1,873	35,873
B5 Total			68,456	35,998	104,453
SERVICE TUNNEL	BASEMENT			24,516	24,516
SERVICE TUNNEL Total				24,516	24,516
B6	BASEMENT		4,440	25,589	30,028
	LEVEL 1		30,661	618	31,279
	LEVEL 2		1,907		1,907
B6 Total			37,007	26,207	63,214
B7	LEVEL 1		3,017		3,017
B7 Total			3,017		3,017
B8	LEVEL 1		2,473		2,473
B8 Total			2,473		2,473
B9	LEVEL 1		2,735		2,735
B9 Total			2,735		2,735
B10	LEVEL 1		4,586		4,586
	LEVEL 2		2,289		2,289
B10 Total			7,275		7,275
B11	BASEMENT			1,124	1,124
B11 Total				1,124	1,124
B12	LEVEL 1		1,446		1,446
B12 Total			1,446		1,446
CUP	BASEMENT			4,250	4,250
	LEVEL 1		7,388		7,388
CUP Total			11,638		11,638
PS1	LEVEL 1		54,058		54,058
	LEVEL 2		54,145		54,145
	LEVEL 3		54,145		54,145
	LEVEL 4		43,973		43,973
	BASEMENT 2		54,058		54,058
	BASEMENT 1		54,145		54,145
	BASEMENT 2 (UNDER RAMP)		1,080		1,080
PS1 Total			315,605		315,605
Grand Total			428,125	564,978	993,104

PARKING GARAGE PS1

LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B2 FLOOR	126	0	0	0	0	126
B2 FLOOR BELOW RAMP	4	0	0	0	0	4
RAMP B2-B1	44	0	0	0	0	44
BASEMENT 2	174	0	0	0	0	174
B1 FLOOR	126	0	0	0	0	126
RAMP B1-F1	44	0	0	0	0	44
BASEMENT 1	170	0	0	0	0	170
1ST FLOOR	50	41	15	5	20	111
RAMP F1-F2	44	0	0	0	0	44
2ND FLOOR	94	41	15	5	20	155
RAMP F2-F3	123	0	0	0	0	123
FLOOR 2	44	0	0	0	0	44
FLOOR 3	167	0	0	0	0	167
3RD FLOOR	126	0	0	0	0	126
RAMP F3-F4	44	0	0	0	0	44
FLOOR 4	170	0	0	0	0	170
4TH FLOOR	132	0	0	0	0	132
FLOOR 5	132	0	0	0	0	132
TOTAL GARAGE STALLS	907	41	15	5	20	968

NEW LAB BUILDINGS B3, B4 & B5 - PARKING

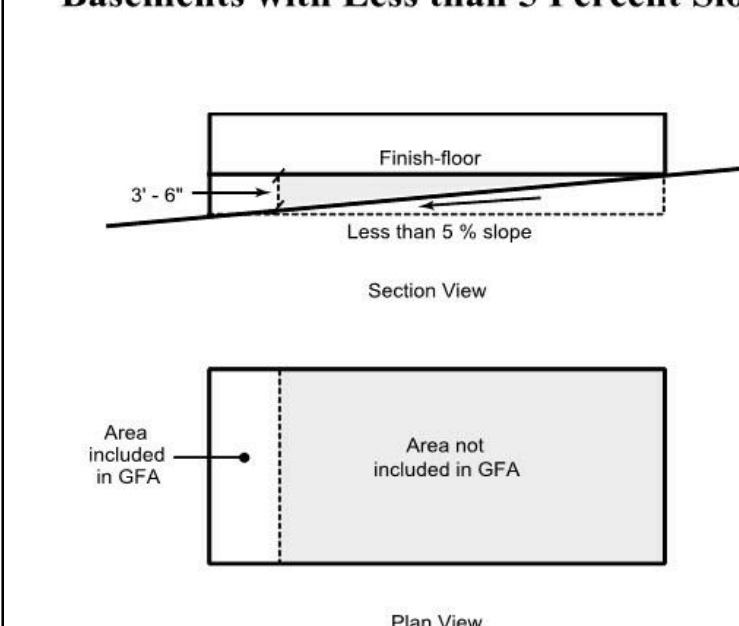
LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B3 BASEMENT	53	3	2	1	3	60
B4 BASEMENT	60	3	0	2	2	65
B5 BASEMENT	21	0	1	1	2	23
21 3RD BLDG	0	8	6	1	7	15
TOTAL STALLS	134	14	9	5	14	163

SDMC §113.0234 (a)(2)(A)

For lots that slope less than 5 percent along each edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 3 feet, 6 inches as shown in Diagram 113-02I.

Diagram 113-02I

Basements with Less than 5 Percent Slope

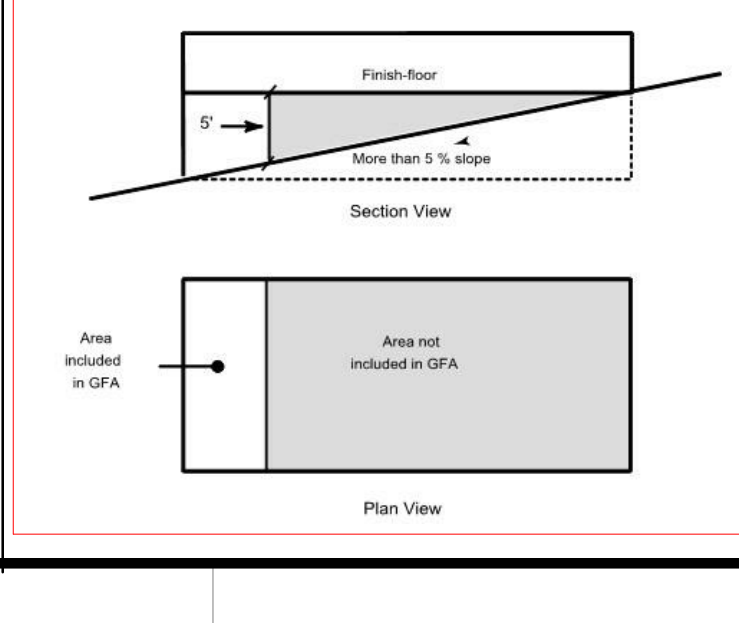


SDMC §113.0234 (a)(2)(B)

For lots that slope 5 percent or more along any edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 5 feet, as shown in Diagram 113-02J.

Diagram 113-02J

Basements with 5 Percent or More Slope

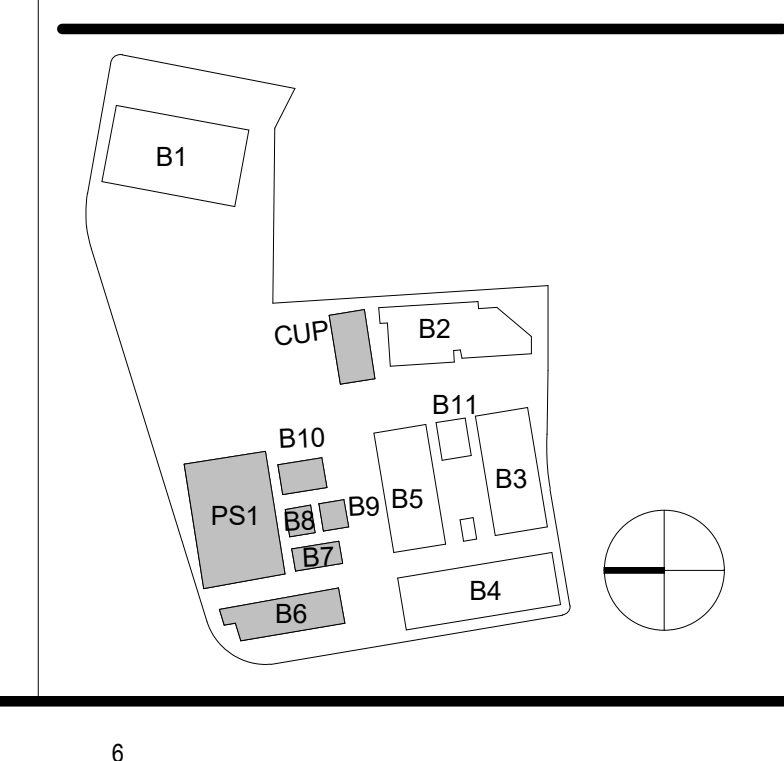


SDMC §113.0234(d)(3)(B)

In order to exclude a parking structure from the calculation of gross floor area, a combination of at least two of the following shall be incorporated into project design as follows:

- (i) The parking structure includes at least one subterranean floor where the vertical distance between adjacent grade and the finished floor elevation above is 5 feet or less. Elevations that provide vehicular access to a subterranean parking level may still meet this provision where the vertical distance is 5 feet or less as measured in accordance with Section 113.0234(a)(3)(B);
- (ii) The parking structure is part of a wrapped design to screen parked vehicles within the structure from the adjacent public right-of-way;
- (iii) The parking structure is screened from the adjacent public right-of-way on at least two elevations; or
- (iv) The parking structure is at least 40 percent open on at least two elevations.

KEYPLAN



E1 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 4
1/32" = 1'-0"

D1 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 3
1/32" = 1'-0"

E3 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 2
1/32" = 1'-0"

A1 CUP - GFA PLAN - BASEMENT
1/32" = 1'-0"

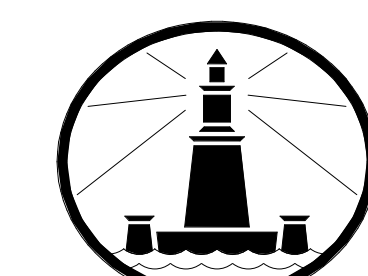
B1 CUP - GFA PLAN - LEVEL 1
1/32" = 1'-0"

C3 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 1
1/32" = 1'-0"

B3 PARKING GARAGE & VILLAGE - GFA PLAN - BASEMENT 1
1/32" = 1'-0"

A4 PARKING GARAGE & VILLAGE - GFA PLAN - BASEMENT 2
1/32" = 1'-0"

GROSS FLOOR AREA (GFA)
AREA EXCLUDED FROM GFA
AREA INCLUDED IN GFA



ALEXANDRIA

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10986 TORREYANA ROAD, SUITE 200
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
CPR
5010 SHOREHAM PL, SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
ROCK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2600 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 FRAZER ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEG ENGINEERS
7380 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPC CONSULTING
10807 THORNHUNT RD SUITE 200
SAN DIEGO, CA 92127

AREA BREAKDOWN FOR PLUMBING CALCS

Sum of Area	BUILDING NAME	LEVEL	COUNTS TOWARDS PLUMBING FIXTURES		
			TRUE	FALSE	Grand Total
B1 (E) - 100%			78,265		78,265
B1 (E) - 100% Total			78,265		78,265
B2 (E) - 3010			75,720	40,294	116,014
B2 (E) - 3010 Total			75,720	40,294	116,014
B3	BASEMENT			35,130	35,130
	LEVEL 1		33,464	720	34,184
	LEVEL 2		32,296	2,550	34,846
	LEVEL 3		32,305	3,260	35,564
B3 Total			98,064	41,659	139,723
B4	BASEMENT			41,363	41,363
	LEVEL 1		41,154	447	41,601
	LEVEL 2		35,727	3,014	38,741
B4 Total			76,881	44,723	121,604
B5	BASEMENT			22,869	22,869
	LEVEL 1		33,501	875	34,375
	LEVEL 2		32,924	3,029	35,953
B5 Total			78,481	25,973	104,453
SERVICE TUNNEL	BASEMENT			24,516	24,516
SERVICE TUNNEL Total				24,516	24,516
B6	BASEMENT		30,028		30,028
	LEVEL 1		30,844	434	31,279
	LEVEL 2		1,235	672	1,907
B6 Total			62,108	1,106	63,214
B7	LEVEL 1		3,017		3,017
B7 Total			3,017		3,017
B8	LEVEL 1		2,473		2,473
B8 Total			2,473		2,473
B9	LEVEL 1		2,735		2,735
B9 Total			2,735		2,735
B10	LEVEL 1		4,986		4,986
	LEVEL 2		2,289		2,289
B10 Total			7,275		7,275
B11	BASEMENT		1,124		1,124
B11 Total			1,124		1,124
B12	LEVEL 1			1,446	1,446
B12 Total				1,446	1,446
CUP	BASEMENT			4,250	4,250
	LEVEL 1			7,388	7,388
CUP Total				11,638	11,638
PS1	LEVEL 1		54,058		54,058
	LEVEL 2		54,145		54,145
	LEVEL 3		54,145		54,145
	LEVEL 4		43,973		43,973
	BASEMENT 2		54,058		54,058
	BASEMENT 1		54,145		54,145
	BASEMENT 2 (UNDER RAMP)			1,080	1,080
PS1 Total				315,605	315,605
Grand Total			486,144	506,960	993,104

AREAS FOR NEW PLUMBING FIXTURES

BUILDING NAME	AREA
B3	98,064
B4	76,881
B5	78,481
B6	62,108
B7	3,017
B8	2,473
B9	2,735
B10	7,275
B11	1,124
Grand Total	332,158

NOTES:

- PUBLIC TOILET FACILITIES SHALL NOT BE REQUIRED FOR PARKING GARAGES WHERE OPERATED WITHOUT PARKING ATTENDANTS [CBC 2902.3 EXCEPTION 1].
- SHEET GC008 SHOWS THE FULL BREAKDOWN OF THE AREAS IN EACH BUILDING ON THE ONE ALEXANDRIA SQUARE CAMPUS, INCLUDING THE EXISTING TWO BUILDINGS B1 AND B2. THE PROVIDED PLUMBING FIXTURE COUNTS FOR B1 AND B2 ARE NOT AVAILABLE AND ARE COVERED UNDER SEPARATE BUILDING PERMITS.
- SHEET GI201 SHOWS THE CALCULATIONS OF PLUMBING FIXTURES FOR THE NEW BUILDINGS B3, B4, B5, B6, B7, & B8.
- SHEETS GL201 AND GL202 SHOW THE PLANS WITH THE AREAS HIGHLIGHTED DISTINGUISHING THE AREAS THAT ACCOUNT FOR PLUMBING FIXTURES AND THE AREAS THAT DO NOT COUNT.
- PLUMBING FIXTURE COUNTS ARE CALCULATED BASED ON THE CITY OF SAN DIEGO TECHNICAL BULLETIN PLMB-4-1, WHICH CONSOLIDATES THE REQUIREMENTS OF 2019 CBC AND 2019 CPC:
 - OCCUPANT LOAD IS DETERMINED PER CBC 2019 TABLE 1004.1.2 FOR LABORATORY SUITE BASED ON 200 SF GROSS PER OCCUPANT, AND TABLE A-OCCUPANT LOAD FOR PLUMBING FIXTURES IN CITY OF SAN DIEGO TECHNICAL BULLETIN PLMB-4-1 (AUGUST 2019 PAGE 3) [EXCERPT ON THIS SHEET BELOW]

- PLUMBING FIXTURE COUNTS ARE PER CPC 2019 TABLE 422.1

Page 3
City of San Diego - Technical Bulletin PLMB-4-1
August 2019

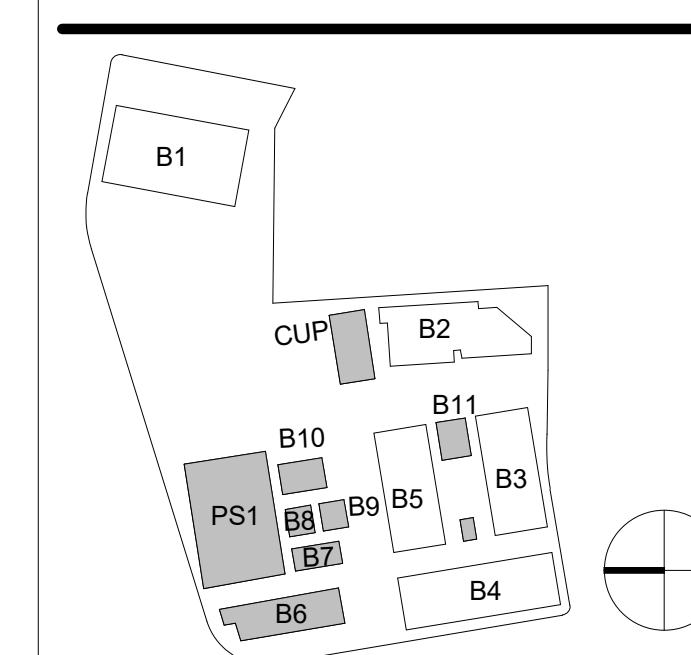
TABLE A—OCCUPANT LOAD FOR PLUMBING FIXTURES

Use	Occupant Load (square feet unless noted)
Assembly Uses*	
Auditoriums, convention centers, dance floors, stadiums, casinos	15
Conference rooms, exhibit rooms, lounges, meeting rooms, recreation rooms, gymnasiums and multipurpose rooms, stages	30
Pool	100
Pool deck	30
Restaurants, dining rooms, drinking establishments, sidewalk cafe	30
Workout areas, yoga studios, game rooms	30
Worship places, including principal assembly area, educational and activity areas	30
Business Uses	
Banks, clinics, dry cleaning, post offices	200
Barbershops, hair salons, beauty salons, tanning salons	100
Cashier areas, check rooms	200
Classrooms for educational facilities	50
Computer training rooms with fixed workstations	100
Laboratories	200
Offices, open office areas	200
Educational Uses	
Schools for daycare, elementary and secondary	50
Factory and Hazardous Uses	
Commercial kitchens	400
Factories, manufacturing, workshops, hazardous materials storage	2,000
Institutional Uses	
Hospital areas, healthcare facilities	200

* For areas with fixed seats, use 1/2 the number of fixed seating to calculate the occupant load.

Visit our web site at www.sandiego.gov/plumbing-fixtures
Upon request, this information is available in alternative formats for persons with disabilities.

KEYPLAN



A3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 4

B3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 3

B1 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 1

D1 PARKING GARAGE & VILLAGE - PLUMBING PLAN - BASEMENT 1

A4 PARKING GARAGE & VILLAGE - PLUMBING PLAN - BASEMENT 2

D3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 2

A1 CUP - PLUMBING PLAN - BASEMENT

A2 CUP - PLUMBING PLAN - LEVEL 1

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10996 TORREYANA ROAD, SUITE 250
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
DPR
5010 SHOREHAM PL, SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
RICK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2605 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEC ENGINEERS
7360 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORNMINST RD SUITE 200
SAN DIEGO, CA 92127

SITE
DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS

RK	DATE	DESCRIPTION
7	12/30/2021	RE-SUBMITTAL (CYCLE
6	11/08/2021	RE-SUBMITTAL (CYCLE
5	05/07/2021	RE-SUBMITTAL (CYCLE
4	2/8/2021	RE-SUBMITTAL (CYCLE
3	12/21/2020	RE-SUBMITTAL (CYCLE
2	11/03/2020	SDP 1ST SUBMITTAL
1	08/19/2020	MIR SUBMITTAL

PROJECT ARCHITECT NBBJ LLP	SCALE 1" = 50'-0"
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PROJECT NUMBER	102320.10
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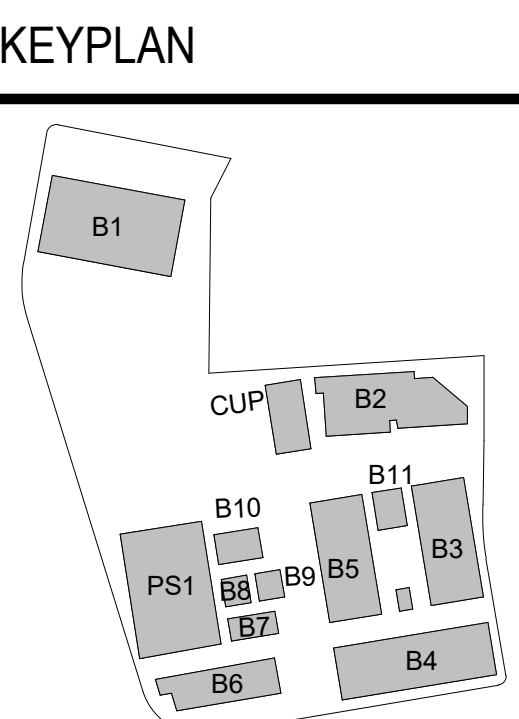
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SHEET NAME

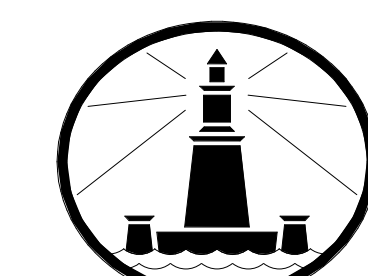
EXISTING SITE PLAN

SHEET NUMBER

AS100



KEYPLAN



ALEXANDRIA

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10986 TORREYANA ROAD, SUITE 200
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
CPR
5010 SHOREHAM PL., SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
ROCK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2600 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1465 FRAZER ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEG ENGINEERS
7380 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPC CONSULTING
10807 THORNHART RD SUITE 200
SAN DIEGO, CA 92127

NOTES ON OPEN SPACE EASEMENT:
ONE OF THE MAJOR URBAN DESIGN ISSUES IN SUBAREA 1 RELATES TO THE PROTECTION OF NATURAL TOPOGRAPHY AND VEGETATION. ALSO, THERE IS A NEED TO ENHANCE PUBLIC ACCESS TO UNIQUE PANORAMIC VISTAS OF THE COASTAL BLUFFS, THE CAMPUS, GOLDEN TRIANGLE AND SORRENTO VALLEY.

THE UNIVERSITY PLAN PROVIDES RECOMMENDATIONS WITH WHICH CONSIST OF TWO PARTS: OBJECTIVE AND ACCOMPLISHED BY. THE PROPOSED MASTER PLAN ACHIEVES A NUMBER OF OBJECTIVES, AND THE FOLLOWING EXPLAINS HOW THEY ARE ACCOMPLISHED:

- OBJECTIVE 1**
- PROTECT AND TAKE MAXIMUM ADVANTAGE OF THE TORREY PINES SUBAREA'S TOPOGRAPHY AND UNIQUE NATURAL VEGETATION. THIS IS ACCOMPLISHED BY:
 - ENSURING THAT DEVELOPMENTS DO NOT INTRUDE INTO THE DESIGNATED OPEN SPACE AREAS.
 - PRESERVING EXISTING MATURE TREES. WHEN FEASIBLE, DEVELOPMENT SHOULD OCCUR AROUND AND IN BETWEEN MATURE TREES. IF THAT IS NOT FEASIBLE, CONSIDERATION SHOULD BE GIVEN TO MOVING TREES INTO TEMPORARY NURSERIES DURING CONSTRUCTION. TRANSPLANTING IS USUALLY LESS EXPENSIVE THAN BUYING NEW TREES OF EQUAL SIZE FOR THE SITE.
 - THE PROJECT WILL BE DEVELOPED UNDER PLANNED DEVELOPMENT CONCEPTS IN COMPLIANCE WITH THE FOLLOWING CRITERIA IN ADDITION TO THAT FOUND IN THE HILLSIDE REVIEW OVERLAY ZONE AND THE RESOURCE PROTECTION OVERLAY ZONE:
 - AVOID DESTRUCTION OF NATIVE VEGETATION, WILDLIFE HABITATS, GEOLOGIC LANDMARKS, OR KNOWN ARCHAEOLOGICAL RESOURCES. SEE SHEETS AS101 AND AS102 WHICH PROVIDE THE OVERLAY ZONES FOR BOTH OPEN SPACE, PROTECTED VEGETATION AND CULTURAL RESOURCES.

- OBJECTIVE 2**
- MINIMIZE THE TOTAL AMOUNT OF IMPERVIOUS SURFACES SUCH AS PARKING, DRIVEWAYS, TERRACES, PATIOS, TENNIS COURTS AND OTHER SIMILAR FACILITIES. THIS IS ACCOMPLISHED BY:
 - THE PROJECT PROVIDES PEDESTRIAN AND BICYCLE PUBLIC ACCESS PATHS TO SCENIC VIEWPOINTS AS THE BIKE PATH COMES OFF OF NORTH TORREY PINES ROAD INTO PRIVATE ROAD A, AND COMES DOWN THE ROAD EAST ON AXIS WITH THE HIGH POINT VIEW THAT LOOKS OVER THE HORIZON. IT THEN TURNS INTO PRIVATE ROAD B, AND KEEPS GOING SOUTH CONNECTING TO THE SPECTRUM CAMPUS ACROSS SCIENCE PARK ROAD. A LARGER MASTERPLAN VIEW WOULD CONNECT THIS PATH VISUALLY TO THE CANYONS. PATH ENTRANCES IS CLEARLY VISIBLE FROM THE PUBLIC STREET AND OPEN AT ALL TIMES. THE ACCESS PATH WOULD TERMINATE AT A POINT OFFERING SCENIC VISTAS OF COASTAL BLUFFS OR OTHER NATURAL RESOURCES AS IT CONNECTS TO THE OPEN AREA BY BUILDING B8, WHICH WOULD OFFER PANORAMIC VIEWS THE CAMPUS AMENITY VILLAGE. THE PATH TERMINUS AREA WOULD BE RELATIVELY FLAT PER THE GRADING PLANS (SEE CIVIL DRAWINGS).

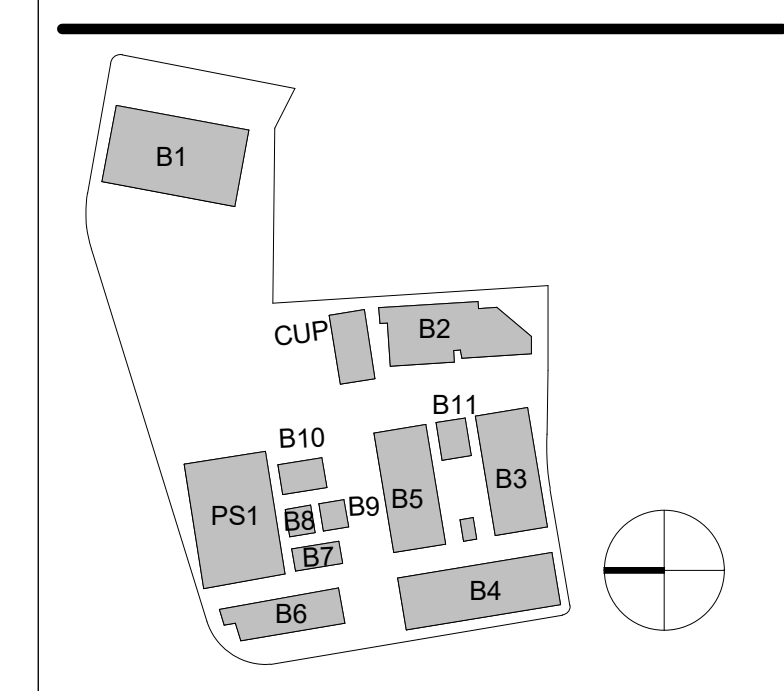
- OBJECTIVE 3**
- ENSURE THAT THE MASSING OF STRUCTURES AND DESIGN DETAIL OF NEW BUILDINGS CONTRIBUTE TO A VISUALLY COHERENT STREETSCAPE. THIS IS ACCOMPLISHED BY:
 - USING MAJOR VARIATIONS IN THE PLANES OF WALL SURFACES, E.G., ANGLED OR RECESSED WALLS AND PRONOUNCED ARCHITECTURAL ELEMENTS AND TECHNIQUES TO AVOID A BOXY SQUARE BUILDING. PROJECT ELEVATIONS, RENDERING AND SITE SECTIONS ILLUSTRATE THIS OBJECTIVE.
 - SCREENING FROM PUBLIC VIEW ALL MECHANICAL EQUIPMENT, TRASH STORAGE, SERVICE AREAS AND UTILITY APPURTENANCES. SECTIONS SHOW WHERE MECHANICAL SYSTEMS ARE SUNK IN A WELL ON THE TOP FLOOR OF EACH OF BUILDINGS B3, B4 AND B5. THE CUP BUILDING HAS CABON WALLS SCREENING OFF THE COOLING TOWERS FROM VIEW.

LEGENDS

--- PROPERTY LINE

--- SETBACK LINE

KEYPLAN



ONE ALEXANDRIA
SQUARE

SITE
DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
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07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
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03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MIR SUBMITTAL

SCALE
As indicated

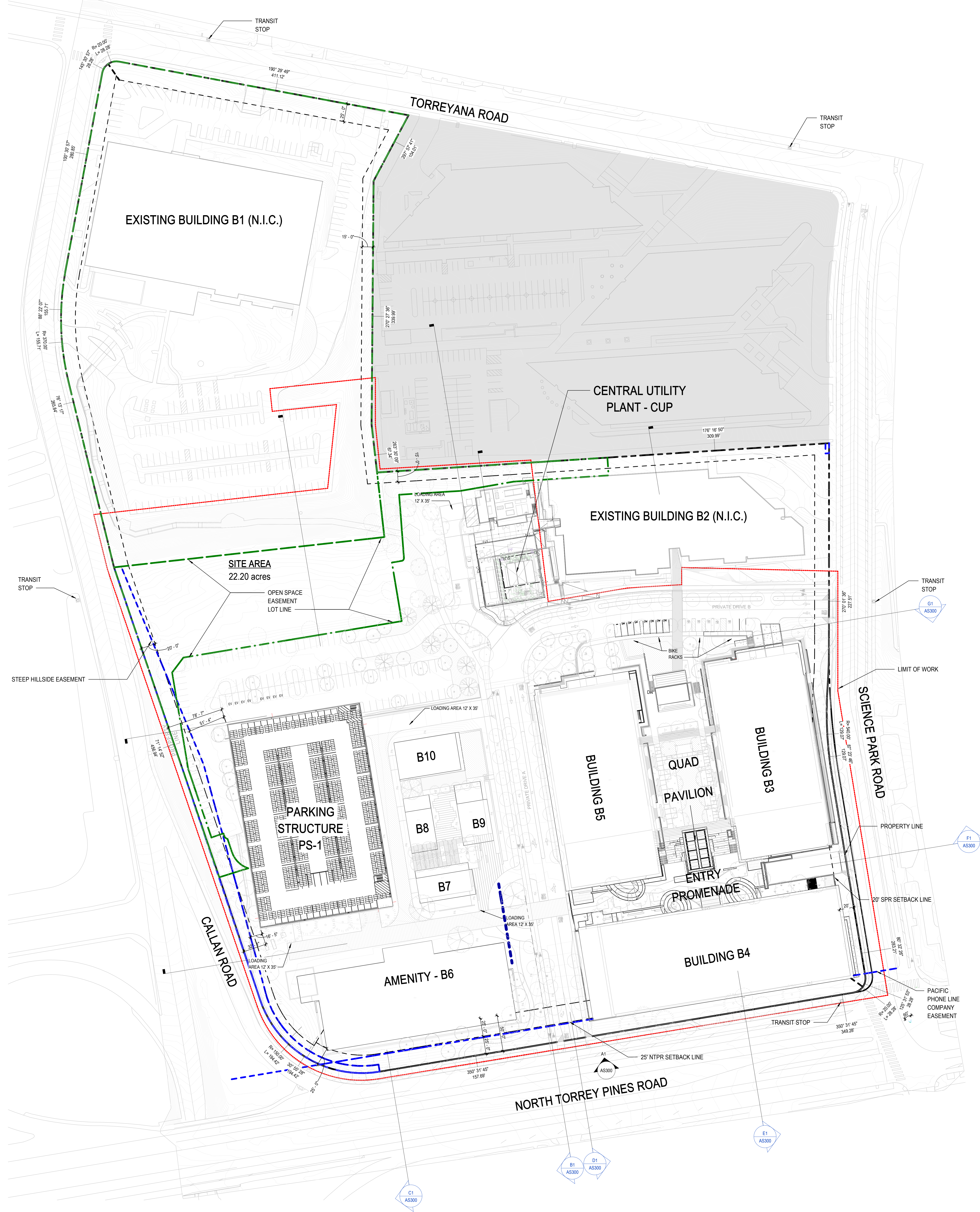
PROJECT NUMBER
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SHEET ISSUE DATE
01/04/2022

SHEET NAME
ARCHITECTURAL
SITE PLAN

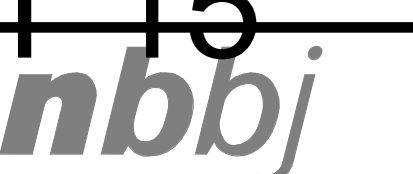
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AS101

60 TOTAL SHEETS

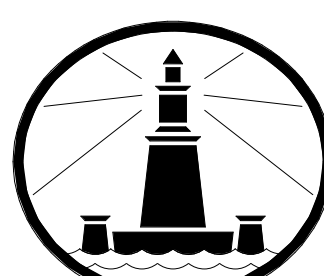


SITE PLAN NOTES

- 1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
- 2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.
- 3. HALFTONE CONTENT IS N.I.C.



88 KEARNY STREET, SUITE 900
SAN FRANCISCO, CALIFORNIA 94108
PHONE 415 981 1100
www.nbbj.com



ALEXANDRIA

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10986 TORREYANA ROAD, SUITE 200
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
DPR
5010 SHOREHAM PL., SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
ROCK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2605 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEG ENGINEERS
7380 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPC CONSULTING
10807 THORNHUNT RD SUITE 200
SAN DIEGO, CA 92127

ONE ALEXANDRIA SQUARE

SITE
DEVELOPMENT
PERMIT

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01/04/2022

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02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MIR SUBMITTAL

SCALE

As indicated

PROJECT ARCHITECT

NBBJ LLP

PROJECT NUMBER

102320.10

SHEET ISSUE DATE

01/04/2022

SHEET NAME

SITE PLAN

OVERLAYS,

EASEMENTS &

ARCHAEO ZONES

SHEET NUMBER

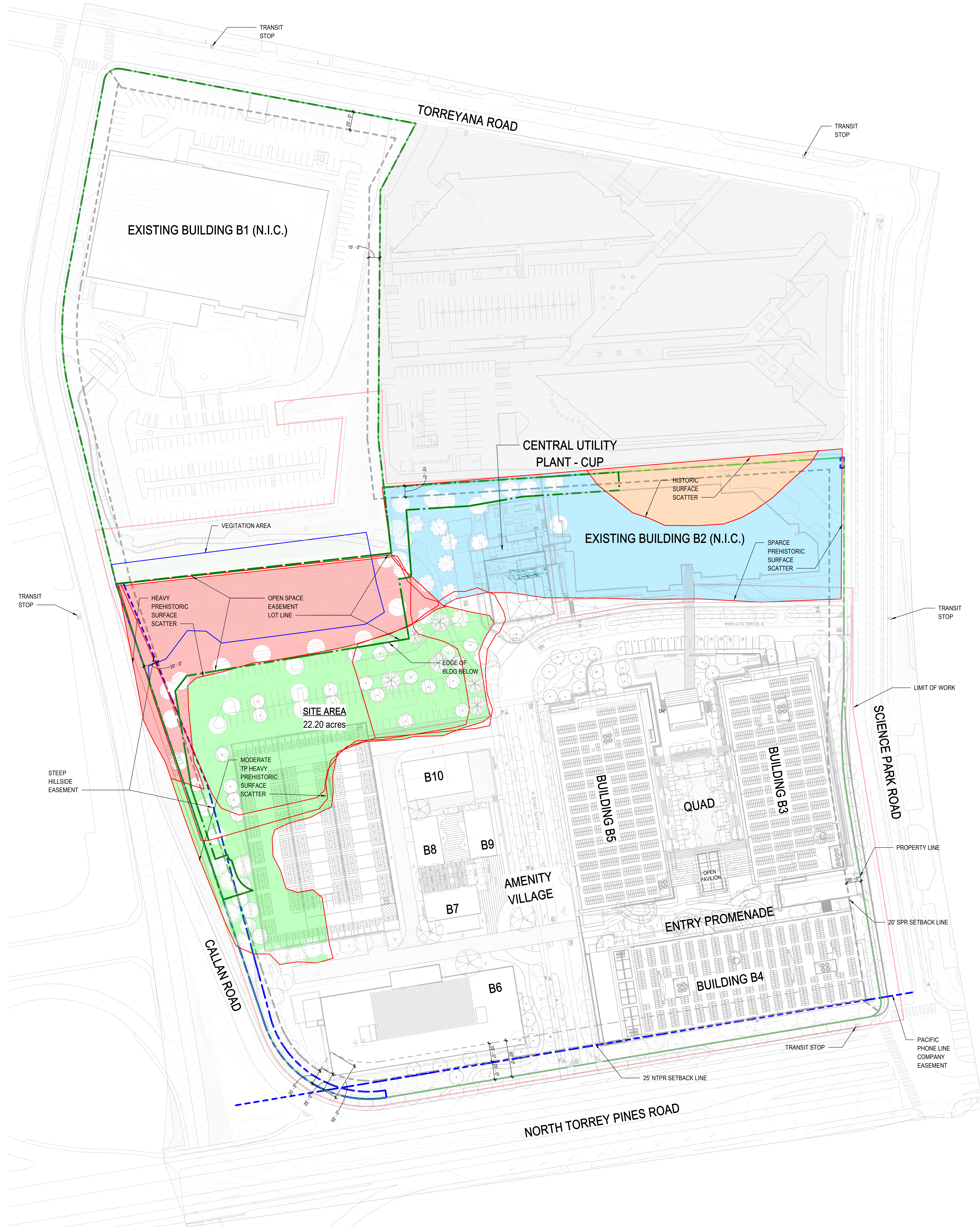
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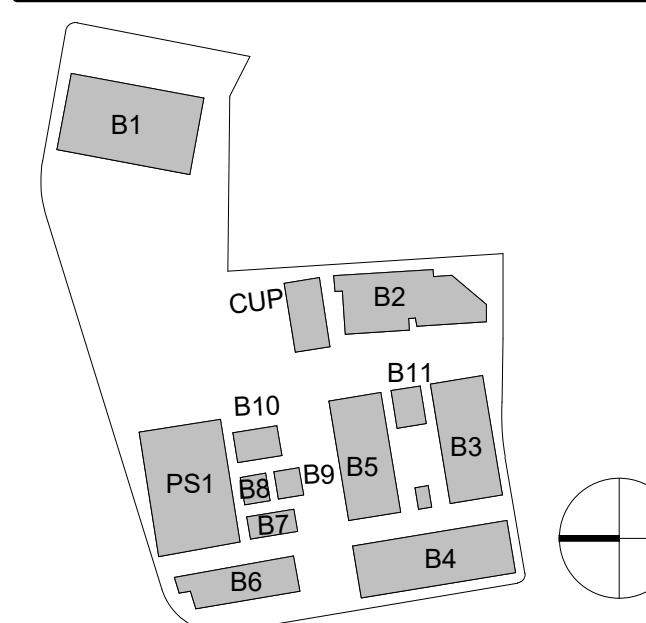
1 SITE PLAN OVERLAYS - ARCHAEOLOGICAL, VEGETATION, SENSITIVE CULTURAL ZONES, ROW & OPEN SPACE EASEMENT

1" = 50'-0"



- LEGENDS
- PROPERTY LINE
 - SETBACK LINE

KEYPLAN



1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.
3. HALFTONE CONTENT IS N.I.C.
- WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTE MUST ADHERE TO THE FOLLOWING:
1. MUST BE CONTINUOUSLY ACCESSIBLE.
2. MUST HAVE A MAX. OF 12" CHANGE IN ELEVATION. OR PROVIDE CURB RAMPS.
3. MUST BE MINIMUM WIDTH OF 44".
4. MUST BE OF SLIP RESISTANT MATERIAL.
5. MUST PROVIDE DETECTIBLE WARNING DEVICES AT VEHICULAR TRAFFIC CROSSINGS PER CBC.
6. MAX SLOPE OF 1:12 (8.3%) OF HORIZONTAL RUN WITH A CROSS SLOPE NO GREATER THAN 2%.
7. PROVIDE A LEVEL LANDING AT EACH ENTRANCE AND EXIT.



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SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORNHANT RD SUITE 200
SAN DIEGO, CA 92127

ONE ALEXANDRIA SQUARE

SITE
DEVELOPMENT
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01/04/2022

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01	08/19/2020	MIR SUBMITTAL

SCALE
PROJECT ARCHITECT
As indicated
NBBJ LLP
PROJECT NUMBER
102320.10

SHEET ISSUE DATE
01/04/2022

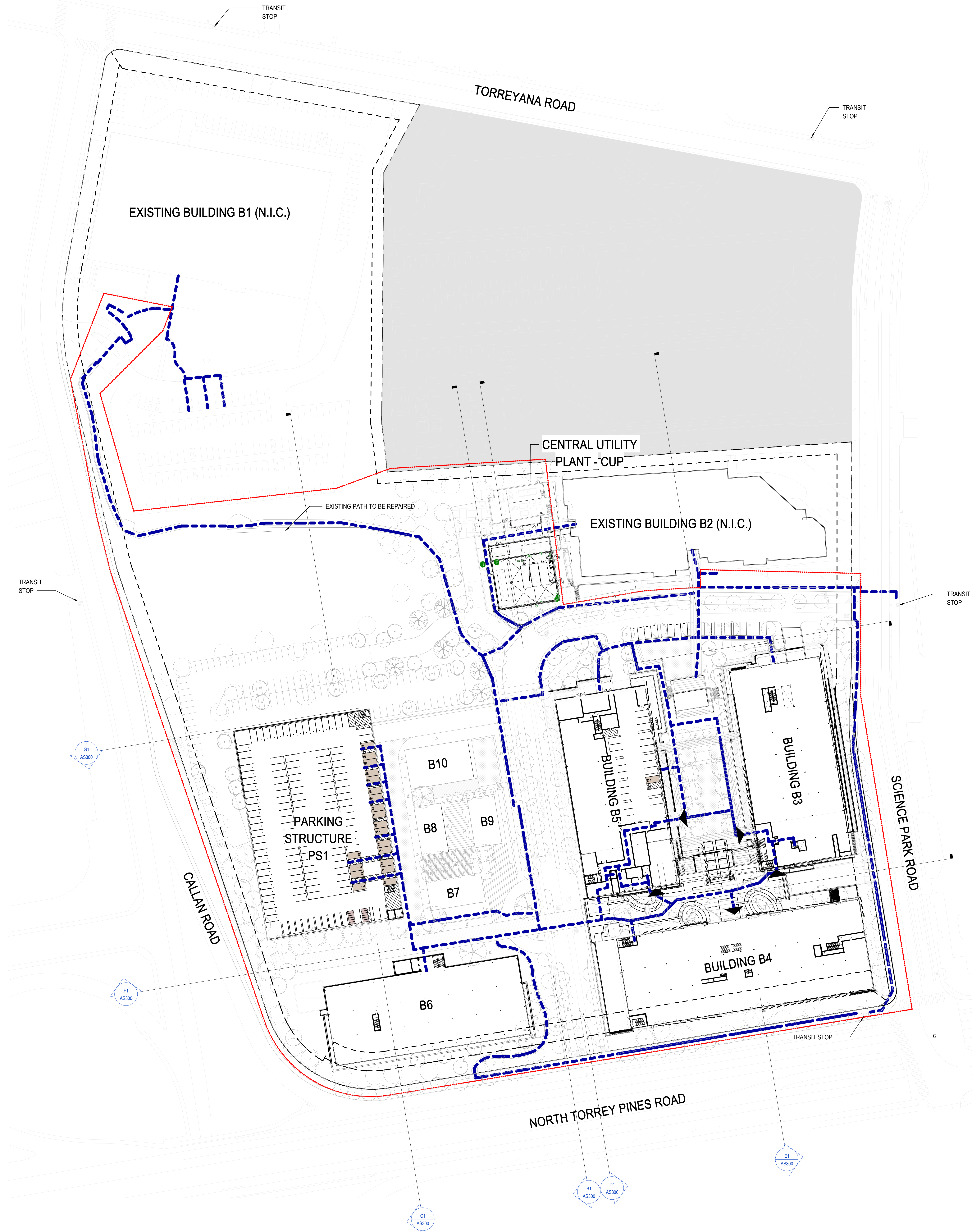
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SITE
ACCESSIBILITY
PLAN

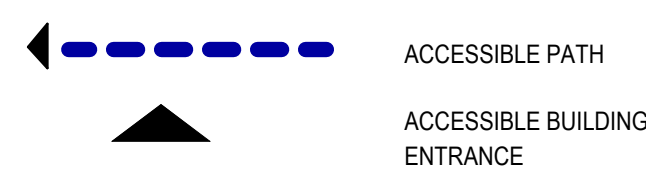
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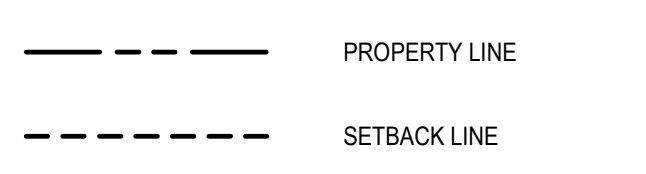
60 TOTAL SHEETS



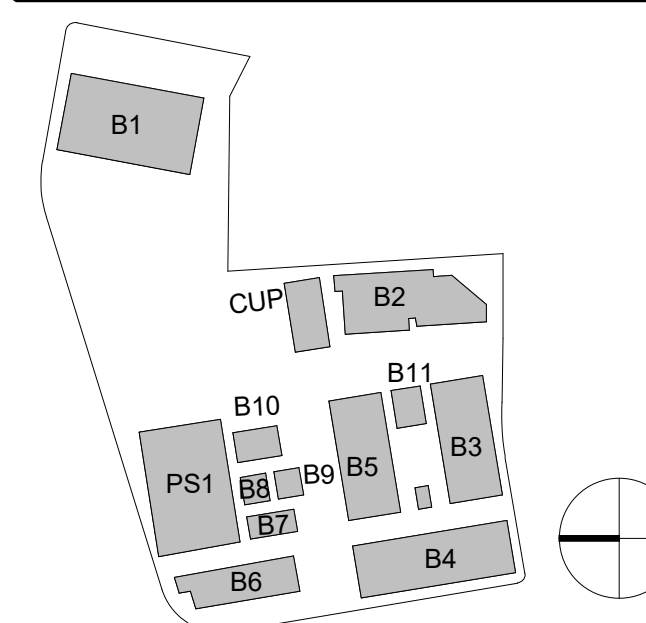
ACCESSIBILITY SITE PLAN LEGEND



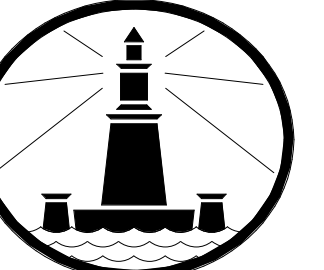
LEGENDS



KEYPLAN



A1 SITE ACCESSIBILITY PLAN



OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10996 TORREYANA ROAD, SUITE 250
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
DPR
5010 SHOREHAM PL, SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
RICK ENGINEERING
5820 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2805 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEC ENGINEERS
7360 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORN MINT RD SUITE 200
SAN DIEGO, CA 92127

1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.
3. HALFTONE CONTENT IS N.I.C.

- MEASUREMENTS FOR BUILDING HEIGHTS AND GRADE (ADJACENT GROUND ELEVATION) ARE PER THE 1970 UNIFORM BUILDING CODE (1970 UBC) AS ESTABLISHED IN PROP-D.

- DEFINITIONS PER 1970 UBC:

- HEIGHT OF BUILDING IS THE VERTICAL DISTANCE FROM THE "GRADE" TO THE HIGHEST POINT OF THE COPING OF A FLAT ROOF OR TO THE DECK LINE OF A MANSARD ROOF OR THE AVERAGE HEIGHT OF THE HIGHEST GABLE OF A PITCH OR HIP ROOF.

- GRADE (ADJACENT GROUND ELEVATION) IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND BETWEEN THE EXTERIOR WALL OF A BUILDING AND A POINT 5 FEET DISTANT FROM SAID WALL, OR THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND BETWEEN THE EXTERIOR WALL OF A BUILDING AND THE PROPERTY LINE IF IT IS LESS THAN 5 FEET DISTANT FROM SAID WALL. IN CASE WALLS ARE PARALLEL TO AND WITHIN 5 FEET OF PUBLIC SIDE-WALK, ALLEY OR OTHER PUBLIC WAY, THE GRADE SHALL BE THE ELEVATION OF THE SIDEWALK, ALLEY OR PUBLIC WAY.

- THE HEIGHT LIMIT FOR BUILDINGS AND STRUCTURES LOCATED IN THE "COASTAL ZONE" IS SPECIFIED IN THE LAND DEVELOPMENT CODE (LDC), SECTION 132.0505

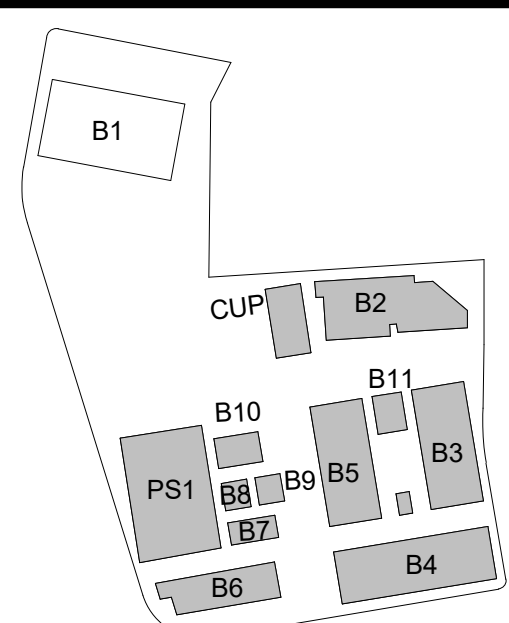
- 'COASTAL ZONE' LIMITS THE HEIGHT OF BUILDINGS AND STRUCTURES TO 30 FEET. THIS BUILDING HEIGHT IS MEASURED FROM THE REFERENCE DATUM (BASE OF MEASUREMENT) TO THE HIGHEST POINT OF THE ROOF, PARAPET, MANSARD, EQUIPMENT, VENT, PIPE, AND ANTENNA OR, ANY OTHER ELEMENTS PROJECTED ABOVE THE ROOF.

** THE PROJECT PROPOSES A TEMPORARY SOLAR PANEL STRUCTURE THAT MAY PROTRUDE ABOVE THE HEIGHT LIMIT SHOULD IT BE DEEMED NECESSARY AT THE TIME OF INSTALLATION. PROJECT DRAWINGS AND SECTIONS SHOW THE POSSIBLE PROTRUSION OF SUCH ELEMENTS IN DASHED LINES. REFERENCE SHEET AE301 (SEE DASHED LINE ON SECTIONS B1, C1, D1 & E1) FOR POSSIBLE PROTRUSION OF TEMPORARY SOLAR PANELS ABOVE THE +465.00' COASTAL HEIGHT LIMIT.

LEGENDS

 PROPERTY LINE
 SETBACK LINE

KEYPLAN



ONE ALEXANDRIA
SQUARE

SITE
DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

01/04/2022

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06	11/08/2021	RE-SUBMITTAL (CYCLE
05	05/07/2021	RE-SUBMITTAL (CYCLE
04	2/9/2021	RE-SUBMITTAL (CYCLE
03	12/21/2020	RE-SUBMITTAL (CYCLE
02	11/03/2020	SDP 1ST SUBMITTAL
01	06/14/2020	MIR SUBMITTAL

SCALE As indicated	PROJECT ARCHITECT NBBJ LLP
PROJECT NUMBER	102320.10

SHEET ISSUE DATE 01/04/2022

SHEET NAME

PROP D 30'

HEIGHT LIMIT SITE

PLAN

SHEET NUMBER

1

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ARCHITECTURAL SITE PLAN - PROP D 30' HEIGHT LIMIT

$$1/32'' = 1'-0''$$

1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.
3. HALFTONE CONTENT IS N.I.C.

OWNER:
ALEXANDRIA REAL ESTATE EQUITIES, INC.
10996 TORREYANA ROAD, SUITE 250
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:
DPR
5010 SHOREHAM PL, SUITE 100
SAN DIEGO, CA 92122

CIVIL ENGINEER:
RICK ENGINEERING
5620 FRIARS ROAD
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:
GROUNDLEVEL
2605 STATE STREET B
SAN DIEGO, CA 92103

STRUCTURAL ENGINEER:
COFFMAN ENGINEERS
1455 FRAZEE ROAD, SUITE 600
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:
DEC ENGINEERS
7360 CARROLL ROAD, SUITE 100
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:
MPE CONSULTING
10807 THORN MINT RD SUITE 200
SAN DIEGO, CA 92127

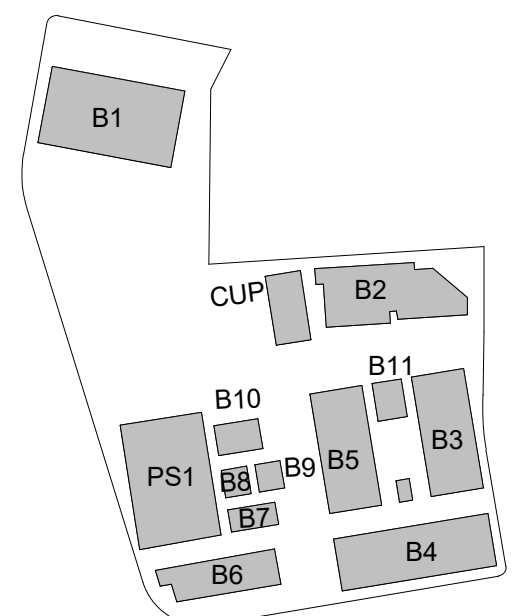
SITE
DEVELOPMENT
PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/8/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MIR SUBMITTAL

 PROPERTY LINE
 SETBACK LINE



PAGE NUMBER

AS105

60 TOTAL SHEETS

EXISTING BUILDING B2 (N.I.C.)

CENTRAL UTILITY
PLANT - CUP

BUILDING B3

BUILDING B4

BIKE ROOM
SHOWERS
LOCKERS

BIKE ROOM
SHOWERS
LOCKERS

ARCHITECTURAL SITE BASEMENT PLAN

$$1^{\circ} = 50' - 0''$$

SITE
DEVELOPMENT
PERMIT

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE
06	11/08/2021	RE-SUBMITTAL (CYCLE
05	05/07/2021	RE-SUBMITTAL (CYCLE
04	2/8/2021	RE-SUBMITTAL (CYCLE
03	12/21/2020	RE-SUBMITTAL (CYCLE
02	11/03/2020	SDP 1ST SUBMITTAL
01	09/19/2020	MIR SUBMITTAL

SHEET ISSUE DATE 01/04/2022

SHEET NAME

SHEET NUMBER

AS300

60 TOTAL SHEETS

