













SITE DEVELOPMENT PERMIT  
12/28/2021



ALEXANDRIA

# ONE ALEXANDRIA SQUARE

102320.10

12/30/2021 5:49:40 PM

**nbbj**

85 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



ALEXANDRIA

OWNER: ALEXANDRIA REAL ESTATE EQUITIES, INC. 1086 TORREYANA ROAD, SUITE 220 SAN DIEGO, CA 92121

CONSTRUCTION MANAGER: DRR 5015 SHOREHAM PL, SUITE 100 SAN DIEGO, CA 92122

MECHANICAL & PLUMBING ENGINEER: DAC ENGINEERS 7360 CARROLL ROAD, SUITE 100 SAN DIEGO, CA 92121

ELECTRICAL ENGINEER: MFC CONSULTING 1087 HORNMAN RD SUITE 200 SAN DIEGO, CA 92127

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

01/04/2022

Table with columns: MARK, DATE, DESCRIPTION. Includes revision history for submittals and permit status.

PROJECT NUMBER: 102320.10

SHEET NUMBER: 01/04/2022

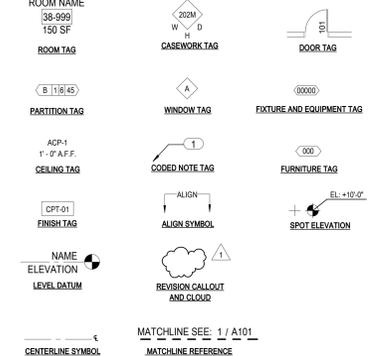
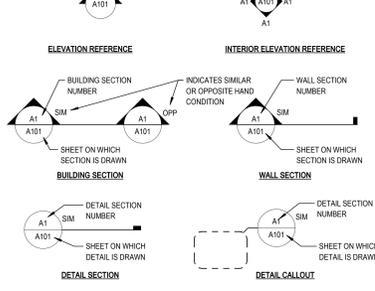
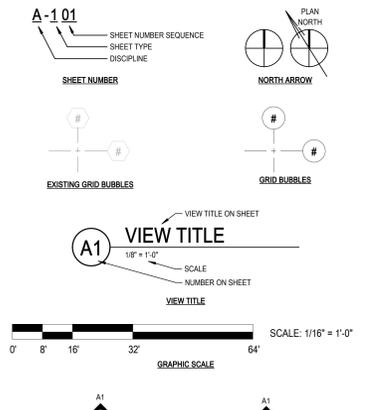
DEVELOPMENT DATA, ZONING CODE ANALYSIS & GENERAL NOTES

GC002

GENERAL NOTES

- 1. DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 36" x 48"
2. HORIZONTAL DIMENSIONS SHOW INDICATE FACE OF CONCRETE, FACE OF SHEATHING, CENTERLINE OF COLUMN OR LINE, OR FACE OF FINISH INTERIOR, UNLESS OTHERWISE NOTED.
3. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF NBBJ AND HAVE BEEN PREPARED FOR USE IN THE EXECUTION OF THE ENCLOSED PROJECT. USE OR REPRODUCTION FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF NBBJ IS PROHIBITED.

SYMBOLGY LEGEND



SITE DEVELOPMENT PERMIT

Table with columns: ROOM NAME, ROOM TAG, PARTITION TAG, CEILING TAG, FINISH TAG, NAME ELEVATION, LEVEL DATUM, CENTERLINE SYMBOL, MATCHLINE REFERENCE.

CITY OF SAN DIEGO PTS/PERMIT NUMBER

PTS Number: 660043
SDP No. 240624
CDP No. 2406425
TM No. 2406426
Building Permit: XXXXX
Permit Number: XXXXX
Grading Permit
Permit Number: XXXXX
Permit Number: XXXX

ABBREVIATIONS

Table of abbreviations for architectural and engineering terms, including AT, ACC, AC, etc.

VICINITY MAP



SHEET LIST

Table with columns: SHEET NUMBER, SHEET NAME. Lists sheets from G0001 to G4303.

PROJECT DESCRIPTION

ONE ALEXANDRIA SQUARE (OAS) PROJECT DESCRIPTION: THE PROPOSED PROJECT SITE IS APPROXIMATELY 22.3 ACRES, LOCATED AT 10933 NORTH TORREY PINES ROAD (APN: 340-012-01-00, 340-012-02-00, 340-012-03-00, 340-012-04-00, 340-012-05-00, 340-012-06-00) IN THE 1-1-1 ZONE, COASTAL OVERLAY, COASTAL HEIGHT LIMIT, CAMPUS PARKING IMPACT, ACCIDENT POTENTIAL, ZONE 2, AND COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE OF THE UNIVERSITY COMMUNITY PLAN AREA.

Table with columns: BUILDING, USE, TOTAL BUILDING GFA, PARKING PROVIDED. Lists buildings B1 through P51.

AREA SUMMARIES

Table with columns: BUILDING NAME, TRUE, FALSE, Grand Total. Summarizes area for buildings B1 through P51.

FLOOR AREA FOR SHORT TERM BIKE CALCS

Table with columns: BUILDING NAME, TRUE, FALSE, Grand Total. Summarizes floor area for buildings B1 through P51.

FAA NOTE

THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15(A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS (CFR PART 77) NOTIFICATION IS NOT REQUIRED.

ZONING DETAILS (SAN DIEGO MUNICIPAL CODE)

ZONING DISTRICT: INDUSTRIAL - PARK (IP-1)
131.0102A-1 - THE PURPOSE OF THE IP-1 ZONES IS TO PROVIDE FOR HIGH QUALITY SCIENCE AND BUSINESS PARK DEVELOPMENT...
131.0102B-1 - IP-1-1 ALLOWS RESEARCH AND DEVELOPMENT USES WITH SOME LIMITED MANUFACTURING.

APPLICABLE CODES

ALL WORK PERFORMED UNDER THIS CONTRACT IS DESIGNED TO CONFORM TO THE FOLLOWING CODES AND REGULATIONS.
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA FIRE CODE (FCF)
LOCAL CITY OF SAN DIEGO MUNICIPAL CODE
LEGACY CODE
FEDERAL ACTS

PROJECT INFORMATION

BUILDING SUMMARY
PROJECT NAME: ONE ALEXANDRIA SQUARE
PROJECT ADDRESS: NORTH TORREY PINES ROAD SAN DIEGO, CA 92121
PROPOSED USE: RESEARCH AND DEVELOPMENT LAB AND OFFICE
ARCHITECT: LAURIE CHAMBERS
OWNER REPRESENTATIVE: MICHAEL D'AMBROSIA

SDMC INDUSTRIAL ZONES DEVELOPMENT REGULATION

MIN FRONT SETBACK: 20 FT
MIN SIDE SETBACK: 15 FT
MIN & STD REAR SETBACK: 15 FT
MAX STRUCTURE HEIGHT: UNLIMITED\*\*
STREET WALL REQUIREMENTS: NONE

UNIVERSITY COMMUNITY PLAN OVERLAY

DEVELOPMENT INTENSITY ELEMENT
IMPLEMENTATION OF DEVELOPMENT INTENSITY ELEMENT
COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPOZO) - DISCRETIONARY REVIEW
PERMIT TYPE: PROJECTS PROPOSED IN THE TORREY PINES MESA SUBAREAS SHALL BE REQUIRED TO PROVIDE 80-FOOT LANDSCAPED SETBACKS ALONG NORTH TORREY PINES ROAD...

BUILDING PLANNING & OCCUPANCY

OCCUPANCY GROUPS: BUSINESS (B)
DESIGN CRITERIA: RISK CATEGORY OF BUILDINGS: II (CBC TABLE 1604.5)
DESIGN CODE REFERENCE DOCUMENTS: ASCES/EI-7-16
SOIL CLASS: D - DEFAULT (SEE ASC 7 SECTION 11.4.3)

TYPE OF CONSTRUCTION

Table with columns: BUILDING NAME, USABLE AREA, TOTAL EMPLOYEES. Lists buildings B1 through B10.

PARKING REQUIREMENTS PER SDMC

Table with columns: BUILDING, PROJECT GFA, LAB, R&D, CREATIVE OFFICE, AND ACCESSORY GSF, TPA MIN PARKING RATIO, MIN PARKING REQUIRED, MAX PARKING RATIO, MAX ALLOWED PARKING, MOTORCYCLE PARKING, PARKING PROVIDED (IN-BUILDING), PARKING PROVIDED (SURFACE), TOTAL PARKING PROVIDED, ACCESSIBLE PARKING REQ'D, VAN ACCESSIBLE PARKING REQUIRED, ACCESSIBLE PARKING PROVIDED, VAN ACCESSIBLE PARKING PROVIDED, LOADING AREA REQUIRED, LOADING AREAS PROVIDED, 6% OF PROVIDED EV CAPABLE / CHARGING STATIONS (EVCS), DESIGNATED CLEAN AIR VEHICLE PARKING/ CARPOOL, 10% OF REQ'D DESIGNATED CLEAN AIR VEHICLE PARKING/ CARPOOL.

PARKING REQUIRED PER BLDG / PARKING PROVIDED PER BLDG

Table with columns: BUILDING, PROJECT GFA, LAB, R&D, CREATIVE OFFICE, AND ACCESSORY GSF, TPA MIN PARKING RATIO, MIN PARKING REQUIRED, MAX PARKING RATIO, MAX ALLOWED PARKING, MOTORCYCLE PARKING, PARKING PROVIDED (IN-BUILDING), PARKING PROVIDED (SURFACE), TOTAL PARKING PROVIDED, ACCESSIBLE PARKING REQ'D, VAN ACCESSIBLE PARKING REQUIRED, ACCESSIBLE PARKING PROVIDED, VAN ACCESSIBLE PARKING PROVIDED, LOADING AREA REQUIRED, LOADING AREAS PROVIDED, 6% OF PROVIDED EV CAPABLE / CHARGING STATIONS (EVCS), DESIGNATED CLEAN AIR VEHICLE PARKING/ CARPOOL, 10% OF REQ'D DESIGNATED CLEAN AIR VEHICLE PARKING/ CARPOOL.

CLIMATE ACTION PLAN SHORT-TERM & LONG-TERM BIKE STORAGE CALCULATION, LOCKERS & SHOWER FACILITIES REQUIRED / PROVIDED

- CLIMATE ACTION PLAN CHECKLIST PROVIDES AREA PER EMPLOYEE AND THE MASTER SHOWER FACILITIES TABULATION METHOD FOR CALCULATION.
THE AREA OF 383 SF PER EMPLOYEE IS USED TO CALCULATE THE EMPLOYEES AS THE DEVELOPMENT IS R&D CAMPUS THAT IS ORIENTED FOR LAB/OFFICE USAGE.

Table with columns: LONG TERM BIKE STORAGE @ 5% OF PARKING STALLS CALC, AREA QUANTITIES TOWARDS PARKING, LONG TERM BIKE STORAGE BIKES @5% OF PARKING STALLS, SHORT-TERM BIKE STORAGE, AREA IS PARKING, SHORT TERM BIKE STORAGE GREATER COUNT PER BLDG.

SUMMARY FOR CLIMATE ACTION PLAN CHECKLIST:

Table with columns: SHORT-TERM BIKE STORAGE, LOCKERS, SHOWERS. Lists requirements and provided quantities.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: TOTAL REQUIRED, TOTAL PROVIDED, TOTAL BIKES, 54 BIKES, 58 BIKES, 112 BIKES.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: TOTAL REQUIRED, TOTAL PROVIDED, TOTAL BIKES, 54 BIKES, 58 BIKES, 112 BIKES.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: TOTAL REQUIRED, TOTAL PROVIDED, TOTAL BIKES, 54 BIKES, 58 BIKES, 112 BIKES.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: SDMC TABLE 142-10B Required Off-Street Loading Spaces for Industrial Use Category for Buildings Over 50,000 sq ft of GFA, 2 EXISTING @B2 (PTS-0678583), 5 IN SERVICE TUNNEL (SEE SHEET AE102), 2 EXISTING @B1, 2 ON GRADE, 1 @ VILLAGE, 1 @ CUP SEE SHEET AS101, SHEETAE108 & AE113 FOR LOCATIONS.

PROVIDED LOADING AREA SUMMARY

Table with columns: TOTAL REQUIRED, TOTAL PROVIDED, TOTAL BIKES, 54 BIKES, 58 BIKES, 112 BIKES.



OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10986 TORSEYVANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DRR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

CIVIL ENGINEER:  
ROCK ENGINEERING  
9020 FRIARS ROAD  
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2600 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZER ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEC ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:  
MPC CONSULTING  
10807 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127

### GROSS FLOOR AREA BREAK DOWN

BUILDING NAME	LEVEL	COUNTS TOWARDS		Grand Total
		TRUE	FALSE	
B1 (E) - 10996		67,266	11,000	78,266
B1 (E) - 10996 Total		67,266	11,000	78,266
B2 (E) - 3010		75,720	40,294	116,014
B2 (E) - 3010 Total		75,720	40,294	116,014
B3	BASEMENT		35,130	35,130
	LEVEL 1	17,741	16,443	34,184
	LEVEL 2	34,845		34,845
	LEVEL 3	33,279	2,286	35,564
B3 Total		85,865	53,858	139,723
B4	BASEMENT		41,263	41,263
	LEVEL 1	35,711	2,030	37,741
B4 Total		78,311	43,293	121,604
B5	BASEMENT		34,125	34,125
	LEVEL 1	34,375		34,375
	LEVEL 2	34,080	1,873	35,953
B5 Total		68,456	35,998	104,453
SERVICE TUNNEL	BASEMENT		24,516	24,516
SERVICE TUNNEL Total			24,516	24,516
B6	BASEMENT	4,440		4,440
	LEVEL 1	30,661	618	31,279
	LEVEL 2	1,907		1,907
B6 Total		37,007	26,207	63,214
B7	LEVEL 1	3,017		3,017
B7 Total		3,017		3,017
B8	LEVEL 1	2,473		2,473
B8 Total		2,473		2,473
B9	LEVEL 1	2,735		2,735
B9 Total		2,735		2,735
B10	LEVEL 1	4,986		4,986
	LEVEL 2	2,289		2,289
B10 Total		7,275		7,275
B11	BASEMENT		1,124	1,124
B11 Total			1,124	1,124
B12	LEVEL 1	1,446		1,446
B12 Total		1,446		1,446
CUP	BASEMENT		4,250	4,250
	LEVEL 1	7,388		7,388
CUP Total		11,638		11,638
PS1	LEVEL 1	54,058		54,058
	LEVEL 2	54,145		54,145
	LEVEL 3	54,145		54,145
	LEVEL 4	43,973		43,973
	BASEMENT 2	54,058		54,058
	BASEMENT 1	54,145		54,145
	BASEMENT 2 (UNDER RAMP)	1,080		1,080
PS1 Total		315,605		315,605
Grand Total		428,125	564,978	993,104

### PARKING GARAGE PS1

LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B2 FLOOR	126	0	0	0	0	126
B2 FLOOR BELOW RAMP	4	0	0	0	0	4
RAMP B2-B1	44	0	0	0	0	44
BASEMENT 2	174	0	0	0	0	174
B1 FLOOR	126	0	0	0	0	126
RAMP B1-F1	44	0	0	0	0	44
BASEMENT 1	170	0	0	0	0	170
1ST FLOOR	50	41	15	5	20	111
RAMP F1-F2	44	0	0	0	0	44
FLOOR 1	94	41	15	5	20	155
2ND FLOOR	123	0	0	0	0	123
RAMP F2-F3	44	0	0	0	0	44
FLOOR 2	167	0	0	0	0	167
3RD FLOOR	126	0	0	0	0	126
RAMP F3-F4	44	0	0	0	0	44
FLOOR 3	170	0	0	0	0	170
4TH FLOOR	132	0	0	0	0	132
FLOOR 4	132	0	0	0	0	132
TOTAL GARAGE STALLS	907	41	15	5	20	968

### NEW LAB BUILDINGS B3, B4 & B5 - PARKING

LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B3 BASEMENT	53	3	2	1	3	60
B4 BASEMENT	60	3	0	2	2	65
B5 BASEMENT	21	0	1	1	2	23
SITE ENCLOSED IN PVT DRIVE B	0	8	6	1	7	15
TOTAL STALLS	134	14	9	5	14	163

**SDMC §113.0234 (a)(2)(A)**  
For lots that slope less than 5 percent along each edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 3 feet, 6 inches as shown in Diagram 113-02I.

**Diagram 113-02I**  
Basements with Less than 5 Percent Slope

**SDMC §113.0234 (a)(2)(B)**  
For lots that slope 5 percent or more along any edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 5 feet, as shown in Diagram 113-02J.

**Diagram 113-02J**  
Basements with 5 Percent or More Slope

**SDMC §113.0234(d)(3)(B)**  
In order to exclude a parking structure from the calculation of gross floor area, a combination of at least two of the following shall be incorporated into project design as follows:

- The parking structure includes at least one subterranean floor where the vertical distance between adjacent grade and the finished floor elevation above is 5 feet or less. Elevations that provide vehicular access to a subterranean parking level may still meet this provision where the vertical distance is 5 feet or less as measured in accordance with Section 113.0234(a)(3)(B);
- The parking structure is part of a wrapped design to screen parked vehicles within the structure from the adjacent public right-of-way;
- The parking structure is screened from the adjacent public right-of-way on at least two elevations; or
- The parking structure is at least 40 percent open on at least two elevations.

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	08/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	1/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MFR SUBMITTAL

PROJECT NUMBER: 102320.10

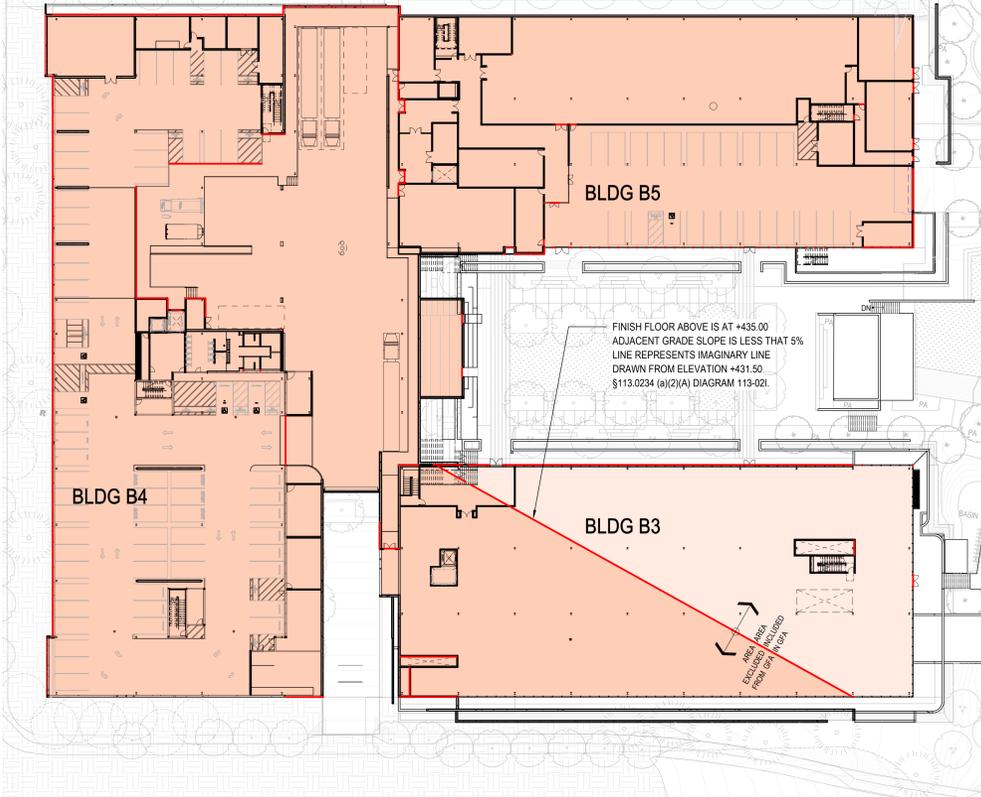
SHEET NAME: GFA PLANS - SOUTH CAMPUS

SHEET NUMBER: G1011

60 TOTAL SHEETS



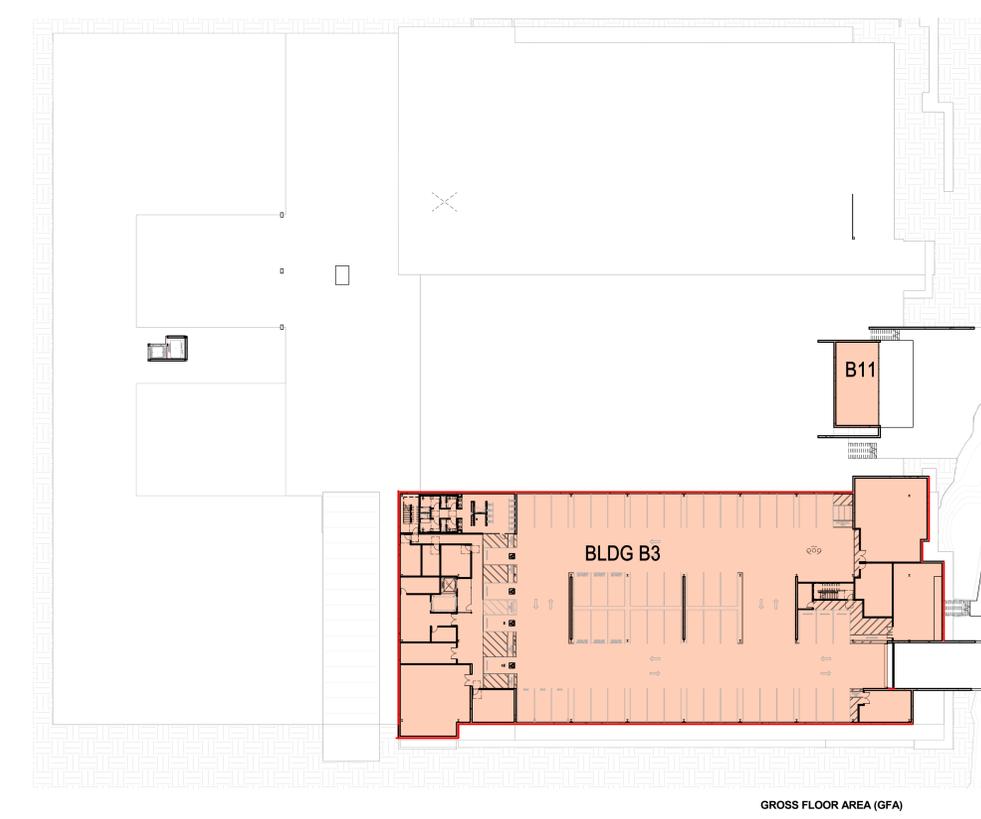
D1 B3 LEVEL 3 - B4 & B5 LEVEL 2 - GFA PLAN  
1/32" = 1'-0"



D3 B3 LEVEL 1 - B4 & B5 BASEMENT LEVEL - GFA PLAN  
1/32" = 1'-0"



A1 B3 LEVEL 2 - B4 & B5 LEVEL 1 - GFA PLAN  
1/32" = 1'-0"



A3 B3 BASEMENT LEVEL - GFA PLAN  
1/32" = 1'-0"

GROSS FLOOR AREA BREAK DOWN

Sum of Area	COUNTS TOWARDS		Grand Total
	GFA	FALSE	
B1 (E) - 10996	67,266	11,000	78,266
B1 (E) - 10996 Total	67,266	11,000	78,266
B2 (E) - 3010	75,720	40,294	116,014
B2 (E) - 3010 Total	75,720	40,294	116,014
B3			
B3 Total	85,865	53,858	139,723
B4			
B4 Total	76,311	43,293	121,404
B5			
B5 Total	68,456	35,998	104,454
SERVICE TUNNEL			
SERVICE TUNNEL Total	24,516	24,516	24,516
B6			
B6 Total	37,007	26,207	63,214
B7			
B7 Total	2,473	2,473	2,473
B8			
B8 Total	2,473	2,473	2,473
B9			
B9 Total	2,735	2,735	2,735
B10			
B10 Total	4,986	4,986	4,986
B11			
B11 Total	1,124	1,124	1,124
B12			
B12 Total	1,446	1,446	1,446
CUP			
CUP Total	4,250	4,250	4,250
PS1			
PS1 Total	315,605	315,605	315,605
Grand Total	428,123	564,978	993,104

**PARKING GARAGE PS1**

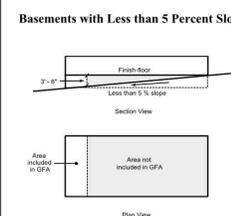
LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B2 FLOOR	126	0	0	0	0	126
B2 FLOOR BELOW RAMP	4	0	0	0	0	4
RAMP B2-B1	44	0	0	0	0	44
BASEMENT 2	174	0	0	0	0	174
B1 FLOOR	126	0	0	0	0	126
RAMP B1-F1	44	0	0	0	0	44
BASEMENT 1	170	0	0	0	0	170
FLOOR 1	50	41	15	5	20	111
RAMP F1-F2	44	0	0	0	0	44
2ND FLOOR	123	0	0	0	0	123
RAMP F2-F3	44	0	0	0	0	44
FLOOR 2	167	0	0	0	0	167
3RD FLOOR	126	0	0	0	0	126
RAMP F3-F4	44	0	0	0	0	44
FLOOR 3	170	0	0	0	0	170
4TH FLOOR	132	0	0	0	0	132
FLOOR 4	132	0	0	0	0	132
TOTAL GARAGE STALLS	907	41	15	5	20	968

**NEW LAB BUILDINGS B3, B4 & B5 - PARKING**

LOCATION	REGULAR STALLS	EV	ACCESSIBLE	VAN ACCESSIBLE	TOTAL ACCESSIBLE	TOTAL STALLS
B3 BASEMENT	53	3	2	1	3	60
B4 BASEMENT	60	3	0	2	2	65
B5 BASEMENT	21	0	1	1	2	23
AT 3RD BLDG	0	8	6	1	7	15
TOTAL STALLS	134	14	9	5	14	163

SDMC §113.0234 (a)(2)(A) SDMC §113.0234(d)(3)(B)

For lots that slope less than 5 percent along each edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 3 feet, 6 inches as shown in Diagram 113-02I.

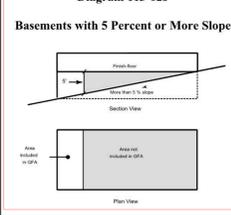


In order to exclude a parking structure from the calculation of gross floor area, a combination of at least two of the following shall be incorporated into project design as follows:

- (i) The parking structure includes at least one subterranean floor where the vertical distance between adjacent grade and the finished floor elevation above is 5 feet or less. Elevations that provide vehicular access to a subterranean parking level may still meet this provision where the vertical distance is 5 feet or less as measured in accordance with Section 113.0234(a)(3)(B);
- (ii) The parking structure is part of a wrapped design to screen parked vehicles within the structure from the adjacent public right-of-way;
- (iii) The parking structure is screened from the adjacent public right-of-way on at least two elevations; or
- (iv) The parking structure is at least 40 percent open on at least two elevations.

SDMC §113.0234 (a)(2)(B)

For lots that slope 5 percent or more along any edge of the building footprint, gross floor area includes the area of all portions of a basement where the vertical distance between existing grade or proposed grade, whichever is lower, and the finish-floor elevation above exceeds 5 feet, as shown in Diagram 113-02J.



**KEYPLAN**

**REVISIONS**

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	08/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	1/22/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MRS SUBMITTAL

SCALE: 1/32" = 1'-0"  
PROJECT ARCHITECT: NBBJ LLP  
PROJECT NUMBER: 102320.10

SHEET ISSUE DATE: 01/04/2022  
SHEET NAME: GFA PLANS - NORTH CAMPUS  
SHEET NUMBER: G1012  
60 TOTAL SHEETS

E1 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 4  
1/32" = 1'-0"

D1 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 3  
1/32" = 1'-0"

E3 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 2  
1/32" = 1'-0"

A1 CUP - GFA PLAN - BASEMENT  
1/32" = 1'-0"

B1 CUP - GFA PLAN - LEVEL 1  
1/32" = 1'-0"

C3 PARKING GARAGE & VILLAGE - GFA PLAN - LEVEL 1  
1/32" = 1'-0"

B3 PARKING GARAGE & VILLAGE - GFA PLAN - BASEMENT 1  
1/32" = 1'-0"

A4 PARKING GARAGE & VILLAGE - GFA PLAN - BASEMENT 2  
1/32" = 1'-0"

**GROSS FLOOR AREA (GFA)**



### AREA BREAKDOWN FOR PARKING CALC

BUILDING NAME	LEVEL	COUNTS TOWARDS PLUMBING FIXTURES		
		TRUE	FALSE	Grand Total
B1 (E) - 3099	(Dark)	78,265		78,265
B2 (E) - 3010	(Dark)	75,720	40,294	116,014
B3	BASEMENT	33,464	35,130	68,594
	LEVEL 2	32,295	2,550	34,845
	LEVEL 3	32,305	3,260	35,564
B3 Total		98,064	41,659	139,723
B4	BASEMENT	41,154	447	41,601
	LEVEL 1	35,727	3,014	38,741
B4 Total		76,881	44,723	121,604
B5	BASEMENT	12,056	22,969	34,125
	LEVEL 1	33,501	875	34,375
	LEVEL 2	32,924	3,029	35,953
B5 Total		78,481	25,973	104,453
SERVICE TUNNEL	BASEMENT		24,516	24,516
SERVICE TUNNEL Total			24,516	24,516
B6	BASEMENT	30,028		30,028
	LEVEL 1	30,844	434	31,279
	LEVEL 2	1,235	672	1,907
B6 Total		62,108	1,106	63,214
B7	LEVEL 1	3,017		3,017
B7 Total		3,017		3,017
B8	LEVEL 1	2,473		2,473
B8 Total		2,473		2,473
B9	LEVEL 1	2,735		2,735
B9 Total		2,735		2,735
B10	LEVEL 1	4,986		4,986
	LEVEL 2	2,289		2,289
B10 Total		7,275		7,275
B11	BASEMENT	1,124		1,124
B11 Total		1,124		1,124
B12	LEVEL 1		1,445	1,445
B12 Total			1,445	1,445
CUP	BASEMENT		4,250	4,250
	LEVEL 1		7,388	7,388
CUP Total			11,638	11,638
PS1	LEVEL 1		54,058	54,058
	LEVEL 2		54,145	54,145
	LEVEL 3		54,145	54,145
	LEVEL 4		43,973	43,973
	BASEMENT 2		54,058	54,058
	BASEMENT 1		54,145	54,145
	BASEMENT 2 (UNDER RAMP)		1,080	1,080
PS1 Total			315,605	315,605
Grand Total		486,144	506,960	993,104

### AREAS FOR NEW PLUMBING FIXTURES

BUILDING NAME	AREA
B3	98,064
B4	76,881
B5	78,481
B6	62,108
B7	3,017
B8	2,473
B9	2,735
B10	7,275
B11	1,124
Grand Total	332,158

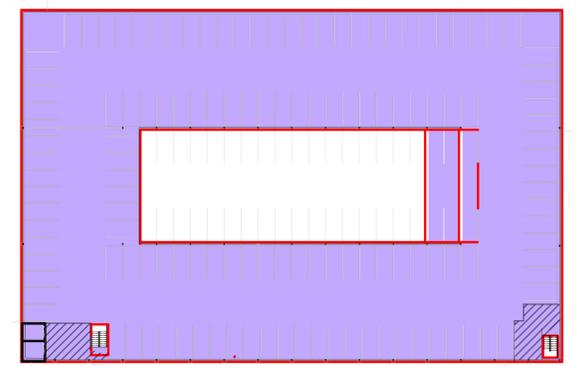
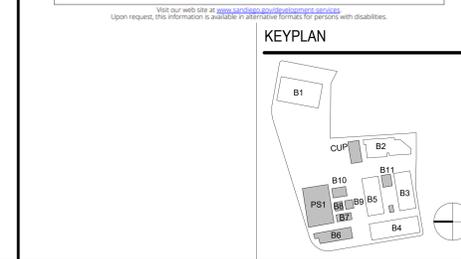
- NOTES:
- PUBLIC TOILET FACILITIES SHALL NOT BE REQUIRED FOR PARKING GARAGES WHERE OPERATED WITHOUT PARKING ATTENDANTS (CBC 2902.3 EXCEPTION 1).
  - SHEET G008 SHOWS THE FULL BREAKDOWN OF THE AREAS IN EACH BUILDING ON THE ONE ALEXANDRIA SQUARE CAMPUS, INCLUDING THE EXISTING TWO BUILDINGS B1 AND B2. THE PROVIDED PLUMBING FIXTURE COUNTS FOR B1 AND B2 ARE NOT AVAILABLE AND ARE COVERED UNDER SEPARATE BUILDING PERMITS.
  - SHEET G1201 SHOWS THE CALCULATIONS OF PLUMBING FIXTURES FOR THE NEW BUILDINGS B3, B4, B5, B6, B7, & B8.
  - SHEETS G1201 AND G1202 SHOW THE PLANS WITH THE AREAS HIGHLIGHTED DISTINGUISHING THE AREAS THAT ACCOUNT FOR PLUMBING FIXTURES AND THE AREAS THAT DO NOT COUNT.
  - PLUMBING FIXTURE COUNTS ARE CALCULATED BASED ON THE CITY OF SAN DIEGO TECHNICAL BULLETIN PLMB-4-1, WHICH CONSOLIDATES THE REQUIREMENTS OF 2019 CBC AND 2019 CPC.
    - OCCUPANT LOAD IS DETERMINED PER CBC 2019 TABLE 1004.1.2 FOR LABORATORY SUITE BASED ON 200 SF GROSS PER OCCUPANT, AND TABLE A-OCCUPANT LOAD FOR PLUMBING FIXTURES IN CITY OF SAN DIEGO TECHNICAL BULLETIN PLMB-4-1 (AUGUST 2019 PAGE 3) [EXCERPT ON THIS SHEET BELOW]
  - PLUMBING FIXTURE COUNTS ARE PER CPC 2019 TABLE 422.1

Page 3  
City of San Diego - Technical Bulletin PLMB-4-1  
August 2019

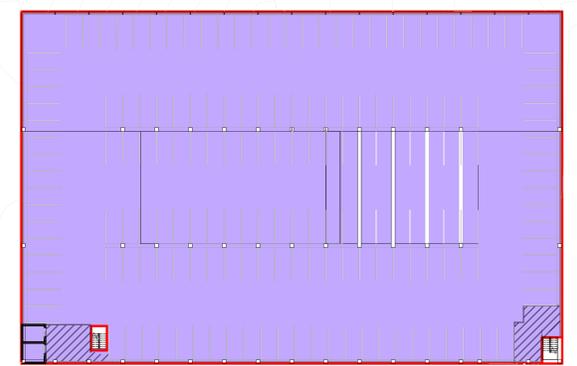
#### TABLE A - OCCUPANT LOAD FOR PLUMBING FIXTURES

Use	Occupant Load (square feet unless noted)
<b>Assembly Uses*</b>	
Auditoriums, convention centers, dance floors, stadiums, casinos	15
Conference rooms, exhibit rooms, lounges, meeting rooms, recreation rooms, gymnasiums and multipurpose rooms, stages	30
Pool	100
Pool deck	30
Restaurants, dining rooms, drinking establishments, sidewalk cafe	30
Workout areas, yoga studios, game rooms	30
Worship places, including principal assembly area, educational and activity areas	30
<b>Business Uses</b>	
Banks, clinics, dry cleaning, post offices	200
Barbershops, hair salons, beauty salons, tanning salons	100
Cashier areas, check rooms	200
Classrooms for educational facilities	50
Computer training rooms with fixed workstations	100
Laboratories	200
Offices, open office areas	200
<b>Educational Uses</b>	
Schools for daycare, elementary and secondary	50
<b>Factory and Hazardous Uses</b>	
Commercial kitchens	400
Factories, manufacturing, workshops, hazardous materials storage	2,000
<b>Institutional Uses</b>	
Hospital areas, healthcare facilities	200

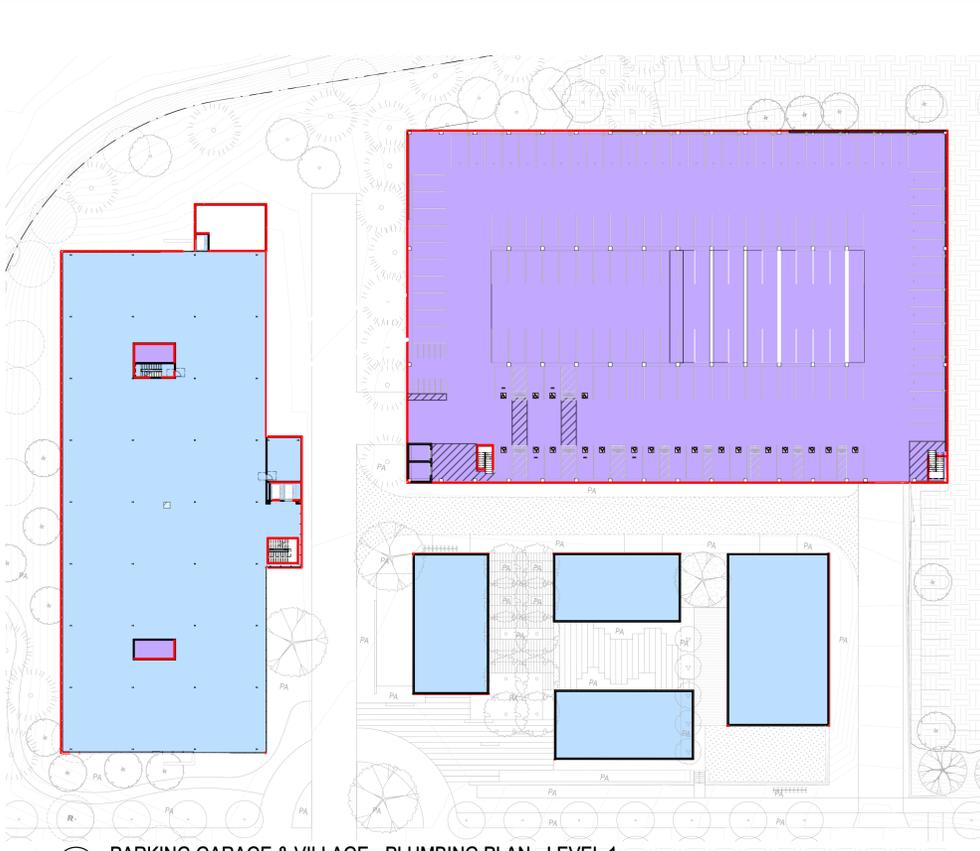
\* For areas with fixed seats, use 1/2 the number of fixed seating to calculate the occupant load.



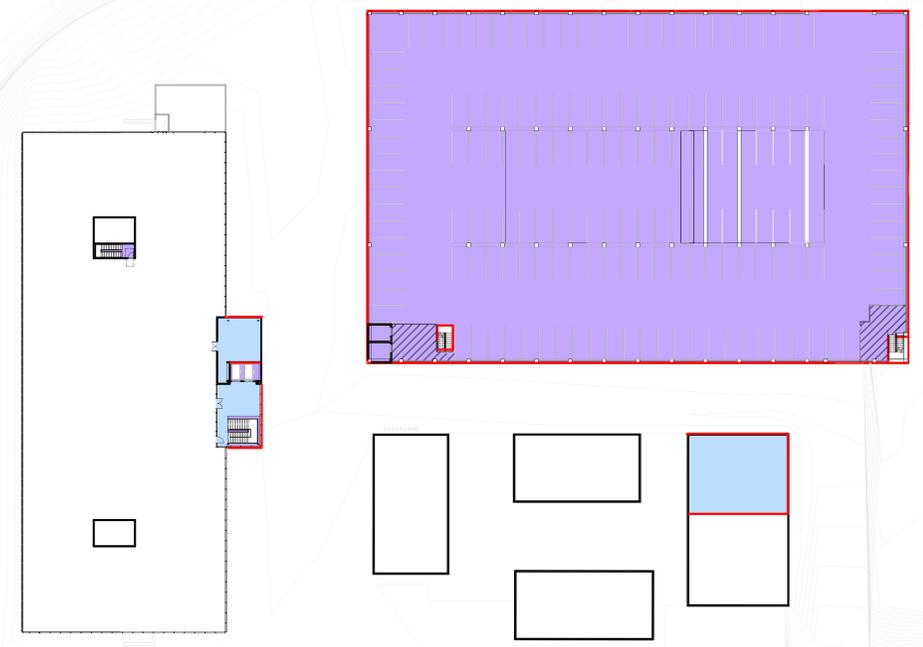
A3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 4



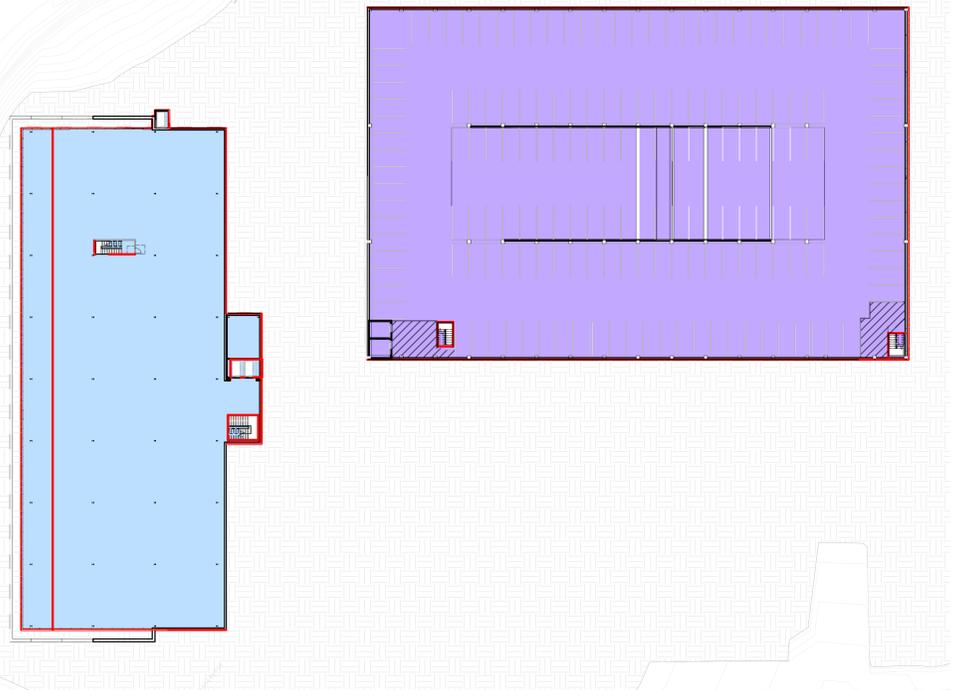
B3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 3



B1 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 1



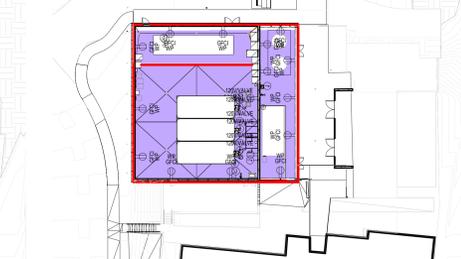
D3 PARKING GARAGE & VILLAGE - PLUMBING PLAN - LEVEL 2



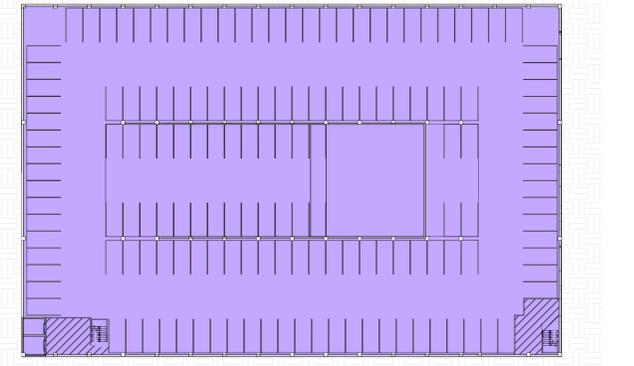
D1 PARKING GARAGE & VILLAGE - PLUMBING PLAN - BASEMENT 1



A1 CUP - PLUMBING PLAN - BASEMENT



A2 CUP - PLUMBING PLAN - LEVEL 1



A4 PARKING GARAGE & VILLAGE - PLUMBING PLAN - BASEMENT 2

### REVISIONS

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	1/22/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MFR SUBMITTAL



**OWNER:**  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
1098 TORREYANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

**CONSTRUCTION MANAGER:**  
DPR  
5010 SHOREHAM PL., SUITE 100  
SAN DIEGO, CA 92122

**CIVIL ENGINEER:**  
RCK ENGINEERING  
9020 FRIARS ROAD  
SAN DIEGO, CA 92110

**LANDSCAPE ARCHITECT:**  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

**STRUCTURAL ENGINEER:**  
COFFMAN ENGINEERS  
1455 FRAZER ROAD, SUITE 600  
SAN DIEGO, CA 92108

**MECHANICAL & PLUMBING ENGINEER:**  
DEC ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

**ELECTRICAL ENGINEER:**  
MFC CONSULTING  
1087 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127

1. THE FULL EXTENT OF THIS WORK INCLUDES ALL DEMOLITION NECESSARY FOR THE INSTALLATION OF NEW CONSTRUCTION. COORDINATE DEMOLITION OUTSIDE THE PROJECT AREA TO THE POINT OF CONNECTION FOR MECHANICAL, ELECTRICAL AND PLUMBING.
2. EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SERVICES WHICH SERVE OTHER EXISTING OCCUPIED AREAS MUST REMAIN AND SHALL BE PROTECTED DURING THE CONSTRUCTION.
3. ERECT AND MAINTAIN TEMPORARY BRACING, BARRICADES, SIGNS AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS AND ADJOINING PROPERTY FROM DAMAGE DURING DEMOLITION WORK.
4. PROTECT EXISTING TO REMAIN CONSTRUCTION AND FINISHES.
5. DOORS INDICATED FOR REMOVAL SHALL HAVE FRAMES, ADJACENT JAMBES, HARDWARE ETC. REMOVED.
6. ALL FLOOR FLEES TO BE REMOVED WHERE OCCURS AREA OF DEMOLITION, UNLESS NOTED OTHERWISE.
7. REMOVE ALL EXISTING CASEWORK WHERE OCCURS IN AREA OF DEMOLITION, UNLESS OTHERWISE NOTED.

**CALGREEN 2019 COMPLIANCE NOTES**

**SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING**

**5.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

**5.408.1.1 Construction waste management plan.** Where a local jurisdiction does not have a construction and demolition waste management ordinance, submit a construction waste management plan that:

1. Identifies the construction and demolition waste materials to be diverted from disposal by efficient usage, recycling, reuse on the project or salvage for future use or sale.
2. Determines if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
3. Identifies diversion facilities where construction and demolition waste material collected will be taken.
4. Specifies that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

**5.408.1.2 Waste Management Company.** Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.

**Note:** The owner or contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company.

**Exceptions to Sections 5.408.1.1 and 5.408.1.2:**

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.
3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

**5.408.1.3 Waste stream reduction alternative.** The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65% minimum requirements approved by the enforcing agency.

**5.408.1.4 Documentation.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Sections 5.408.1.1, through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

**Notes:**

1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at [www.bsc.ca.gov/Home/CALGreen.aspx](http://www.bsc.ca.gov/Home/CALGreen.aspx) may be used to assist in documenting compliance with the waste management plan.
2. Mixed construction and demolition debris processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

**DEMOLITION LEGEND**

AREA TO BE DEMOLISHED

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	1/22/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MFR SUBMITTAL

SCALE: PROJECT ARCHITECT

As Indicated NBBJ LLP

PROJECT NUMBER: 102320.10

SHEET NUMBER

SHEET ISSUE DATE: 01/04/2022

SHEET NAME

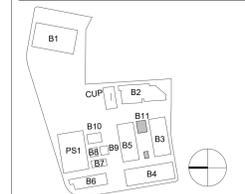
SITE DEMOLITION PLAN

SHEET NUMBER

AD100

60 TOTAL SHEETS

**KEYPLAN**



12/30/2021 5:04:51 PM  
BIN 360/102320.00 - ARE Torrey Pines R2/ARCH-OAS Entitlements Submission 2021-R21.rvt





88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



ALEXANDRIA

**OWNER:**  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10986 TORREYANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

**CONSTRUCTION MANAGER:**  
DPR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

**CIVIL ENGINEER:**  
RICK ENGINEERING  
5620 FRIARS ROAD  
SAN DIEGO, CA 92110

**LANDSCAPE ARCHITECT:**  
GROUNDLEVEL  
260 STATE STREET S  
SAN DIEGO, CA 92103

**STRUCTURAL ENGINEER:**  
COFFMAN ENGINEERS  
1455 FRAZER ROAD, SUITE 600  
SAN DIEGO, CA 92108

**MECHANICAL & PLUMBING ENGINEER:**  
DEC ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

**ELECTRICAL ENGINEER:**  
MPC CONSULTING  
10807 THORNANT RD SUITE 200  
SAN DIEGO, CA 92127

**NOTES ON OPEN SPACE EASEMENT:**  
ONE OF THE MAJOR URBAN DESIGN ISSUES IN SUBAREA 1 RELATES TO THE PROTECTION OF NATURAL TOPOGRAPHY AND VEGETATION. ALSO, THERE IS A NEED TO ENHANCE PUBLIC ACCESS TO UNIQUE PANORAMIC VISTAS OF THE COASTAL BLUFFS, THE CAMPUS, GOLDEN TRIANGLE AND SORRENTO VALLEY.

THE UNIVERSITY PLAN PROVIDES RECOMMENDATIONS WITH WHICH CONSIST OF TWO PARTS: OBJECTIVE AND ACCOMPLISHED BY. THE PROPOSED MASTER PLAN ACHIEVES A NUMBER OF OBJECTIVES, AND THE FOLLOWING EXPLAINS HOW THEY ARE ACCOMPLISHED:

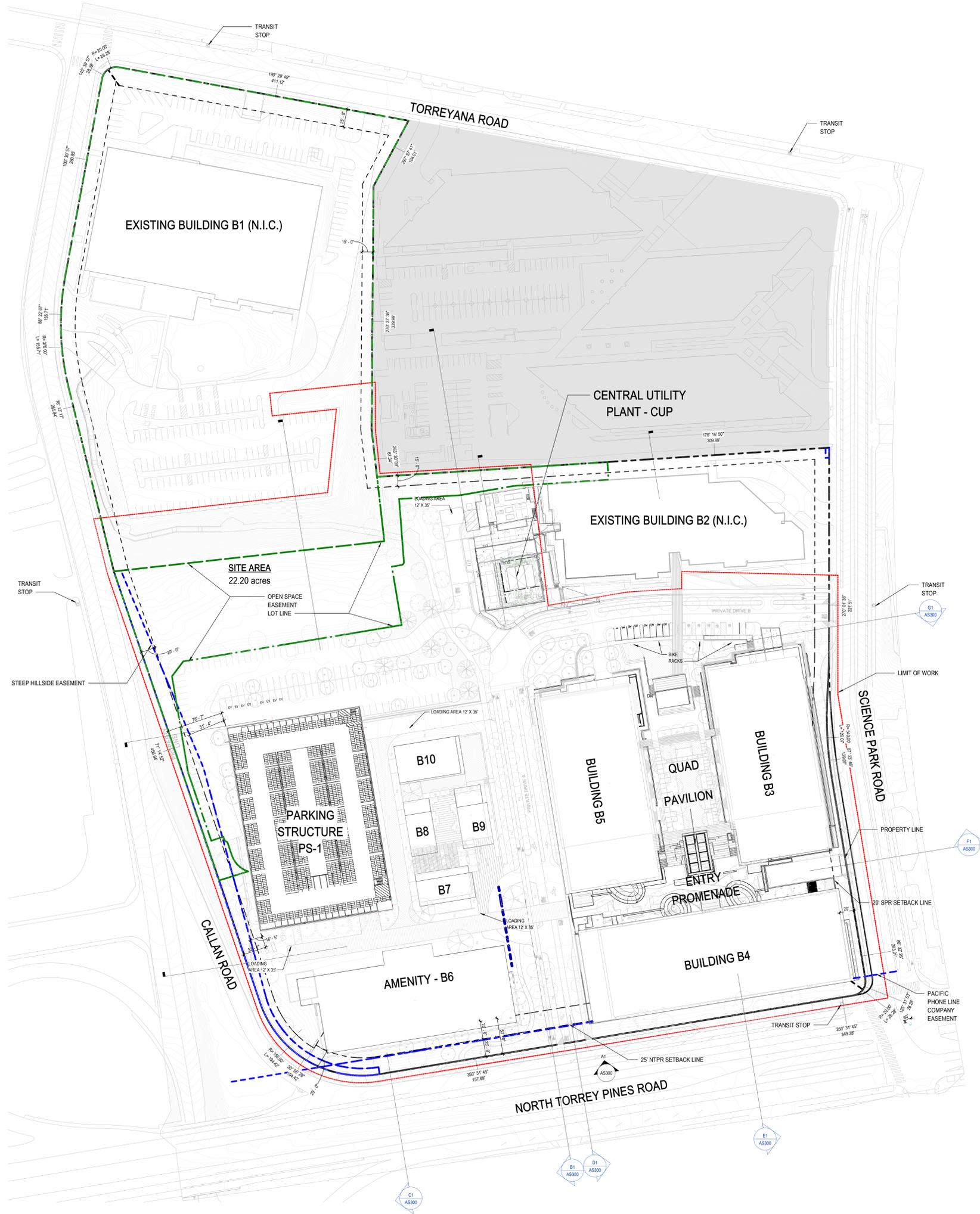
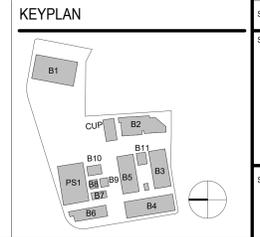
- OBJECTIVE 1**
- PROTECT AND TAKE MAXIMUM ADVANTAGE OF THE TORREY PINES SUBAREA'S TOPOGRAPHY AND UNIQUE NATURAL VEGETATION. THIS IS ACCOMPLISHED BY:
    - ENSURING THAT DEVELOPMENTS DO NOT INTRUDE INTO THE DESIGNATED OPEN SPACE AREAS.
    - PRESERVING EXISTING MATURE TREES. WHEN FEASIBLE, DEVELOPMENT SHOULD OCCUR AROUND AND IN BETWEEN MATURE TREES. IF THAT IS NOT FEASIBLE, CONSIDERATION SHOULD BE GIVEN TO MOVING TREES INTO TEMPORARY NURSERIES DURING CONSTRUCTION. TRANSPLANTING IS USUALLY LESS EXPENSIVE THAN BUYING NEW TREES OF EQUAL SIZE FOR THE SITE.
    - THE PROJECT WILL BE DEVELOPED UNDER PLANNED DEVELOPMENT CONCEPTS IN COMPLIANCE WITH THE FOLLOWING CRITERIA IN ADDITION TO THAT FOUND IN THE HILLSIDE REVIEW OVERLAY ZONE AND THE RESOURCE PROTECTION OVERLAY ZONE:
      - AVOID DESTRUCTION OF NATIVE VEGETATION, WILDLIFE HABITATS, GEOLOGIC LANDMARKS, OR KNOWN ARCHAEOLOGICAL RESOURCES. SEE SHEETS AS101 AND AS102 WHICH PROVIDE THE OVERLAY ZONES FOR BOTH OPEN SPACE, PROTECTED VEGETATION AND CULTURAL RESOURCES.

- OBJECTIVE 2**
- MINIMIZE THE TOTAL AMOUNT OF IMPERVIOUS SURFACES SUCH AS PARKING, DRIVEWAYS, TERRACES, PATIOS, TENNIS COURTS AND OTHER SIMILAR FACILITIES. THIS IS ACCOMPLISHED BY:
    - THE PROJECT PROVIDES PEDESTRIAN AND BICYCLE PUBLIC ACCESS PATHS TO SCENIC VIEWPOINTS AS THE BIKE PATH COMES OFF OF NORTH TORREY PINES ROAD INTO PRIVATE ROAD A, AND COMES DOWN THE ROAD EAST ON AXIS WITH THE HIGH POINT VIEW THAT LOOKS OVER THE HORIZON. IT THEN TURNS INTO PRIVATE ROAD B, AND KEEPS GOING SOUTH CONNECTING TO THE SPECTRUM CAMPUS ACROSS SCIENCE PARK ROAD. A LARGER MASTERPLAN VIEW WOULD CONNECT THIS PATH VISUALLY TO THE CANYONS. PATH ENTRANCES IS CLEARLY VISIBLE FROM THE PUBLIC STREET AND OPEN AT ALL TIMES. THE ACCESS PATH WOULD TERMINATE AT A POINT OFFERING SCENIC VISTAS OF COASTAL BLUFFS OR OTHER NATURAL RESOURCES AS IT CONNECTS TO THE OPEN AREA BY BUILDING B8, WHICH WOULD OFFER PANORAMIC VIEWS THE CAMPUS AMENITY VILLAGE. THE PATH TERMINUS AREA WOULD BE RELATIVELY FLAT PER THE GRADING PLANS (SEE CIVIL DRAWINGS).

- OBJECTIVE 3**
- ENSURE THAT THE MASSING OF STRUCTURES AND DESIGN DETAIL OF NEW BUILDINGS CONTRIBUTE TO A VISUALLY COHERENT STREETSCAPE. THIS IS ACCOMPLISHED BY:
    - USING MAJOR VARIATIONS IN THE PLANES OF WALL SURFACES, E.G., ANGLED OR RECESSED WALLS AND PROMINENT ARCHITECTURAL ELEMENTS AND TECHNIQUES TO AVOID A BOXY SQUARE BUILDING. PROJECT ELEVATIONS, RENDERING AND SITE SECTIONS ILLUSTRATE THIS OBJECTIVE.
    - SCREENING FROM PUBLIC VIEW ALL MECHANICAL EQUIPMENT, TRASH STORAGE, SERVICE AREAS AND UTILITY APPURTENANCES. SECTIONS SHOW WHERE MECHANICAL SYSTEMS ARE SUNK IN A WELL ON THE TOP FLOOR OF EACH OF BUILDINGS B3, B4 AND B5. THE CUP BUILDING HAS GABION WALLS SCREENING OFF THE COOLING TOWERS FROM VIEW.

**LEGENDS**

--- PROPERTY LINE  
--- SETBACK LINE



12/30/2021 5:35:49 PM  
BIN\_360/102320.00 - ARE Torrey Pines R21/ARCH-OAS Entitlements Submission 2021-R21.rvt

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MRS SUBMITTAL

**SCALE**  
As indicated  
**PROJECT ARCHITECT**  
NBBJ LLP  
**PROJECT NUMBER**  
102320.10

**SHEET NUMBER**  
AS101

**SHEET ISSUE DATE**  
01/04/2022

**SHEET NAME**  
ARCHITECTURAL SITE PLAN

**SHEET NUMBER**  
AS101

60 TOTAL SHEETS



88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



ALEXANDRIA

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
1098 TORREYANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DPR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

CIVIL ENGINEER:  
ROCK ENGINEERING  
5020 FRIARS ROAD  
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZEE ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEG ENGINEERS  
7380 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:  
MPC CONSULTING  
10807 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127



12/30/2021 5:38:05 PM  
BIN 360/102320.00 - ARE Torrey Pines R21(ARCH-OAS) Entitlements Submission 2021-R21.rvt

1 SITE PLAN OVERLAYS - ARCHAEOLOGICAL, VEGETATION, SENSITIVE CULTURAL ZONES, ROW & OPEN SPACE EASEMENT  
1" = 50' 0"

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MRS SUBMITTAL

LEGENDS	
---	PROPERTY LINE
---	SETBACK LINE

KEYPLAN

SCALE: As Indicated  
PROJECT NUMBER: 102320.10  
SHEET ISSUE DATE: 01/04/2022

SHEET NAME: SITE PLAN OVERLAYS, EASEMENTS & ARCHAEO ZONES  
SHEET NUMBER: AS102  
60 TOTAL SHEETS



88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10986 TORREYANA ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DMR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

CIVIL ENGINEER:  
RICK ENGINEERING  
5620 FRIARS ROAD  
SAN DIEGO, CA 92110

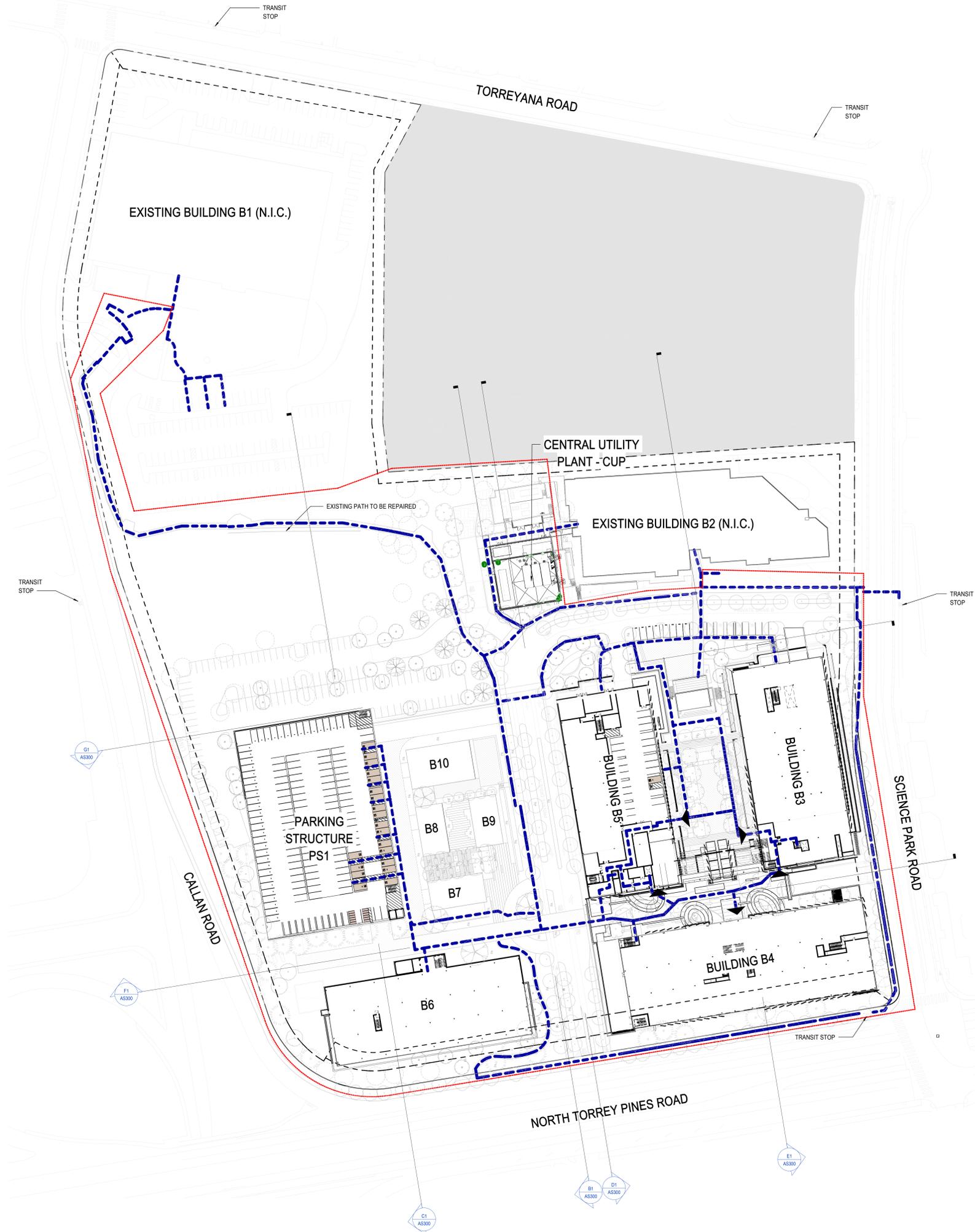
LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZER ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEG ENGINEERS  
7380 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:  
MPE CONSULTING  
10807 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127

1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
  2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.
  3. HALFTONE CONTENT IS N.I.C.
- WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTE MUST ADHERE TO THE FOLLOWING:
1. MUST BE CONTINUOUSLY ACCESSIBLE
  2. MUST HAVE A MAX. OF 1/2" CHANGE IN ELEVATION OR PROVIDE CURB RAMPS
  3. MUST BE MINIMUM WIDTH OF 44"
  4. MUST BE OF SLIP RESISTANT MATERIAL
  5. MUST PROVIDE DETECTIBLE WARNING DEVICES AT VEHICULAR TRAFFIC CROSSINGS PER CDC
  6. MAX SLOPE OF 1:12 (8.3%) OF HORIZONTAL RUN WITH A CROSS SLOPE NO GREATER THAN 2%
  7. PROVIDE A LEVEL LANDING AT EACH ENTRANCE AND EXIT



ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	08/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MRS SUBMITTAL

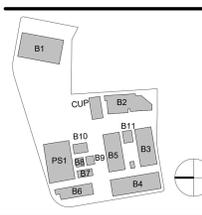
ACCESSIBILITY SITE PLAN LEGEND

- ACCESSIBLE PATH
- ▲ ACCESSIBLE BUILDING ENTRANCE
- PROPERTY LINE
- - - SETBACK LINE

LEGENDS

SCALE: PROJECT ARCHITECT: NBBJ LLP  
PROJECT NUMBER: 102320.10

KEYPLAN



SHEET NAME

SITE ACCESSIBILITY PLAN

SHEET NUMBER

AS103  
60 TOTAL SHEETS



88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



ALEXANDRIA

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
1098 TORREY PINE ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DMR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

CIVIL ENGINEER:  
RICK ENGINEERING  
5020 FRIARS ROAD  
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZER ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEC ENGINEERS  
7360 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:  
MFC CONSULTING  
1087 THORNHART RD SUITE 200  
SAN DIEGO, CA 92127

- SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.
- SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DIMENSION OF EACH SCOPE.
- HALFTONE CONTENT IS N.I.C.

- MEASUREMENTS FOR BUILDING HEIGHTS AND GRADE (ADJACENT GROUND ELEVATION) ARE PER THE 1970 UNIFORM BUILDING CODE (1970 UBC) AS ESTABLISHED IN PROP-D.

- DEFINITIONS PER 1970 UBC:

- HEIGHT OF BUILDING IS THE VERTICAL DISTANCE FROM THE "GRADE" TO THE HIGHEST POINT OF THE COPINGS OF A FLAT ROOF OR TO THE DECK LINE OF A MANSARD ROOF OR THE AVERAGE HEIGHT OF THE HIGHEST GABLE OF A PITCH OR HIP ROOF.

- GRADE (ADJACENT GROUND ELEVATION) IS THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND BETWEEN THE EXTERIOR WALL OF A BUILDING AND A POINT 5 FEET DISTANT FROM SAID WALL, OR THE LOWEST POINT OF ELEVATION OF THE FINISHED SURFACE OF THE GROUND BETWEEN THE EXTERIOR WALL OF A BUILDING AND THE PROPERTY LINE IF IT IS LESS THAN 5 FEET DISTANT FROM SAID WALL, IN CASE WALLS ARE PARALLEL TO AND WITHIN 5 FEET OF PUBLIC SIDE-WALK, ALLEY OR OTHER PUBLIC WAY, THE GRADE SHALL BE THE ELEVATION OF THE SIDEWALK, ALLEY OR PUBLIC WAY.

- THE HEIGHT LIMIT FOR BUILDINGS AND STRUCTURES LOCATED IN THE "COASTAL ZONE" IS SPECIFIED IN THE LAND DEVELOPMENT CODE (LDC), SECTION 132.0505

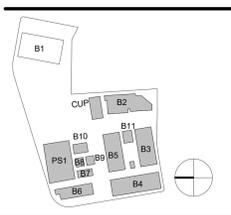
- "COASTAL ZONE" LIMITS THE HEIGHT OF BUILDINGS AND STRUCTURES TO 30 FEET. THIS BUILDING HEIGHT IS MEASURED FROM THE REFERENCE DATUM (BASE OF MEASUREMENT) TO THE HIGHEST POINT OF THE ROOF, PARAPET, MANSARD, EQUIPMENT, VENT, PIPE, AND ANTENNA OR ANY OTHER ELEMENTS PROJECTED ABOVE THE ROOF.

\*\* THE PROJECT PROPOSES A TEMPORARY SOLAR PANEL STRUCTURE THAT MAY PROTRUDE ABOVE THE HEIGHT LIMIT SHOULD IT BE DEEMED NECESSARY AT THE TIME OF INSTALLATION. PROJECT DRAWINGS AND SECTIONS SHOW THE POSSIBLE PROTRUSION OF SUCH ELEMENTS IN DASHED LINES. REFERENCE SHEET AE301 (SEE DASHED LINE ON SECTIONS B1, C1, D1 & E1) FOR POSSIBLE PROTRUSION OF TEMPORARY SOLAR PANELS ABOVE THE +465.00' COASTAL HEIGHT LIMIT.

LEGENDS

- PROPERTY LINE
- SETBACK LINE

KEYPLAN



ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SDP 1ST SUBMITTAL
01	08/19/2020	MFR SUBMITTAL

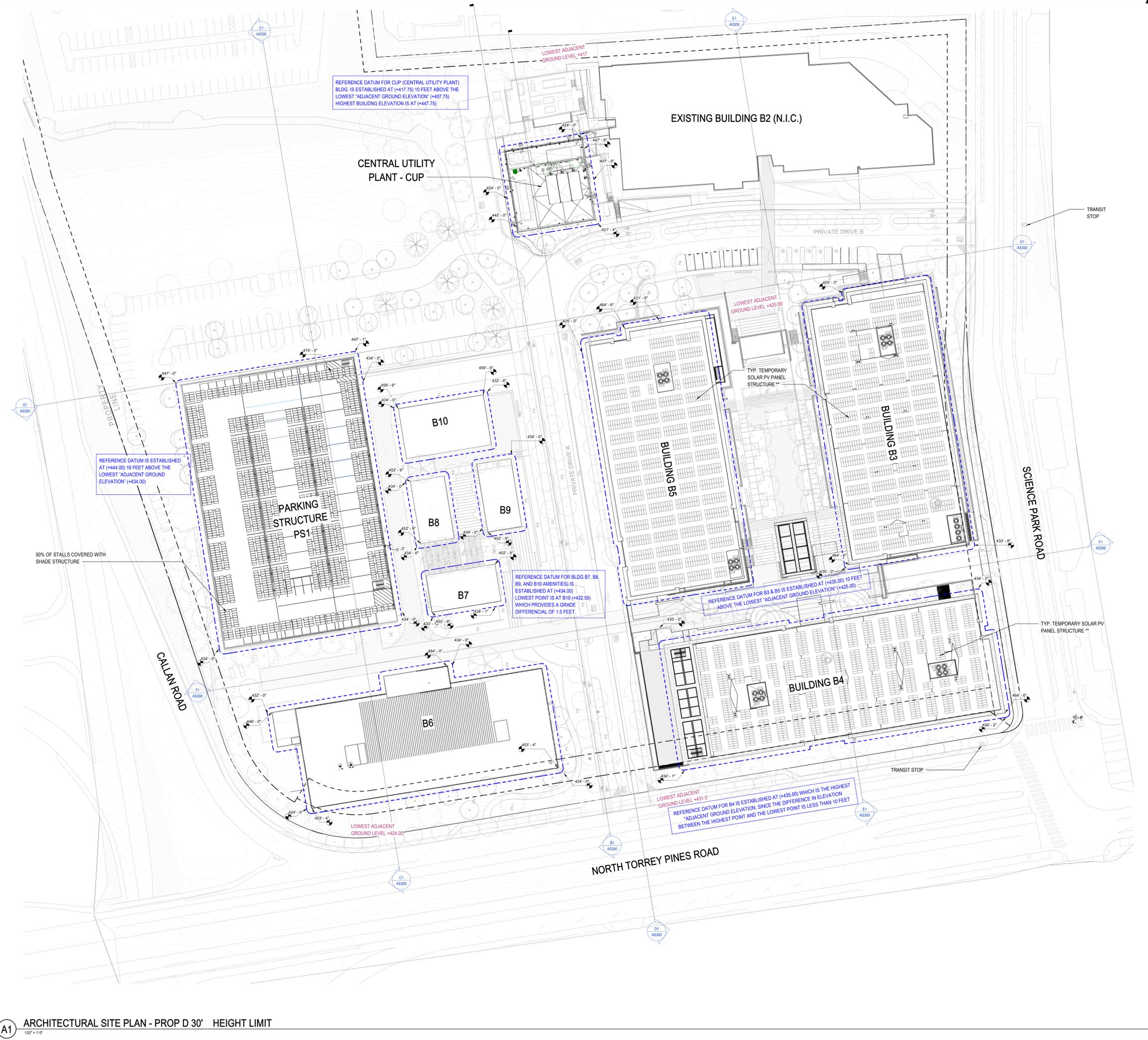
SCALE: PROJECT ARCHITECT NBBJ LLP  
PROJECT NUMBER: 102320.10

SHEET ISSUE DATE: 01/04/2022

SHEET NAME: PROP D 30' HEIGHT LIMIT SITE PLAN

SHEET NUMBER: AS104

60 TOTAL SHEETS



REFERENCE DATUM FOR CUP (CENTRAL UTILITY PLANT) BLDG. IS ESTABLISHED AT (+417.75) 10 FEET ABOVE THE LOWEST ADJACENT GROUND ELEVATION (+407.75). HIGHEST BUILDING ELEVATION IS AT (+447.75).

REFERENCE DATUM IS ESTABLISHED AT (+444.00) 10 FEET ABOVE THE LOWEST ADJACENT GROUND ELEVATION (+434.00)

REFERENCE DATUM FOR BLDG B7, B8, B9, AND B10 AMENITIES) IS ESTABLISHED AT (+434.00) LOWEST POINT IS AT B10 (+432.50) WHICH PROVIDES A GRADE DIFFERENTIAL OF 1.5 FEET.

REFERENCE DATUM FOR B3 & B5 IS ESTABLISHED AT (+435.00) 10 FEET ABOVE THE LOWEST ADJACENT GROUND ELEVATION (+425.00)

REFERENCE DATUM FOR B4 IS ESTABLISHED AT (+435.00) WHICH IS THE HIGHEST ADJACENT GROUND ELEVATION, SINCE THE DIFFERENCE IN ELEVATION BETWEEN THE HIGHEST POINT AND THE LOWEST POINT IS LESS THAN 10 FEET

12/30/2021 5:40:15 PM BIN\_360/102320.00 - ARE Torrey Pines R21/ARCH-OAS Entitlements Submission 2021-R21.rvt

1. SEE CIVIL DRAWINGS FOR EXISTING SURVEY CONDITIONS.  
2. SEE CIVIL DRAWINGS FOR DETAILED EXISTING INFORMATION AND DEMOLITION OF EACH SCOPE.  
3. HALFTONE CONTENT IS N.I.C.



88 KEARNY STREET, SUITE 900  
SAN FRANCISCO, CALIFORNIA 94108  
PHONE 415 981 1100  
www.nbbj.com



ALEXANDRIA

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
10986 TORSEYVA ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DIR:  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

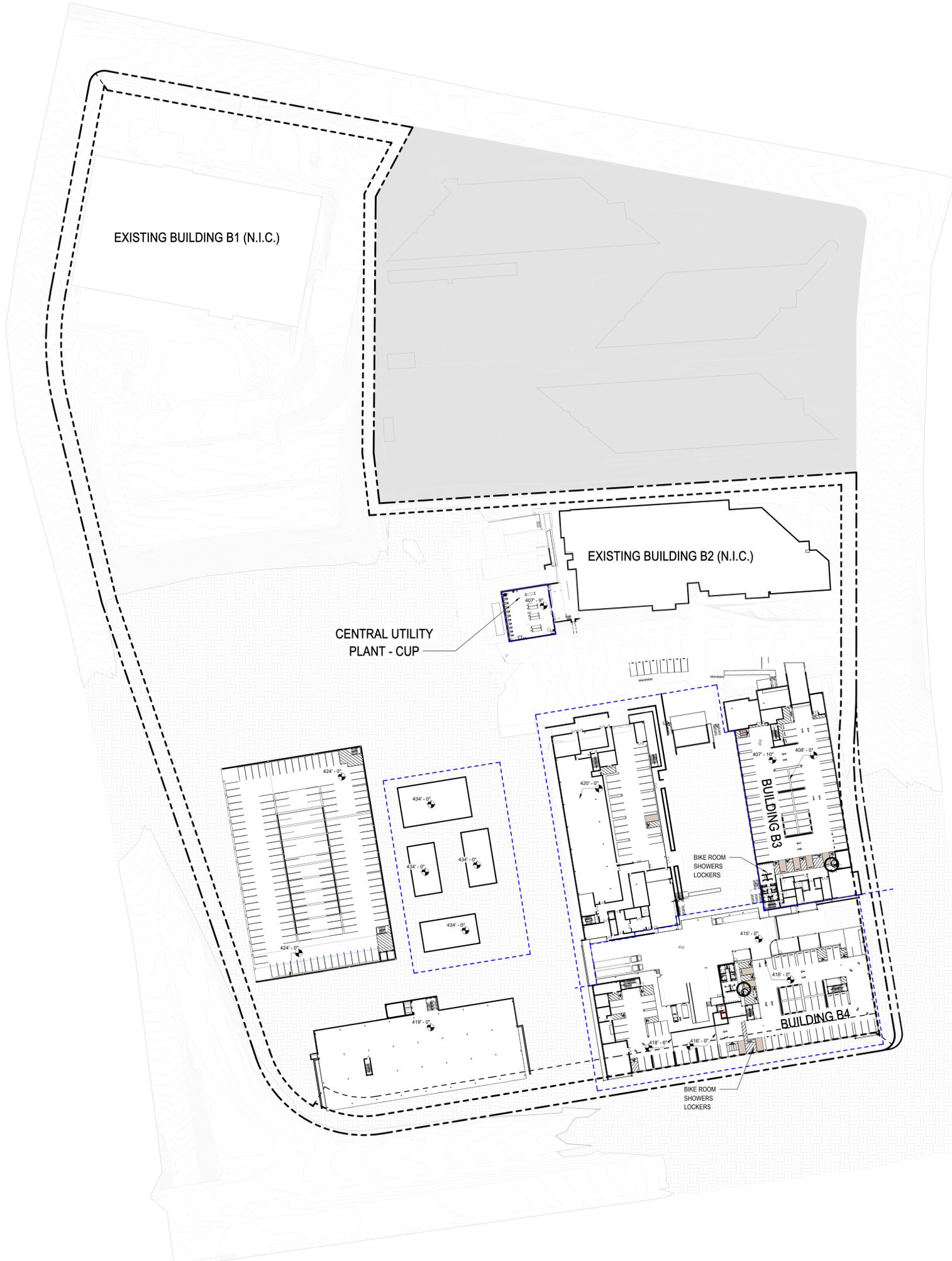
CIVIL ENGINEER:  
RICK ENGINEERING  
5620 FRIARS ROAD  
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZEE ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEJ ENGINEERS  
7380 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

ELECTRICAL ENGINEER:  
MPE CONSULTING  
10807 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127



ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MRS SUBMITTAL

LEGENDS	
---	PROPERTY LINE
---	SETBACK LINE

KEYPLAN

SCALE: PROJECT ARCHITECT  
As indicated NBBJ LLP

PROJECT NUMBER: 102320.10

SHEET ISSUE DATE: 01/04/2022

SHEET NAME: ARCHITECTURAL BLDG PADS / BASEMENTS SITE PLAN

SHEET NUMBER: AS105

60 TOTAL SHEETS

12/30/2021 5:40:40 PM  
BIN 360/102320.00 - ARE Torrey Pines R21/ARCH-OAS Entitlements Submission 2021-R21.rvt

A1 ARCHITECTURAL SITE BASEMENT PLAN  
1" = 50'-0"



ALEXANDRIA

OWNER:  
ALEXANDRIA REAL ESTATE EQUITIES, INC.  
1098 TORREY PINE ROAD, SUITE 250  
SAN DIEGO, CA 92121

CONSTRUCTION MANAGER:  
DMR  
5010 SHOREHAM PL, SUITE 100  
SAN DIEGO, CA 92122

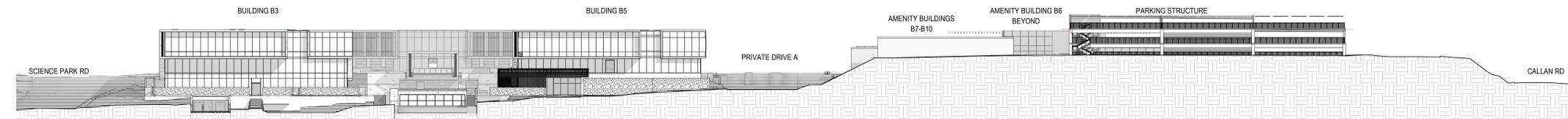
CIVIL ENGINEER:  
ROCK ENGINEERING  
5020 FRIARS ROAD  
SAN DIEGO, CA 92110

LANDSCAPE ARCHITECT:  
GROUNDLEVEL  
2603 STATE STREET S  
SAN DIEGO, CA 92108

STRUCTURAL ENGINEER:  
COFFMAN ENGINEERS  
1455 FRAZEE ROAD, SUITE 600  
SAN DIEGO, CA 92108

MECHANICAL & PLUMBING ENGINEER:  
DEG ENGINEERS  
7380 CARROLL ROAD, SUITE 100  
SAN DIEGO, CA 92121

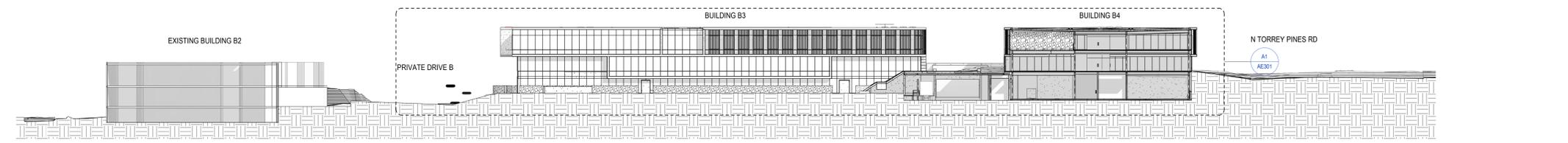
ELECTRICAL ENGINEER:  
MPE CONSULTING  
10807 THORNHUNT RD SUITE 200  
SAN DIEGO, CA 92127



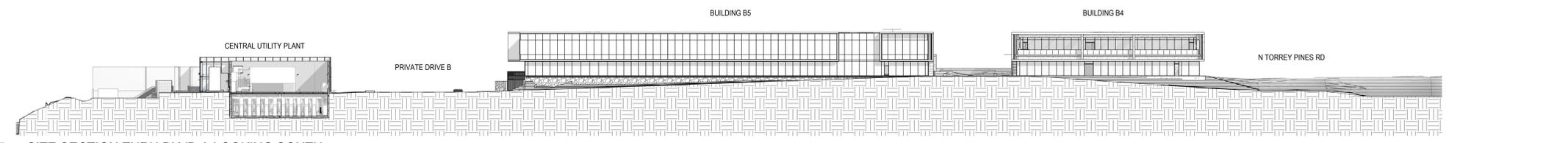
G1 SITE SECTION THRU SURFACE PARKING LOOKING WEST  
1" = 30'-0"



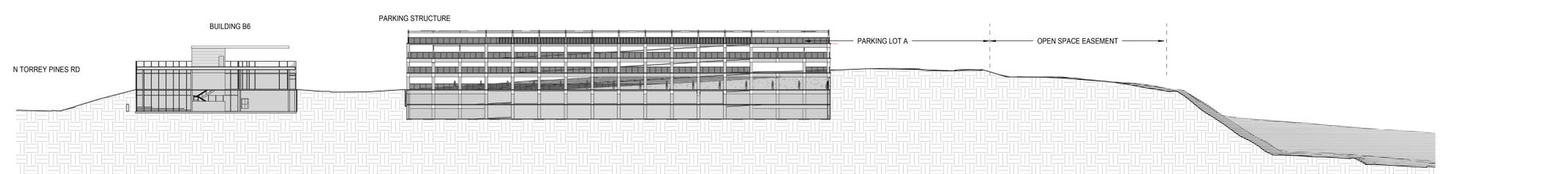
F1 SITE SECTION THRU QUAD LOOKING EAST  
1" = 30'-0"



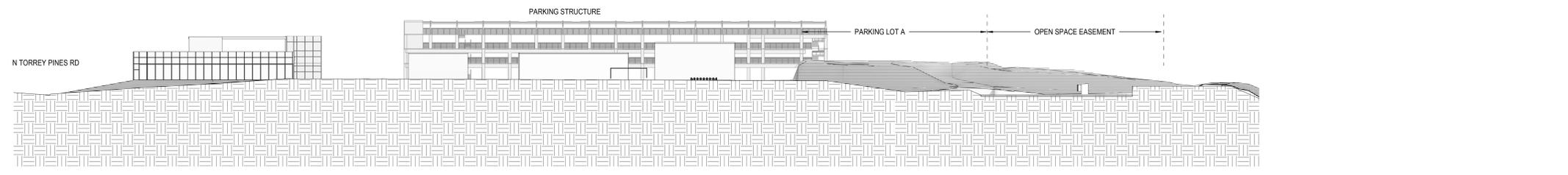
E1 SITE SECTION THRU QUAD LOOKING SOUTH  
1" = 30'-0"



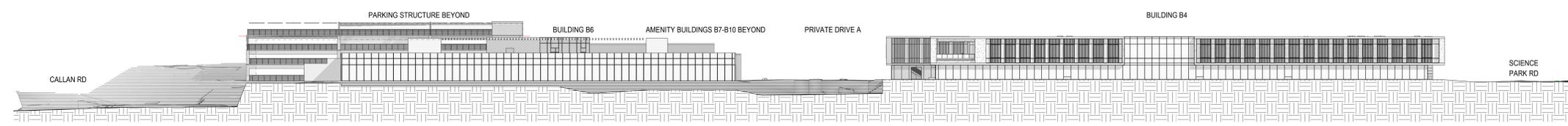
D1 SITE SECTION THRU BLVD A LOOKING SOUTH  
1" = 30'-0"



C1 SITE SECTION THRU P1 LOOKING NORTH  
1" = 30'-0"



B1 SITE SECTION THRU BLVD A LOOKING NORTH  
1" = 30'-0"



A1 SITE ELEVATION NORTH TORREY PINES LOOKING EAST  
1" = 30'-0"

ONE ALEXANDRIA SQUARE

SITE DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION

01/04/2022

REVISIONS		
MARK	DATE	DESCRIPTION
07	12/30/2021	RE-SUBMITTAL (CYCLE 5)
06	11/08/2021	RE-SUBMITTAL (CYCLE 4)
05	05/07/2021	RE-SUBMITTAL (CYCLE 3)
04	2/6/2021	RE-SUBMITTAL (CYCLE 2)
03	12/21/2020	RE-SUBMITTAL (CYCLE 1)
02	11/03/2020	SOP 1ST SUBMITTAL
01	08/19/2020	MFR SUBMITTAL

SCALE: PROJECT ARCHITECT NBBJ LLP  
As indicated NBBJ LLP

PROJECT NUMBER: 102320.10

SHEET ISSUE DATE: 01/04/2022

SHEET NAME: SITE SECTIONS

SHEET NUMBER: AS300

60 TOTAL SHEETS