



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: July 21, 2022 REPORT NO. PC-22-033

HEARING DATE: August 4, 2022

SUBJECT: AT&T Skyline & Valencia, Project No. 699140
Process Four Decision

PROJECT NUMBER: [699140](#)

OWNER/APPLICANT: Southern California Conference of Seventh-Day Adventist/AT&T

SUMMARY

Issue(s): Should the Planning Commission approve a modification to an existing Wireless Communication Facility (WCF) located at 6065 Skyline Drive in the Encanto Community Planning Area?

Staff Recommendation(s):

1. APPROVE Conditional Use Permit (CUP) No. 2588293 and;
2. APPROVE Planned Development Permit (PDP) No. 2600524.

Community Planning Group Recommendation: On March 21, 2022 the Encanto Neighborhoods Community Planning Group voted to recommend approval of the project 8-0-0 with no conditions. (Attachment 9).

Environmental Review: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Sections 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 12, 2022 and the opportunity to appeal that determination ended May 26, 2022 (Attachment 7).

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The project is proposing to renew the operation of an existing WCF located at the 6065 Skyline Drive in the RS-1-7 zone of the Encanto Neighborhoods Community Plan Area (Attachment 1-3). The project is proposing minor modifications to the existing antennas and associated equipment.

The current use of the site is Maranatha Seventh-Day Adventist Church (figure 1). The site is surrounded to the north, south, east and west by low density residential use. The permits associated with the existing WCF installation was approved by Planning Commission on December 8, 2011 with a ten-year expiration date. A ten-year expiration date was added as permit condition to allow the City to evaluate this facility for future technology improvements and design modifications in accordance with the regulations at the time of the submittal.



Figure 1 Maranatha Seventh-Day Adventist Church

DISCUSSION

Project Description:

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas

and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

WCFs are allowed in the residential zone with processing of a CUP for the use of a non-residential facility in a residential zone, pursuant to SDMC Section [141.0420 \(c\)\(1\)\(A\)\(i\)](#), which is a process Three decision.

The site is located in residential single-unit RS-1-7 zone which allows for a maximum height of 30-feet. The project is proposing a deviation of 37-foot 6-inches expansion to maintain the expansion within the steeple above the 30-foot height, top of antenna is at 70-foot 6-inches. The existing remaining steeple is directly above the expansion and represents a total height of 87-feet. The proposed modification does not change the height of the building. The FRP steeple expansion conceals the antennas, with the top of the antennas at 70-foot 6-inches. The integration of the AT&T antennas in the mid-section of the steeple is done through architectural enhancement and façade variation to match the original design of the church.

The deviation proposed to the development standards (height) is allowed thorough processing a PDP, pursuant to SDMC Section [126.0602\(b\)](#), which is a process Four decision.

This is a colocation site that house three other WCF facilities that include T- Mobile, Sprint and Clearwater located at the lower portion of the steeple. AT&T antennas are at the higher elevation within the steeple which requires the needed heigh for coverage. The permit for T-Mobile, PTS 294132 will expire on July 10, 2023, and the joint Sprint/Clearwater permit, PTS 596945 will expire on December 19, 2028. The long-term presence of several carriers in this location is an indication that this site is the ideal location for a fully concealed WCF with best service/coverage for this area.

Community Plan Analysis:

The project site has been designated Residential-Low within the Encanto Neighborhoods Community Plan (Attachment 3). The surrounding development consists of one and two-story single-family residential development and O'Farrell Community School which is located in the corner of the Skyline Drive and 61st Street. The Encanto community plan relies on the City of San Diego General Plan for WCFs guidance.

The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is aesthetically pleasing and respectful of the neighborhood context. AT&T has designed the antennas concealed inside the church steeple which is consistent with the WCF Design Guidelines, and the General Plan, which emphasizes use of existing elements or structures. The existing equipment enclosure associated with this project is appropriately located inside the building at the base of the antennas with wires routed through the steeple. The design of the WCF does not create a visual impact. Therefore, staff has determined that the proposed WCF has been designed to be integrated and respectful to the neighborhood context. The Encanto Communities Community Planning Group voted 8-0-0 on March 21, 2022 to approval the project without conditions.

Council Policy 600-43 guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 4 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located. The applicant is required to submit a site justification explaining why a Preference 4 site was selected over any lower Preference level sites. For this project, AT&T has elected to remain at its current location utilizing the vertical-elements existing church to gain the necessary height for the antennas to continually provide service to the surrounding communities.

Alternative Site:

Maintaining the WCF at this location will continue to provide essential service to the neighborhood and those traveling in the area. This is the main facility for providing coverage to this residential area, there are also schools and churches in the area that require service. The existing coverage is outlined in the site coverage map (Attachment 12).

Alternative sites were assessed by AT&T to place the antennas, the first alternative facility that was another church identified was Pastore Timothy J Winters Street. This location would have served a large portion of the residential area; however, this location would leave a large portion of the Skyline Drive with insufficient coverage, which is a busy and heavily traveled street. The second location that was considered was Martin Luther King Jr Recreation Center and Park. This location has a flat roof and in order to raise the height to the same level as the Maranatha Seventh-Day Adventist church would require installing additional facilities to house the equipment on the roof and would detract from the aesthetic of this building. This location would also exclude coverage for some portion of the residences surrounding the current site.

Therefore, any requirement to move the facility could jeopardize the coverage, performance, and concealment of the facility.

Project- Related Issues:

Height Deviation:

AT&T is requesting a new use permit to continue operation at this location. The project consists of twelve (12) antennas embedded inside the 37-foot 6-inch tall Fiberglass Reinforced Panel (FRP) extension designed as steeple, a cable tray on the surface and the associated equipment located inside a utility room on the ground level. The property is located within the Encanto Neighborhood Single Family Zone which has a max allowed height of 30-foot. The SDMC [126.0602\(b\)](#) allows deviation for relief from strict development standards through processing of a PDP. The intent is to encourage imaginative and innovative planning and to assure that the *development* achieves the purpose and intent of the applicable *land use plan* and that it would be preferable to what would be achieved by strict conformance with the regulations.

Staff supports the proposed deviation as part of the design of the steeple, which is architecturally

integrated and conceals multiple antennas. The proposed development, overall, will be a benefit to the community. Maintaining the existing use with the proposed modification will continue to provide service to the neighborhood.

Conclusion:

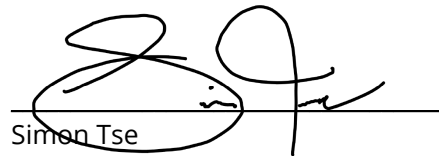
The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations and the Wireless Communication Facilities Regulations Section 141.0420, with the exception of the proposed deviation to exceed the height limit.

Therefore, staff recommends that the Planning Commission approve the Conditional Use Permit No. 2588293 and Planned Development Permit No. 2600524.

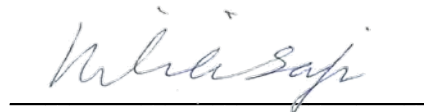
ALTERNATIVES

1. APPROVE CUP No. 2588293 and PDP No. 2600524 with modifications.
2. Deny CUP No. 2588293 and PDP No. 2600524, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Simon Tse
Supervising Development Project Manager
Development Services Department



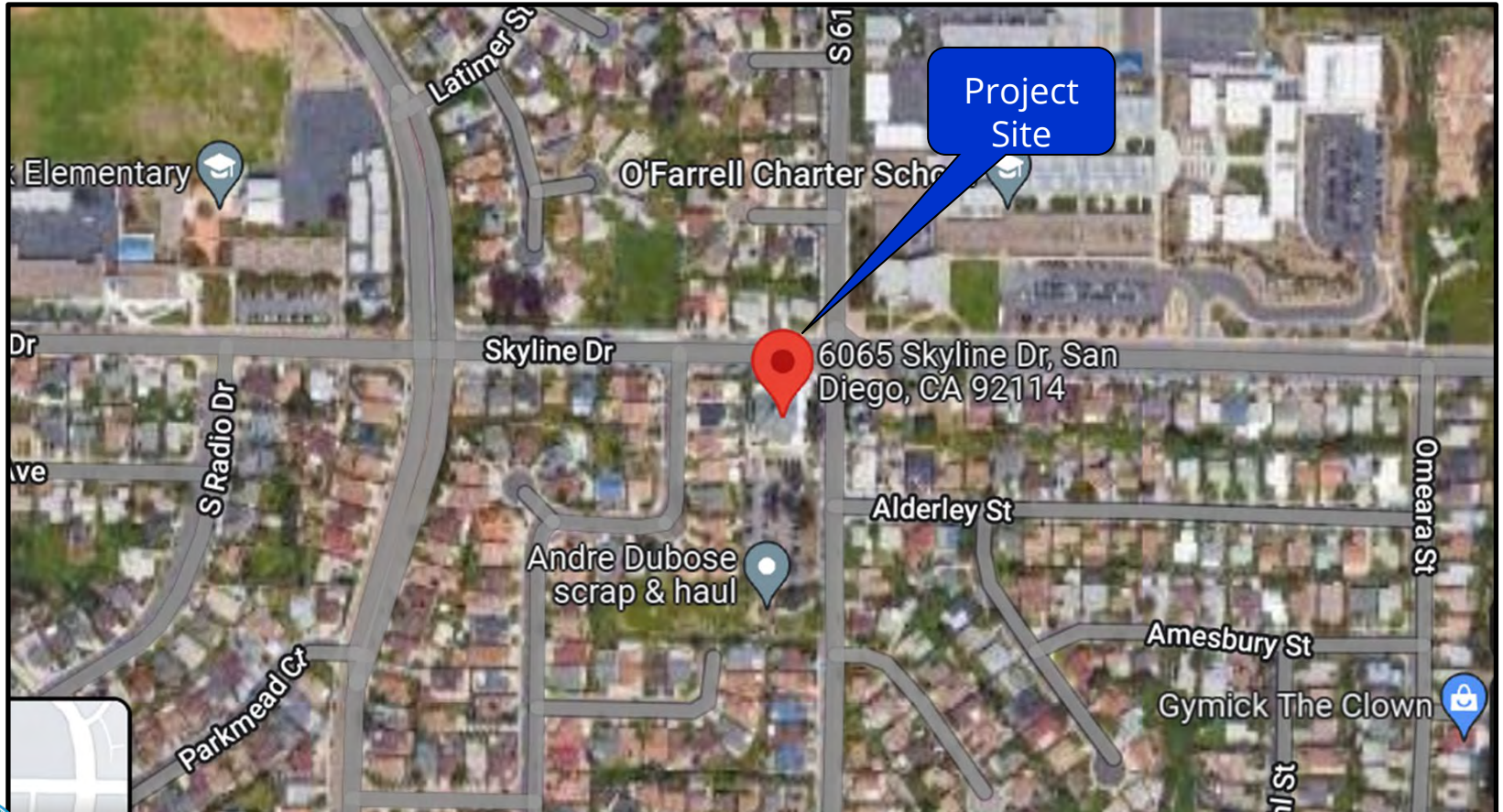
Nilia Safi
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Photo Simulations
8. Photo Survey
9. Community Planning Group Recommendation
10. Project Plans

11. Ownership Disclosure Statement
12. Site Justification/Coverage Map

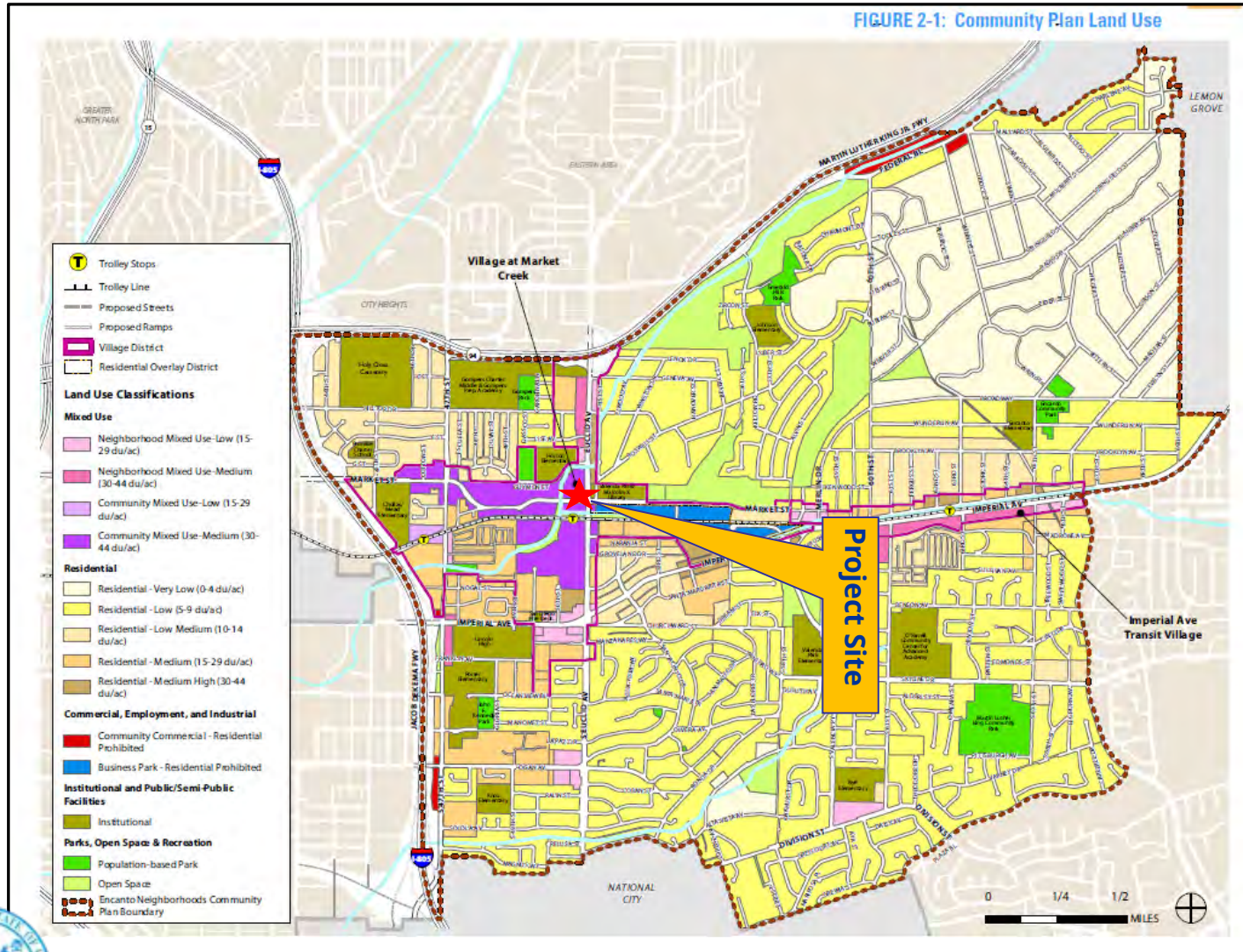
Aerial Photograph



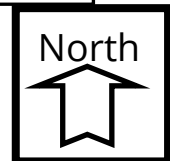
Skyline & Valencia Project No. 699140
6065 Skyline Drive



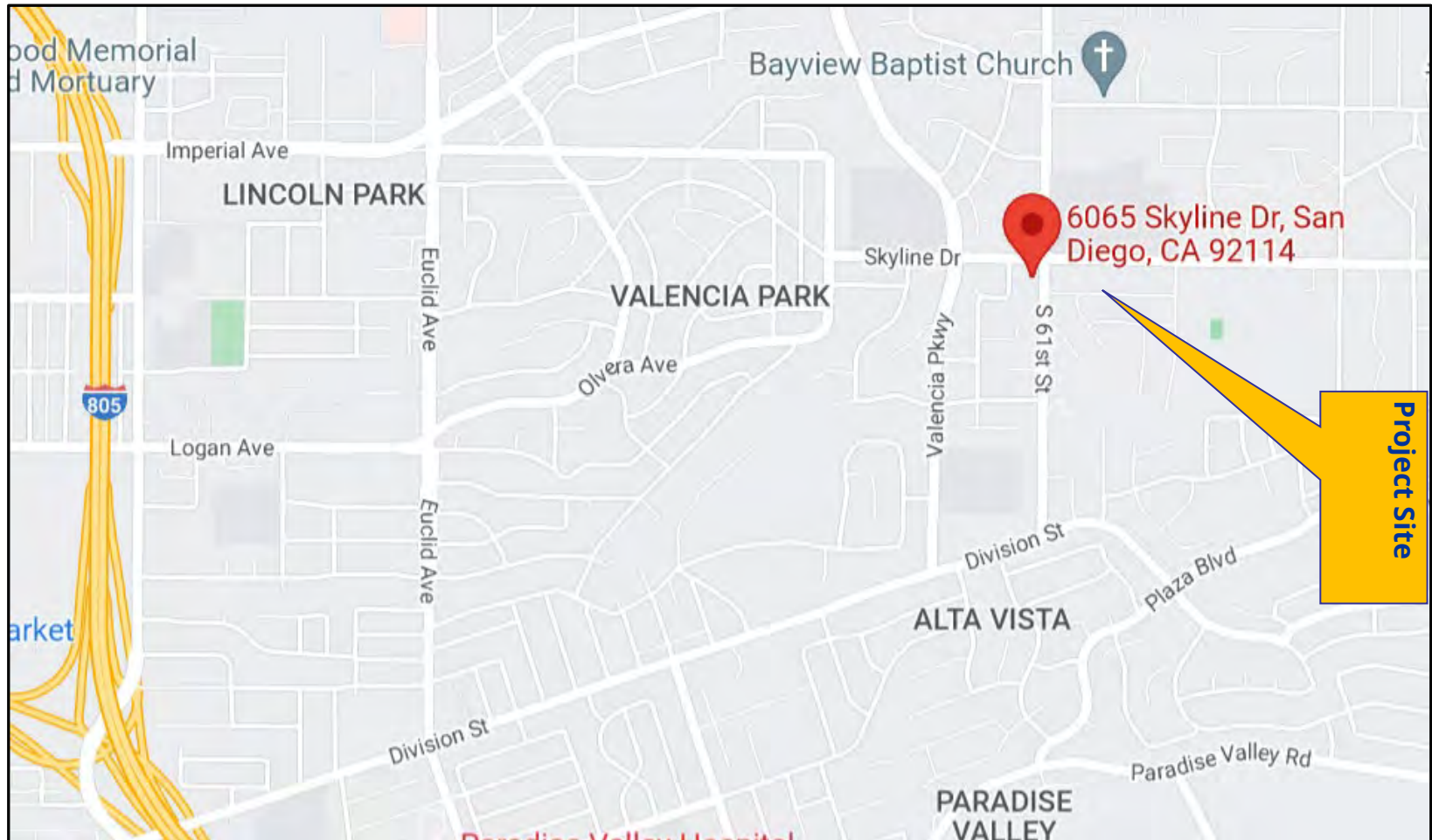
Encanto Neighborhoods Land Use Map



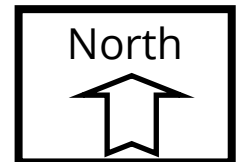
AT&T Skyline & Valencia
6065 Skyline Drive Project No. 699140



Project Location Map



AT &T Skyline & Valencia Project 699140
6065 Skyline Drive



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Conditional Use Permit No. 2588293
Planned Development Permit No. 2600524
AT&T Skyline & Valencia PTS No. 699140
Planning Commission

This Conditional Use Permit (CUP) No. 2588293 and Planned Development Permit (PDP) No. 2600524 is granted by the Planning Commission of the City of San Diego to Southeastern California Conference of Seventh-Day Adventist, a California Corporation, Owner, and AT&T, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, 126.0301 and 126.0602. The site is located at 6065 Skyline Drive in the RS-1-1 zone of the Encanto Neighborhoods Community Plan. The project site is legally described as all of the East 1/2 of Lot 11 in Cave & Mc Watson's Subdivision of Lot 14 and a part of Lot 16 of Ex Mission Partn., in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 159, filed in the Office of the County Recorder of San Diego County on March 30, 1887.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 4, 2022, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility (WCF) modification consisting of the removal of three (3) antennas and the installation of six (6) new antennas. With the modifications, the WCF will maintain twelve (12) antennas concealed inside the steeple of an existing church behind Fiberglass Reinforced Panel (FRP) screen. The equipment is located in a 250-SF enclosure inside a utility room; and
- b. The project is proposing a deviation of 37-foot 6-inches expansion to maintain the expansion within the steeple above the 30-feet height, top of antenna is at 70-feet 6-inches. The existing remaining steeple is directly above the expansion and represents a total height of 87-feet.

- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 18, 2025.
2. This CUP and PDP and corresponding use of this site shall **expire on August 18, 2032**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. Any future modifications to the antennas must be approved by Development Services. Antennas deviating up to the approved size (length, width, or height), must include screening designed to create the appearance of uniformity among the antennas to the satisfaction of the Development Services Department. The Permittee shall provide evidence demonstrating compliance with Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and any subsequent amendments.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.

7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

TELECOM DESIGN REQUIREMENTS:

12. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this permit must not defeat concealment.
13. The WCF shall conform to the approved construction plans.
14. Photo simulations shall be printed on the construction plans.
15. The cable tray shall be painted to match the building.
16. The Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
17. Use of or replacement of any building façade or mechanical screen with RF-transparent material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All RF-transparent material shall be painted and textured to match the original building and adjacent building surfaces.
18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
19. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
20. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
21. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

22. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 4, 2022 and Approved Resolution Number XXXX

CUP No. 2588293
PDP No. 2600524

Date of Approval: August 4, 2022

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code**

section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Southeastern California Conference
of Seventh Day Adventist
Owner

By _____
NAME
TITLE

AT&T
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

**Planning Commission
Resolution No. XXXX
Conditional Use Permit No. 2588293
Planned Development Permit No. 2600524
AT&T Skyline & Valencia - Project No. 699140**

WHEREAS, Southeastern California Conference of Seventh-Day Adventist, Owner, and AT&T, Permittee, filed an application with the City of San Diego for a permit for an existing Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit (CUP) No. 2588293 and Planned Development Permit (PDP) No. 2600524); and

WHEREAS, the project site is located at 6065 Skyline Drive in the RS-1-7 zone of the Encanto Neighborhoods Community Plan; and

WHEREAS, the project site is legally described as all of the East 1/2 of Lot 11 in Cave & Mc Watson's Subdivision of Lot 14 and a part of Lot 16 of Ex Mission Partn., in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 159, filed in the Office of the County Recorder of San Diego County on March 30, 1887; and

WHEREAS, on May 12, 2022, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301, Existing Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on August 4, 2022, the Planning Commission of the City of San Diego considered CUP No. 2588293 and PDP No. 2600524 pursuant to the Land Development Code of the City of San Diego; and

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to CUP No. 2588293 and PDP No. 2600524.

(A) CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

WCFs are allowed in the residential zone with processing of a CUP for the use of a non-residential facility in a residential zone, pursuant to SDMC Section [141.0420 \(c\)\(1\)\(A\)\(i\)](#), which is a process Three decision.

The site is located in residential single-unit RS-1-7 zone which allows for a maximum height of 30-feet. The project is proposing a deviation of 37-foot 6-inches expansion to maintain the deviation within the steeple above the 30-feet height, top of antenna is at 70-foot 6-inches, the existing height of the church building including the steeple is 87-feet. The proposed modification does not change the height of the building. The FRP steeple expansion conceals the antennas, with the top of the antennas at 70-foot 6-inches. The integration of the AT&T antennas in the mid-section of the steeple is done through architectural enhancement and façade variation to match the original design of the church.

The deviation proposed to the development standards (height) is allowed thorough processing a PDP, pursuant to SDMC Section [126.0602\(b\)](#), which is a process Four decision.

The [Encanto Neighborhoods Community Plan](#) defers all WCFs to the WCF Guidelines, regulations and the General Plan. The City of San Diego General Plan requires all wireless facilities to minimize visual impacts under [UD-A.15.a](#). It also includes the following provisions: A) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area. B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context. C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. This WCF is consistent with the City of San Diego General Plan by

concealing the antennas inside the steeple behind FRP, painted and textured to match. Additionally, the equipment is also concealed inside an unobtrusive facility located inside a utility room. Therefore, the entire WCF as designed is consistent with the applicable community plan, the City of San Diego General Plan, and the WCF Design Guidelines and Regulations.

The existing WCF was originally approved on December 8, 2011. This approval included a 10-year expiration date that allowed City staff to review the WCF for technology and design innovation and improvements. As designed, the steeple represents an opportunity to completely conceal a WCF, inside a structure that is well integrated into the church setting. The required height for this WCF is necessary to maintain the required AT&T coverage as highlighted in the Justification Letter. Consistent with the City adopted WCF Design Guidelines, the WCF development is appropriately designed and integrated with the existing use of the site. Maintaining the WCF at this location and at this height will continue to provide essential voice and data services to the community. This WCF provides significant AT&T coverage to this residential area that may be impacted if the site is removed, relocated, and/or reduce in height.

WCFs are allowed in a residential zone with processing of a CUP for the use of a non-residential facility in a residential zone, pursuant to SDMC Section [141.0420\(c\)\(1\)\(A\)\(i\)](#). Furthermore, the site is located in a residential-single unit, RS-1-7 zone which allows for a maximum height of 30-feet. The project consists of twelve (12) antennas concealed inside the 37-foot 6-inch tall steeple extension using FRP, painted and textured to match the steeple, with the top of the antennas at 70-foot and six inches, with an overall building height of 87-feet. The deviation proposed to the development standards (height) is allowed through processing a PDP, pursuant to SDMC Section [126.0602\(b\)](#).

With the approval of the Planned Development Permit (PDP) for the deviation, the project meets all applicable regulations and policy documents and the project is consistent with the recommended land use, the purpose and intent of the design guidelines, and the development standards in effect for this site per WCF regulations, the LDC and the General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare;

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

The project was determined to be exempt from CEQA pursuant to Section 15303 (Existing Facilities). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. AT&T has submitted an RF Report dated November 30, 2021 to staff demonstrating compliance with the required FCC regulations. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of City's jurisdiction.

c. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code; and

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

WCFs are allowed in a residential zone with processing of a CUP for the use of a non-residential facility in a residential zone, pursuant to SDMC Section [141.0420 \(c\)\(1\)\(A\)\(i\)](#).

The site is located in residential single-unit RS-1-7 zone which allows for a maximum height of 30-feet. The project is proposing a deviation of 37-foot 6-inches expansion to maintain the deviation within the steeple above the 30-feet height, top of antenna is at 70-foot 6-inches, the existing height of the church building including the steeple is 87-feet. The proposed modification does not change the height of the building. The FRP steeple expansion conceals the antennas, with the top of the antennas at 70-foot 6-inches. The integration of the AT&T antennas in the mid-section of the steeple is done through architectural enhancement and façade variation to match the original design of the church.

The deviation proposed to the development standards (height) is allowed through processing a PDP, pursuant to SDMC Section [126.0602\(b\)](#).

As designed, the steeple represents an opportunity to completely conceal a WCF, inside a structure that is well integrated into the church setting and the surrounding residential uses nearby. The required height deviation for this WCF is necessary to maintain the essential AT&T coverage as highlighted in the Justification Letter. Consistent with the City adopted [WCF Design Guidelines](#), the WCF development is appropriately designed and integrated with the existing use of the site. Maintaining the WCF at this location and at this height will continue to provide essential voice and data services to the community. This WCF provides significant AT&T coverage to this residential area that may be impacted if the site is removed, relocated, and/or reduce in height. Therefore, the proposed PDP height deviation can be supported due to the design, coverage, and integration. The remainder of the WCF project meets all applicable regulations and policy documents and the project is consistent with the recommended land use, the purpose and intent of the design guidelines, and the development standards in effect for this site per WCF regulations, the LDC and the General Plan.

d. The proposed use is appropriate at the proposed location.

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

Council Policy 600-43 is the adopted City of San Diego WCF Policy. The Policy establishes guidelines and sets forth four locational categories that correspond to the Process levels contained within the Wireless Communication Facilities regulations, Chapter 14, Division 1, Article 4 of the San Diego Municipal Code. These guidelines establish a hierarchy from most preferred location to least preferred location. Applications for sites in either Preference 2, 3 or 4 Locations should include additional information from the applicant substantiating why a Preference 1 Location was not utilized. This WCF is located in a Preference 3 location.

Alternative locations were assessed by AT&T to place the antennas. The first alternative facility that was identified as another church on Pastore Timothy J Winters Street. This location would have served a large portion of the residential area; however, this location would leave a large portion of the Skyline Drive with insufficient coverage, which is a busy and heavily traveled street.

The 2nd location considered was on the Martin Luther King Jr Recreation Center and Park. This location has a flat roof and in order to raise the height to the same level as

he Maranatha Seventh-Day Adventist church would require installing additional facilities to house the equipment on the roof and would detract from the aesthetic of this building. This location would also exclude coverage for some portion of the residences surrounding the current site. These were the only two locations considered but was determined to contain unviable due to coverage gaps.

More importantly, and as designed, the current AT&T WCF Skyline and Valencia application represented an opportunity to completely conceal a WCF, inside a structure that is well integrated into the church setting and the surrounding residential uses nearby. The required height deviation for this WCF is necessary to maintain the essential AT&T coverage as highlighted in the Justification Letter. Consistent with the City adopted [WCF Design Guidelines](#), the WCF development is appropriately designed and integrated with the existing use of the site. Maintaining the WCF at this location and at this height will continue to provide essential voice and data services to the community. This WCF provides significant AT&T coverage to this residential area that may be impacted if the site is removed, relocated, and/or reduce in height.

With the alternative site analysis combined with the proposed AT&T Steeple design, the WCF use has been determined to be appropriate at this church location.

(B) Findings for PLANNED DEVELOPMENT PERMIT Section [126.0604]

1. The proposed development will not adversely affect the applicable land use plan;

See Section A.1.a

2. The proposed development will not be detrimental to the public health, safety, and welfare;

See Section A.1.b

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

AT&T is requesting a new use permit to continue operation of an existing WCF, with modifications at this location. The project consists of twelve (12) antennas concealed inside a Fiberglass Reinforced Panel (FRP) steeple, a cable tray running on the surface and the associated equipment located inside a utility room on the ground floor. The proposed modifications include removing three (3) antennas and replacing them with six (6) antennas behind the FRP steeple and upgrading the equipment inside an existing 215-SF utility room without any changes to the exterior of the building.

Alternatively, AT&T has indicated that lowering the height of the steeple to meet the required height limit of 30-feet would substantially impact the existing AT&T coverage footprint. Reference AT&T's justification and coverage map (Attachment 12). AT&T has further indicated that additional WCF sites within the residential community would also be required and each would have to be 30-feet tall. Multiple 30-foot tall structures may contribute to a greater visual impact to the surrounding uses and may not provide the same critical coverage objective.

Instead, the current steeple design represents an opportunity to completely conceal a WCF, inside a structure that is well integrated into the church setting and the surrounding residential uses nearby. The required height deviation for this WCF is necessary to maintain the essential AT&T coverage as highlighted in the Justification Letter. City Staff has reviewed AT&T's justification and WCFs regulations, and has determined that the proposed design is consistent with the City adopted [WCF Design Guidelines](#), and it is appropriately designed and integrated with the existing use of the site. Maintaining the WCF at this location and at this height will continue to provide essential voice and data services to the community. This WCF provides significant AT&T coverage to this residential area that may be impacted if the site is removed, relocated, and/or reduce in height. Therefore, the proposed PDP height deviation can be supported due to the design, coverage, and integration.

Therefore, the proposed PDP height deviation can be supported due to the design, coverage, and integration. The height deviation for the steeple design will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CUP No. 2588293 and PDP No. 2600524 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in CUP No. 2588293 and PDP No. 2600524, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on: August 4, 2022

IO#: 11004545

DRAFT

NOTICE OF EXEMPTION

ATTACHMENT 6

(Check one or both)

TO: ☒ RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

____ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 699140

Project Title: AT&T Skyline and Valencia

PROJECT LOCATION-SPECIFIC: 6065 Skyline Drive , San Diego, CAPROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Development (CUP) and Planned Development Permit (PDP) for the renewal and continued operation of an existing wireless communication facility (WCF). The project is proposing to renew the operation of an existing WCF facility located at the 6065 Skyline Drive in the RS-1-7 zone of the Encanto Neighborhoods Community Plan Area. The project is proposing minor modifications to the existing antennas and associated equipment. The project requires the CUP for the use of a non-residential facility in a residential zone and the PDP for the deviation proposed to the development standards (height). The RS-1-7 zone allows for a maximum height of 30-feet and the project is proposing a deviation of 37-foot-6 inches high FRP church steeple, with an overall building height of 87-feet.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Delilah Bruzee- 10590 Ocean Air Drive # 300, San Diego CA, 92130. (858) 964-7403

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- ☒ CATEGORICAL EXEMPTION: 15301 (Existing Facilities)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities). Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. Since the project would only permit the continual operation of an existing WCF with minor improvements the exemption was deemed appropriate. The project is located on a developed site and no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



/SENIOR PLANNER

SIGNATURE/TITLE

5/31/2022

DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY

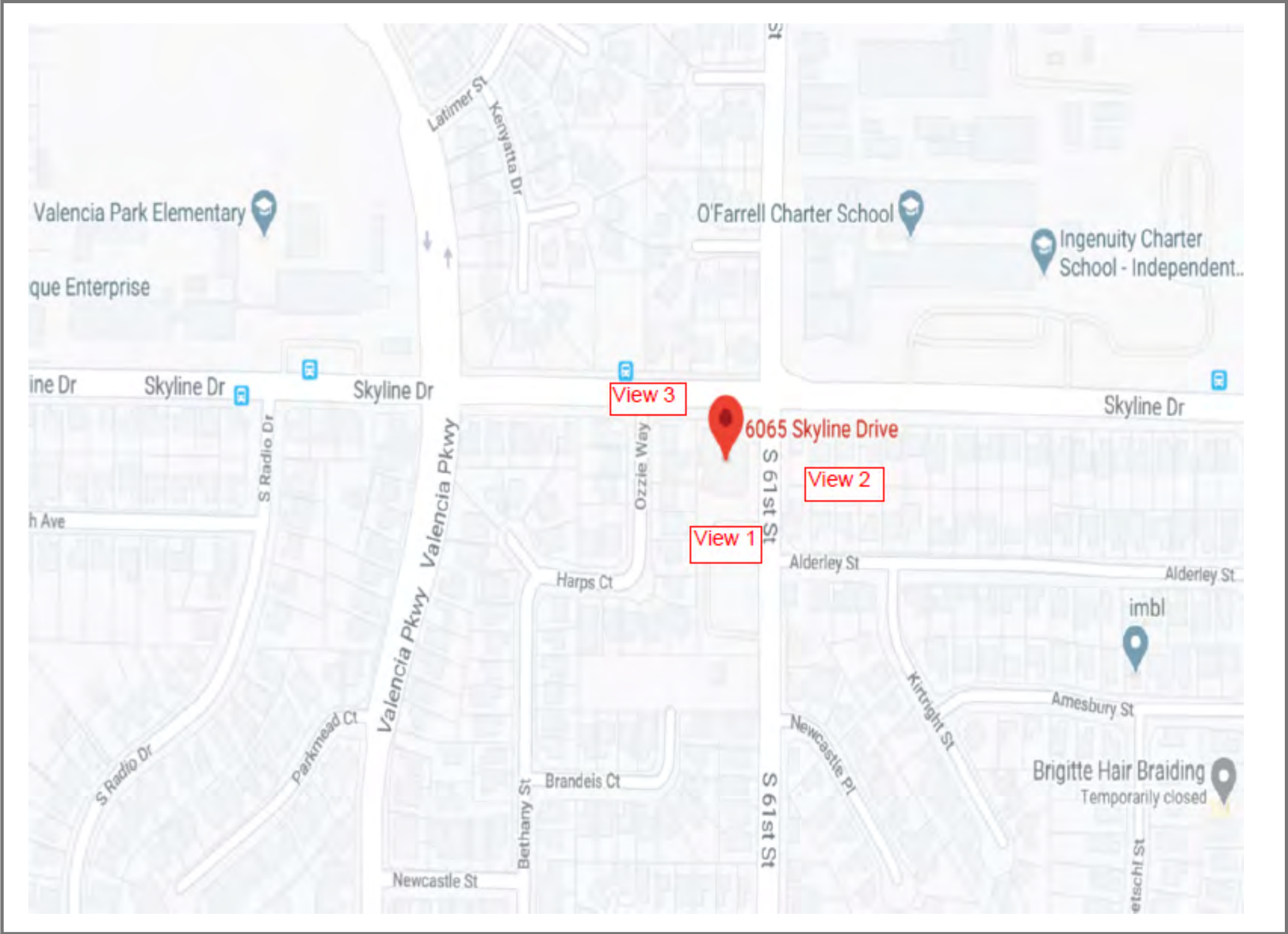
CLERK OR OPR:

AT&T SD0564 Skyline & Valencia



6065 Skyline Drive, San Diego CA 92114

Map



LOCATION

©2018 Google Maps

AT&T SD0564 Skyline & Valencia



6065 Skyline Drive, San Diego CA 92114

VIEW 1

No visible changes



EXISTING



PROPOSED

AT&T SD0564 Skyline & Valencia



6065 Skyline Drive, San Diego CA 92114

VIEW 2

No visible changes



EXISTING



PROPOSED

AT&T SD0564 Skyline & Valencia



6065 Skyline Drive, San Diego CA 92114

VIEW 3

No visible changes



EXISTING



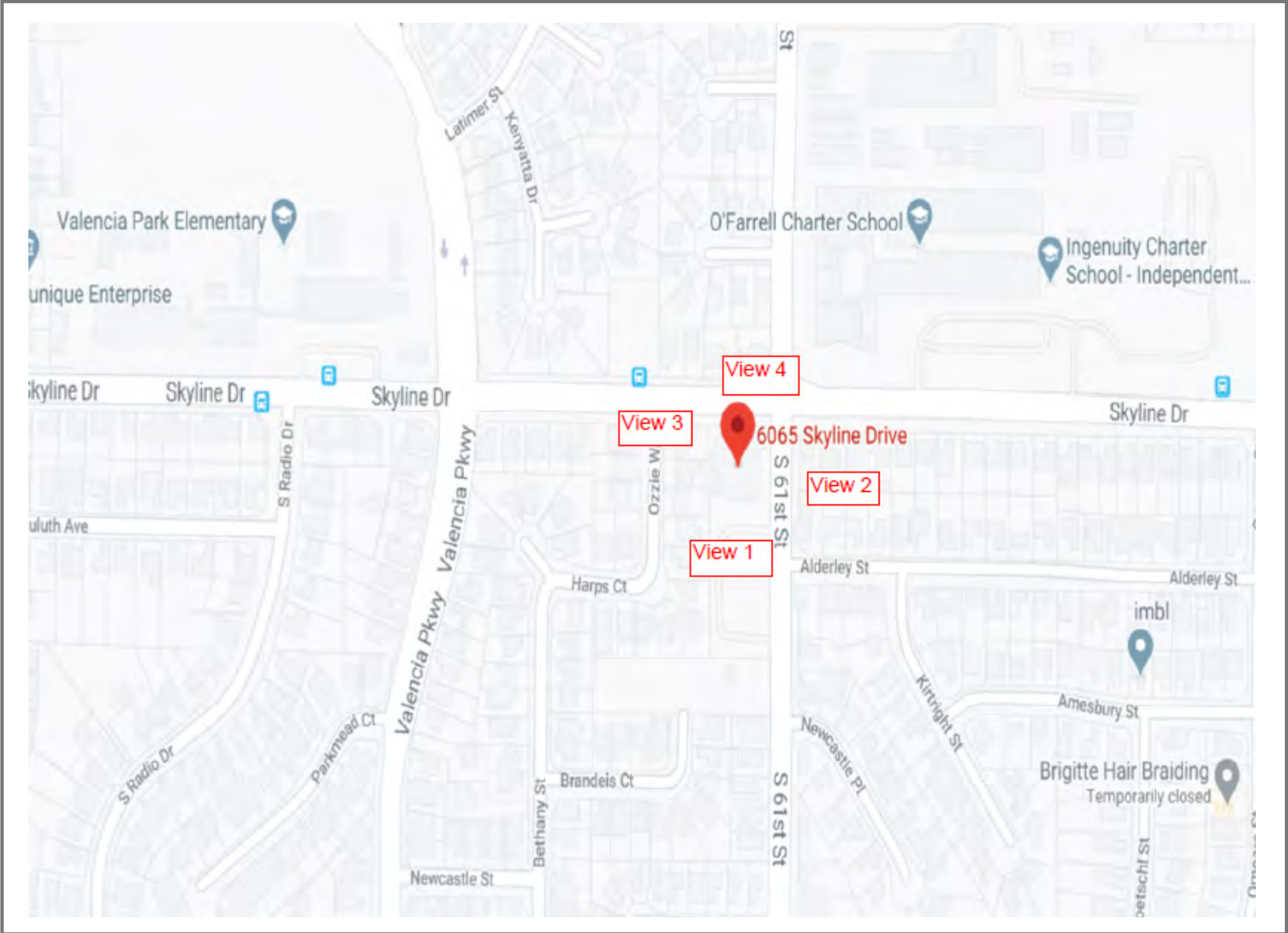
PROPOSED



Site Survey - AT&T SD0564 Skyline & Valencia

6065 Skyline Drive, San Diego CA 92114

Map



LOCATION

©2018 Google Maps

Site Survey - AT&T SD0564 Skyline & Valencia

6065 Skyline Drive, San Diego CA 92114

MD7

View 1



SOUTH

©2018 Google Maps



Site Survey - AT&T SD0564 Skyline & Valencia

6065 Skyline Drive, San Diego CA 92114

View 2



EAST

61st View - Antenna array concealed in faux Steeple

©2018 Google Maps

Site Survey - AT&T SD0564 Skyline & Valencia

6065 Skyline Drive, San Diego CA 92114

MD7

View 3



WEST

©2018 Google Maps



Site Survey - AT&T SD0564 Skyline & Valencia

6065 Skyline Drive, San Diego CA 92114

View 4



NORTH

Skyline Drive View - Antenna array concealed in faux Steeple

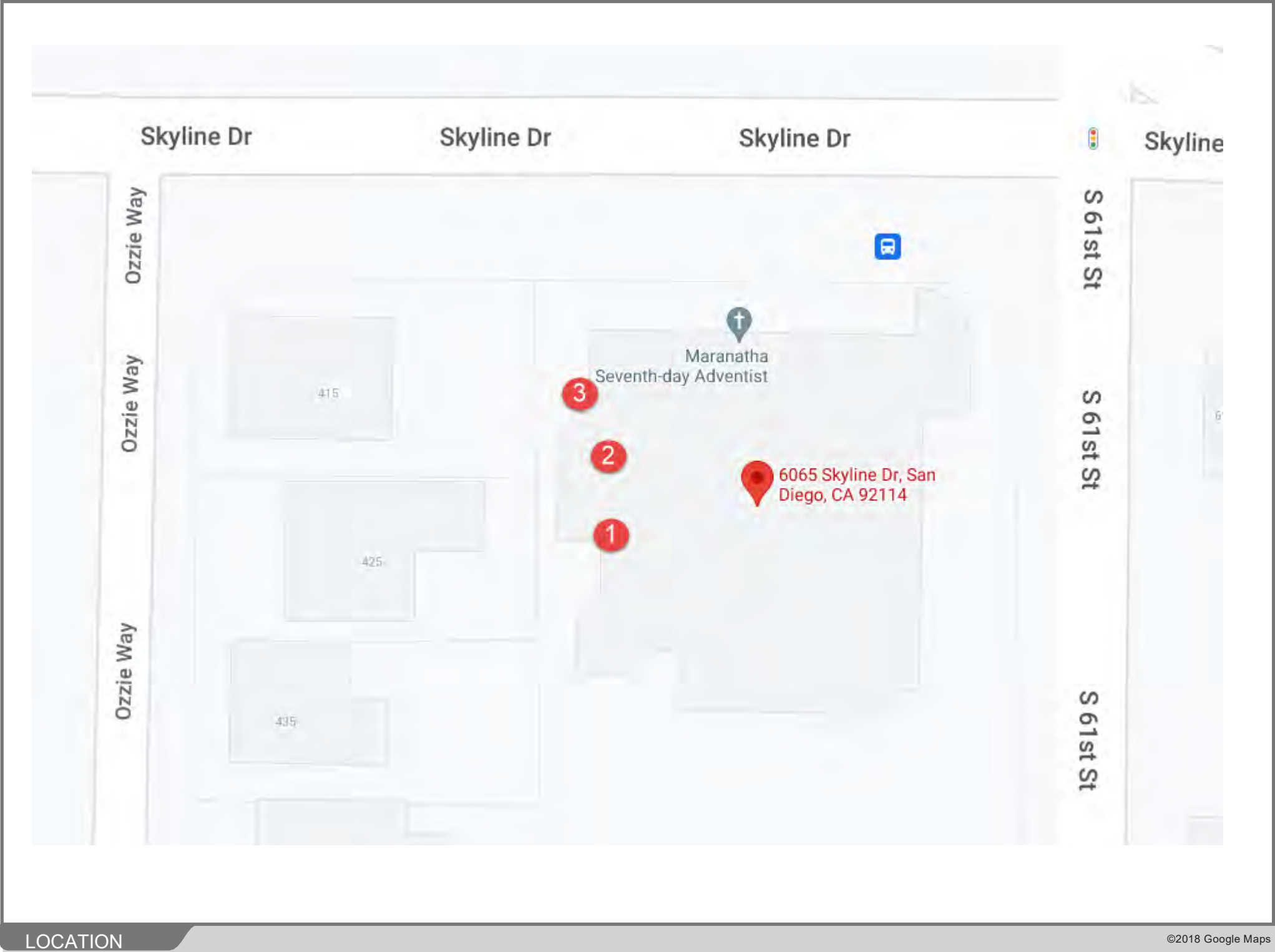
©2018 Google Maps

SD0564 / Skyline and Valencia



6065 Skyline Drive San Diego, CA 92114

Map



SD0564 / Skyline and Valencia



6065 Skyline Drive San Diego, CA 92114

View 1



View 1

©2018 Google Maps

SD0564 / Skyline and Valencia



6065 Skyline Drive San Diego, CA 92114

View 2



View 2

©2018 Google Maps

SD0564 / Skyline and Valencia




6065 Skyline Drive San Diego, CA 92114

View 3



View 3

©2018 Google Maps

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form
	Project Name: ATT modification		Project Number: PTS 0699140
Community: Encanto Neighborhoods			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: March 21, 2022
# of Members Yes 8	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations: None			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Marry Young			
TITLE: Chair Chollas Valley CPG		DATE: March 29, 2022	
<p><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>			




Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

C:\Users\raai\OneDrive - MORRISON HERSHFIELD\Desktop\M07\2103398\M07-272-10085120-SD0564_56 NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm raij

GENERAL CONSTRUCTION NOTES		
1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR – SEE PROJECT TEAM IN TITLE SHEET SUBCONTRACTOR – CONTRACTOR (CONSTRUCTION) OWNER – AT&T	CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR’S EXPENSE TO THE SATISFACTION OF THE OWNER.	CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.
2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND AT&T PROJECT SPECIFICATIONS.	17. THE SUBCONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.	36. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF SUBCONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
3. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. VERIFY WITH SITE OWNER IF A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE PROCEEDING WITH ANY CONSTRUCTION.	18. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND SUBCONTRACTORS TO THE SITE AND/OR BUILDING.	37. SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
4. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.	19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.	38. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
5. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.	20. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.	39. NO WHITE STROBIC LIGHTS ARE PERMITTED. LIGHTING IF REQUIRED, WILL MEET FAA STANDARDS AND REQUIREMENTS.
6. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.	21. THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.	40. ALL FIBER/POWER CABLE INSTALLATIONS TO FOLLOW MANUFACTURER’S INSTRUCTIONS AND RECOMMENDATIONS.
7. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOWN DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.	22. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE SUBCONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. SUBCONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.	41. NO NOISE, SMOKE, DUST, ODOR, OR VIBRATIONS WILL RESULT FROM THIS FACILITY.
8. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER’S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.	23. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE E ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.	42. NO LANDSCAPING IS PROPOSED AT THIS SITE.
9. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.	24. THE AREAS OF THE OWNER’S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.	1.1 REFERENCES:
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFIRM TO ALL OSHA REQUIREMENTS AND AS PER CALIFORNIA BUILDING CODE CHAPTER 33 AS STATED IN THE ENTIRE CHAPTER.	25. SUBCONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.	A. DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDMON).
11. GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.	26. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.	B. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
12. ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.	27. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT MODIFIED PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT MODIFIED PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.	C. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
13. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. SUBCONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.	28. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.	1.2 INSPECTION AND TESTING:
14. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. SUBCONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.	29. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.	A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY SUBCONTRACTORS INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE SUBCONTRACTOR.
15. SUBCONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.	30. SUBCONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.	B. ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE SUBCONTRACTOR’S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT.
16. THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS,	31. SUBCONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.	1.3 SITE MAINTENANCE AND PROTECTION:
	32. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).	A. PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE SUBCONTRACT.
	33. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY AT&T TECHNICIANS.	B. AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
	34. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.	C. KEEP SITE FREE OF ALL PONDING WATER.
	35. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST REVISION AT&T MOBILITY GROUNDING STANDARD "TECHNICAL SPECIFICATION FOR CONSTRUCTION OF GSM/GPRS WIRELESS SITES" AND "TECHNICAL SPECIFICATION FOR FACILITY GROUNDING". IN CASE OF A	D. PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT AND EPA REQUIREMENTS.
		E. PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
		F. EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE ENGINEER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.

ATTACHMENT 10		
REVISION APPROVAL		
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.		
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action
Plans Prepared For:		
<div> 10590 WEST OCEAN AIR DRIVE SUITE 300 SAN DIEGO, CA 92130</div>		
Applicant:		
<div> at&t Your world. Delivered.</div>		
Plans Prepared By:		
<div> MORRISON HERSHFIELD 5100 S MACADAM AVE. SUITE 500 PORTLAND, OR 97239 Tel: 503-595-9128 Fax: 503-595-9136 www.morrisonhershfield.com</div>		
Project:		
SKYLINE & VALENCIA SITE ID: SD0564 6065 SKYLINE DRIVE SAN DIEGO, CA 92114 FA: 10085120		
Drawing Title:		
GENERAL NOTES		
Project No.: 210339800		
Designer: SB		Date: 08/27/21
Drawn By: RR		Checked By: SS
PM Review: JR		Client Approval
Issue No.: D		GN01

G:\Users\Yraih\OneDrive - MORRISON HERSHFIELD\Desktop\M07\2103398\M07-272\M07\M07-272-10085120-SD0564_56 NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rcjil

- G. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE ENGINEER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.

PART 2 – PRODUCTS

- 2.1 SUITABLE BACKFILL: ASTM D2321 (CLASS I, II, III OR IVA) FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- 2.2 NON-POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS III, IVA OR IVB) COARSE AGGREGATE. FREE FROM FROZEN LUMPS, REFUSE. STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL.
- 2.3 POROUS GRANULAR EMBANKMENT AND BACKFILL: ASTM D2321 (CLASS IA. IB OR II) COARSE AGGREGATE FREE FROM FROZEN LUMPS, REFUSE, STONES OR ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION OR OTHER MATERIAL THAT MAY MAKE THE INORGANIC MATERIAL UNSUITABLE FOR BACKFILL
- 2.4 SELECT STRUCTURAL FILL: GRANULAR FILL MATERIAL MEETING THE REQUIREMENTS OF ASTM E850-95. FOR USE AROUND AND UNDER STRUCTURES WHERE STRUCTURAL FILL MATERIAL ARE REQUIRED.
- 2.5 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).
- 2.6 COARSE AGGREGATE FOR ACCESS ROAD SUBBASE COURSE SHALL CONFORM TO ASTM D2940.
- 2.7 UNSUITABLE MATERIAL HIGH AND MODERATELY PLASTIC SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE, FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL, VEGETATIVE MATTER, WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION. AND DEBRIS AS DETERMINED BY THE CONSTRUCTION MANAGER, TYPICAL THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT, MH, CH, OH, ML, AND OL.
- 2.8 GEOTEXTILE FABRIC: MIRAFI 500X OR APPROVED EQUAL.
- 2.9 PLASTIC MARKING TAPE: SHALL BE ACID AND ALKALI RESISTANT POLYETHYLENE FILM SPECIFICALLY MANUFACTURED FOR MARKING AND LOCATING UNDERGROUND UTILITIES. 6 INCHES WIDE WITH A MINIMUM THICKNESS OF 0.004 INCH. TAPE SHALL HAVE MINIMUM STRENGTH OF 1500 PSI IN BOTH DIRECTIONS AND MANUFACTURED WITH INTEGRAL CONDUCTORS, FOIL BACKING OR OTHER MEANS TO ENABLE DETECTION BY A METAL DETECTOR WHEN BURIED UP TO 3 FEET DEEP. THE METALLIC CORE OF THE TAPE SHALL BE ENCASED IN A PROTECTIVE JACKET OR PROVIDED WITH OTHER MEANS TO PROTECT IT FROM CORROSION. TAPE COLOR SHALL BE RED FOR ELECTRIC UTILITIES AND ORANGE FOR TELECOMMUNICATION UTILITIES.

PART 3 – EXECUTION

3.1 GENERAL:

- A. BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ANY TIME.
- B. BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK.
- C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
1. REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
2. REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS.
3. EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.

- A. REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- B. PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE. OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
- C. SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.

3.2 BACKFILL:

- A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
1. PRIOR TO PLACING BACKFILL AROUND STRUCTURES. ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS. AND UNSUITABLE MATERIALS.
2. BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACTED. WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.
3. WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE GEOTECHNICAL ENGINEER. DIE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
- B. THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 698.

3.3 TRENCH EXCAVATION:

- A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- B. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.
- C. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, BACKFILL AT THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION AND BACKFILL WITH GRANULAR BEDDING MATERIAL.

3.4 TRENCH BACKFILL:

- A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
- E. PROTECT CONDUIT FROM LATERAL MOVEMENT. IMPACT DAMAGE, OR UNBALANCED LOADING.
- F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.

- G. 3.5 COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 698.

3.5 AGGREGATE ACCESS ROAD:

- A. CLEAR, GRUB, STRIP AND EXCAVATE FOR THE ACCESS ROAD TO THE LINES AND GRADES INDICATED ON THE DRAWINGS. SCARIFY TO A DEPTH OF 6 INCHES AND PROOF-ROLL. ALL HOLES, RUTS, SOFT PLACES AND OTHER DEFECTS SHALL 8¢ CORRECTED.
- B. THE ENTIRE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 1557.
- C. AFTER PREPARATION OF THE SUBGRADE IS COMPLETE THE GEOTEXTILE FABRIC (MIRAFI 500xi) SHALL BE INSTALLED TO THE LIMITS INDICATED ON THE DRAWINGS BY ROLLING THE FABRIC OUT LONGITUDINALLY ALONG THE ROADWAY. THE FABRIC SHALL NOT BE DRAGGED ACROSS THE SUBGRADE. PLACE THE ENTIRE ROLL IN A SINGLE OPERATION, ROLLING OUT AS SMOOTHLY AS POSSIBLE.
1. OVERLAPS PARALLEL TO THE ROADWAY WILL BE PERMITTED AT THE CENTERLINE AND AT LOCATIONS BEYOND THE ROADWAY SURFACE WIDTH (I.E. WITHIN THE SHOULDER WIDTH) ONLY. NO LONGITUDINAL OVERLAPS SHALL BE LOCATED BETWEEN THE CENTERLINE AND THE SHOULDER. PARALLEL OVERLAPS SHALL BE A MINIMUM OF 3 FEET WIDE.
2. TRANSVERSE (PERPENDICULAR TO THE ROADWAY) OVERLAPS AT THE END OF A ROLL SHALL OVERLAP IN THE DIRECTION OF THE AGGREGATE PLACEMENT (PREVIOUS ROLL ON TOP) AND SHALL HAVE A MINIMUM LENGTH OF 3 FEET.
3. ALL OVERLAPS SHALL BE PINNED WIN STAPLES OR NAILS A MINIMUM OF 10 INCHES LONG TO INSURE POSITIONING DURING PLACEMENT OF AGGREGATE. PIN LONGITUDINAL SEAMS AT 25 FOOT CENTERS AND TRANSVERSE SEAMS EVERY 5 FEET.
- D. THE AGGREGATE BASE AND SURFACE COURSES SHALL BE CONSTRUCTED IN LAYERS NOT MORE THAN 4 INCH (COMPACTED) THICKNESS. AGGREGATE TO BE PLACED ON GEOTEXTILE FABRIC SHALL BE END-DUMPED ON THE FABRIC FROM THE FREE END OF THE FABRIC OR OVER PREVIOUSLY PLACED AGGREGATE. THE FIRST LIFT SHALL BE BLADED DOWN TO A THICKNESS OF 8 INCHES PRIOR TO COMPACTION. AT NO TIME SHALL EQUIPMENT, EITHER TRANSPORTING THE AGGREGATE OR GRADING THE AGGREGATE, BE PERMITTED ON THE ROADWAY WITH LESS THAN 4 INCHES OF MATERIAL COVERING THE FABRIC.
- E. THE AGGREGATE SHALL BE IMMEDIATELY COMPACTED TO NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE MODIFIED PROCTOR TEST, ASTM D 1557 WITH A TAMPING ROLLER, OR WITH A PNEUMATIC-TIRED ROLLER, OR WITH A VIBRATORY MACHINE OR ANY COMBINATION OF THE ABOVE. THE TOP LAYER SHALL BE GIVEN A FINAL ROLLING WITH A THREE-WHEEL OR TANDEM ROLLER.

3.6 FINISH GRADING:

- A. PERFORM ALL GRADING TO PROVIDE POSITNE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.
- B. UTILIZE SATISFACTORY ALL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
- C. ACHIEVE FINISHED GRADE BY PLACING A MINIMUM OF 4 INCHES OF 1/2” – 3/4” CRUSHED STONE ON TOP SOIL STABILIZER FABRIC.
- D. REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.

3.7 ASPHALT PAVING ROAD:

- A. CHAPTER 630 – CALIFORNIA DEPARTMENT OF TRANSPORTATION FLEXIBLE PAVEMENT.
- B. DESIGN GUIDE AND STANDARDS FOR ROADWAY REHABILITATION PROJECTS (DIB 79-03).

ATTACHMENT 10

REVISION APPROVAL		
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.		
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action
Plans Prepared For:		
MD7		
10590 WEST OCEAN AIR DRIVE SUITE 300 SAN DIEGO, CA 92130		
Applicant:		
at&t Your world. Delivered.		
Plans Prepared By:		
MORRISON HERSHFIELD 5100 S MACADAM AVE. SUITE 500 PORTLAND, OR 97239 Tel: 503-595-9128 Fax: 503-595-9136 www.morrisonhershfield.com		
Project:		
SKYLINE & VALENCIA SITE ID: SD0564 6065 SKYLINE DRIVE SAN DIEGO, CA 92114 FA: 10085120		
Drawing Title:		
GENERAL NOTES		
Project No.: 210339800		
Designer: SB	Date: 08/27/21	
Drawn By: RR	Checked By: SS	
PM Review: JR	Client Approval	
Issue No.: D	GN02	

C:\Users\Yrafi\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraji

STORM WATER CONSTRUCTION BMP NOTES

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST SE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES, FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORKDAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES, THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPSWHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS WORKING ORDER YEAR-ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPS DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT, THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10 R CAL TRANS FACT SHEETTC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE, (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL"

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:

at&t
Your world. Delivered.

Plans Prepared By:


MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

GENERAL NOTES

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	GN03

SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraj

THIS IS NOT A SURVEY

ALL INFORMATION AND TRUE NORTH
HAVE BEEN OBTAINED FROM EXISTING
DRAWINGS AND ARE APPROXIMATE.

THIS PROJECT PROPOSES NO DEVELOPMENT
IMPROVEMENTS OUTSIDE OF THE BUILDING
FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND
THEREFORE DOES NOT REQUIRE ANY PERMANENT
STORM WATER BEST MANAGEMENT PRACTICES.

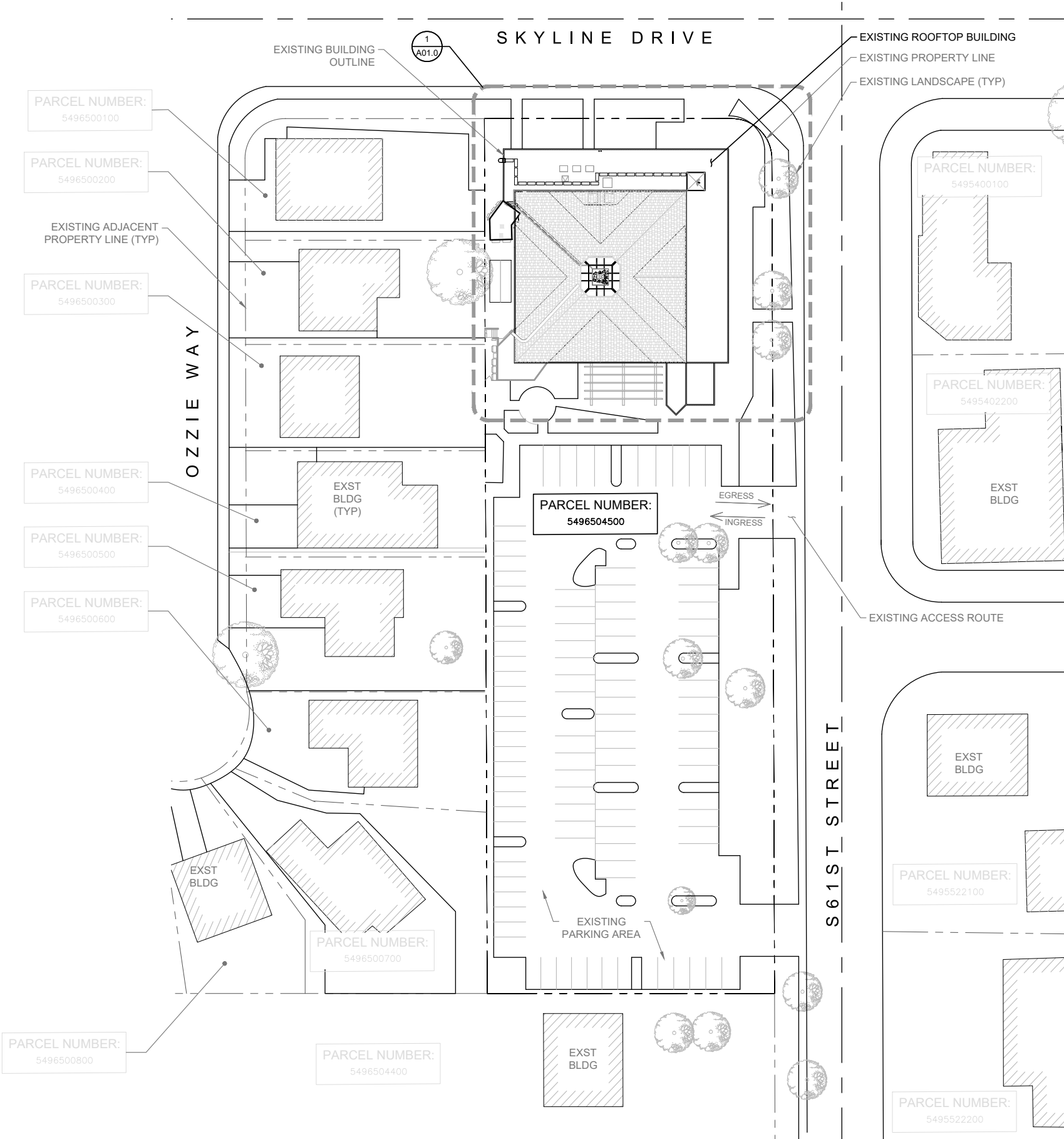
THIS PROJECT PROPOSES NO WORK WITHIN THE
PUBLIC RIGHT-OF-WAY.

NO EXISTING PARKING SPACE WILL BE USED OR
REMOVED BY THIS PROJECT



Know what's below.
Call before you dig.

TO OBTAIN LOCATION OF
PARTICIPANTS UNDERGROUND
FACILITIES BEFORE YOU DIG IN
CALIFORNIA (SOUTH), CALL DIG ALERT
TOLL FREE: 1-800-227-2600 OR
WWW.DIGALERT.ORG
CALIFORNIA STATUTE REQUIRES MIN
OF 2 WORKING DAYS NOTICE BEFORE
YOU EXCAVATE



SITE PLAN

30' 0 15' 30'

SCALE: 1"=30'-0" (22x34)
(OR) 1/2"=30'-0" (11x17)

1

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR
OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK
SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN
APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE
SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS
AND SPECIFICATIONS REMAIN THE PROPERTY OF
MORRISON HERSHFIELD CORPORATION. NEITHER
MORRISON HERSHFIELD NOR THE ARCHITECT WILL
BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

No. Date Action

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

SITE PLAN

Project No.:
210339800

Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval

Issue No.:
D C01.0

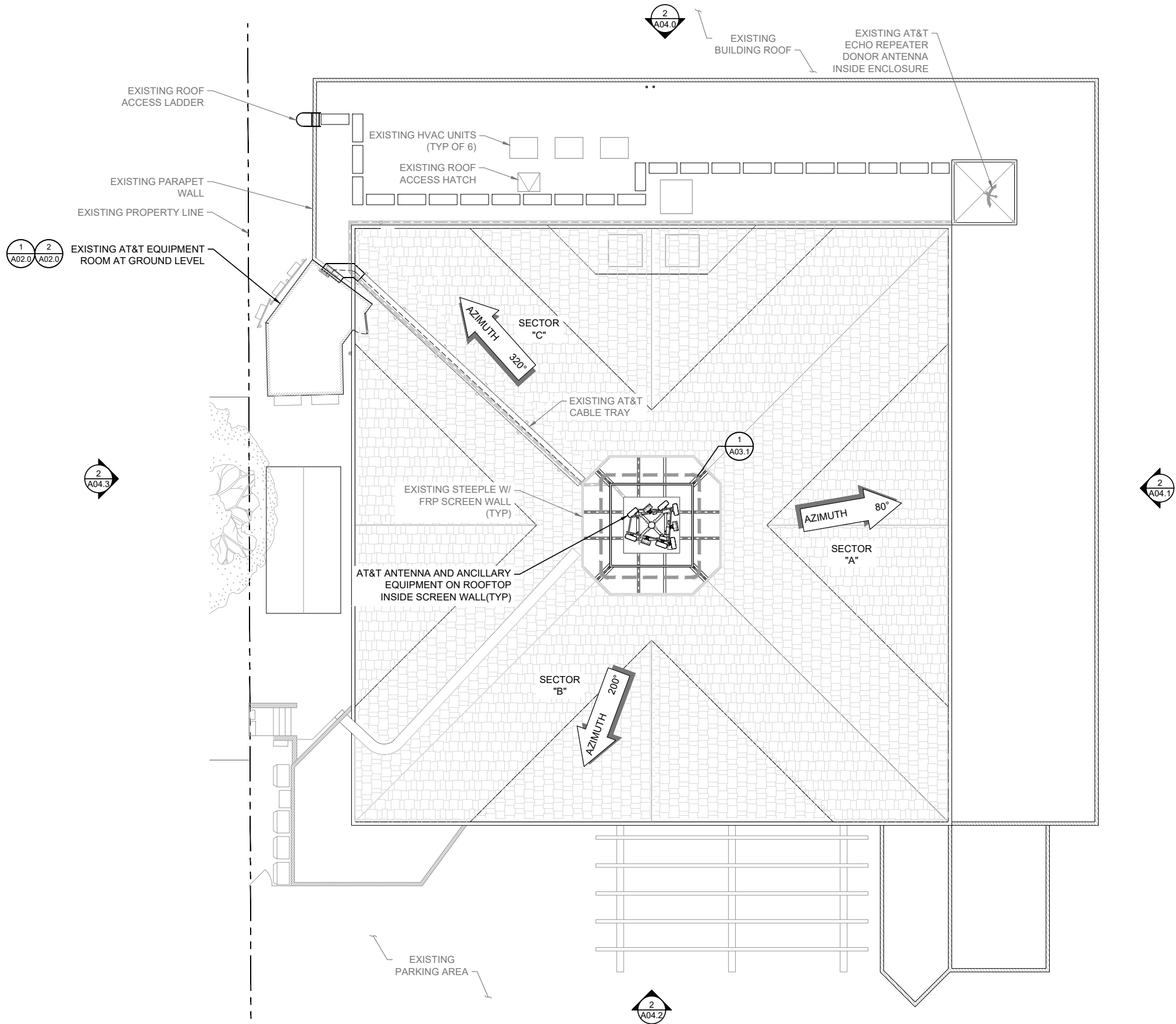
SCALE IS BASE ON 22" X 34" 7D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraj

NOTE:
SEE A03.1 FOR ANTENNA PLAN

NOTE:
ONLY AT&T ANTENNA ARRAY SHOWN FOR CLARITY; SEE ELEVATIONS

ROOF PLAN



ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

No. Date Action

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

ROOF PLAN

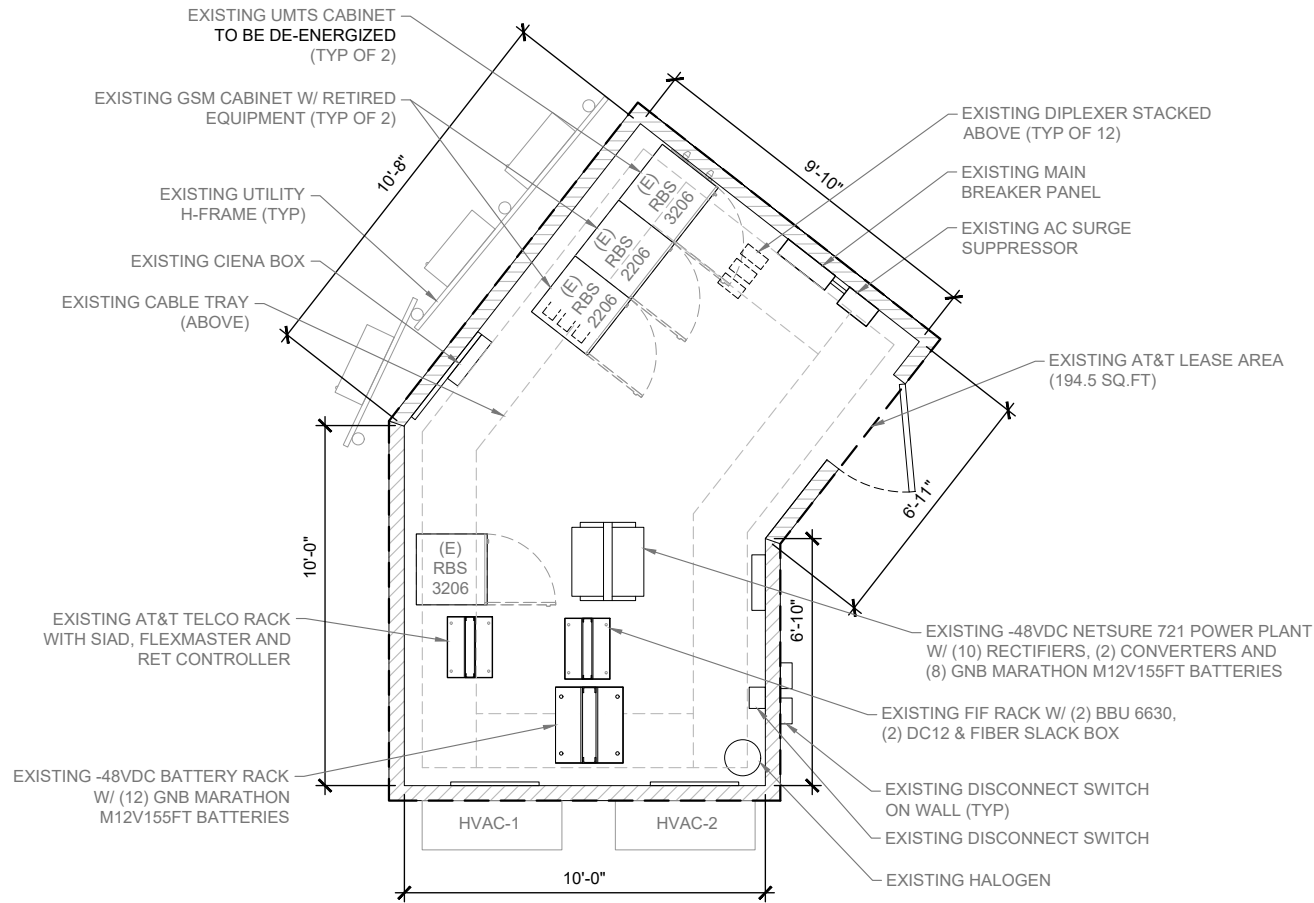
Project No.:
210339800

Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval

Issue No.: D	A01.0
-----------------	-------

SCALE IS BASE ON 22" X 34" "D" SIZE

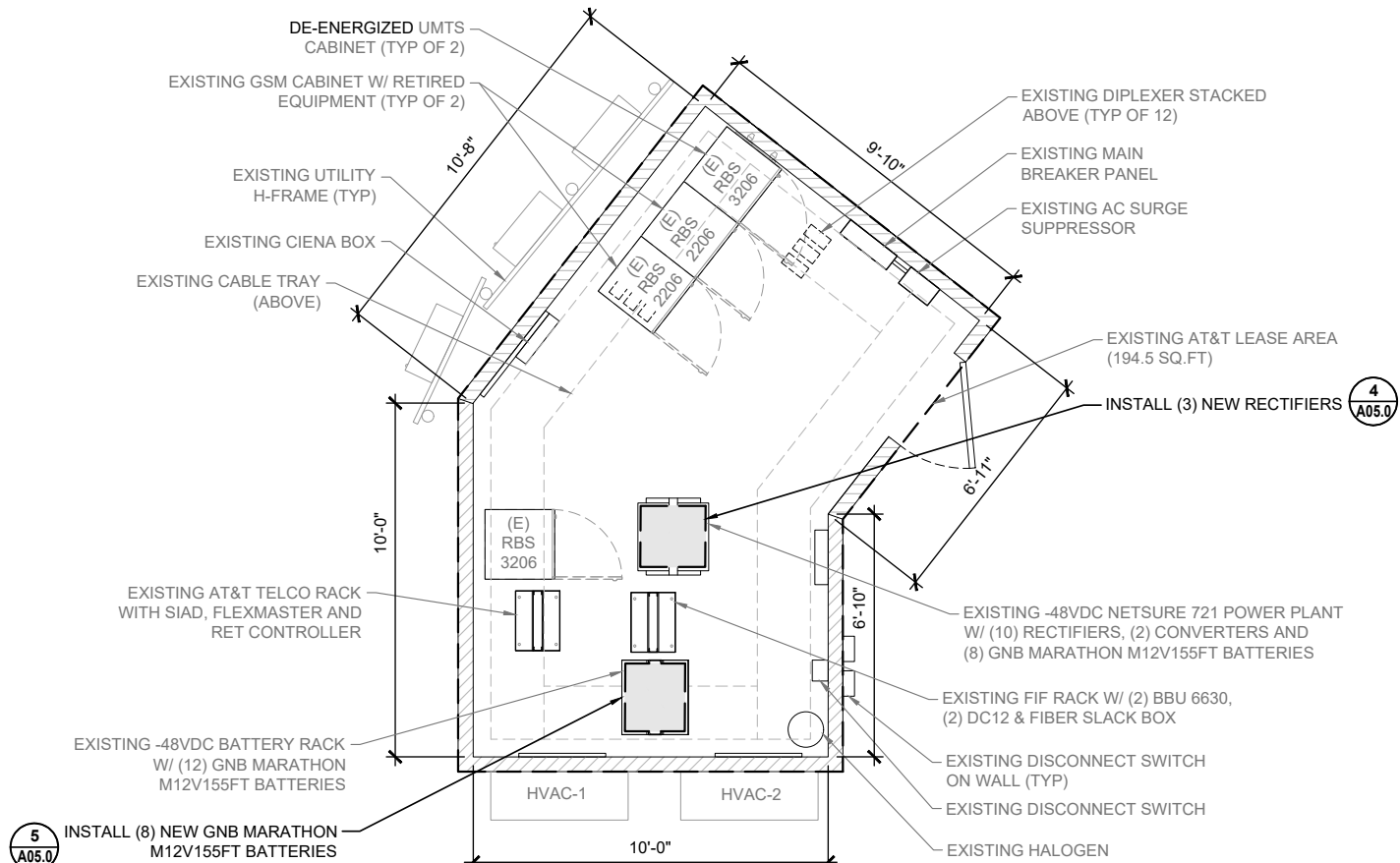
C:\Users\rraji\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraji



0 1' 2' 3' SCALE: 3/8"=1'-0" (22x34)
(OR) 3/16"=1'-0" (11x17)

1

EXISTING EQUIPMENT PLAN



0 1' 2' 3' SCALE: 3/8"=1'-0" (22x34)
(OR) 3/16"=1'-0" (11x17)

2

PROPOSED EQUIPMENT PLAN

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

EQUIPMENT PLANS

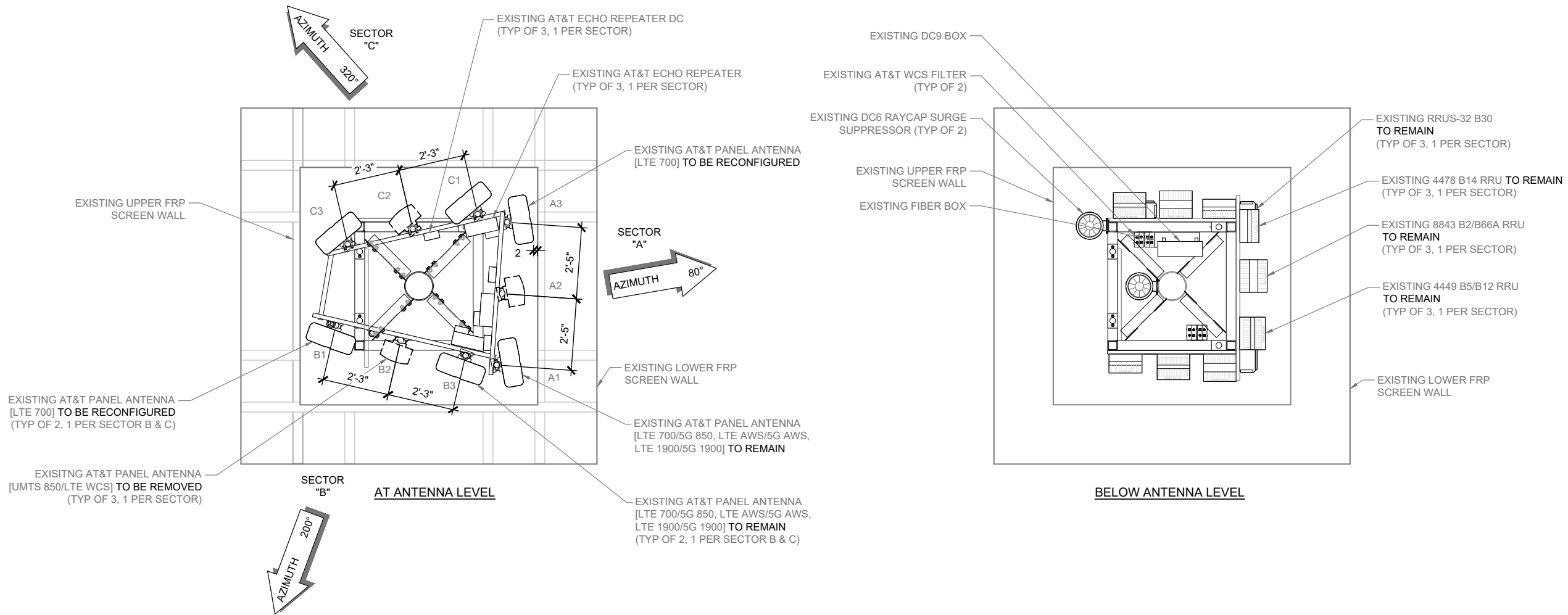
Project No.:
210339800

Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval

Issue No.:
D
A02.0

SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rrai\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rrai



EXISTING ANTENNA PLANS

0 6" 1' 2' SCALE: 1/2"=1'-0" (22x34)
(OR) 1/4"=1'-0" (11x17)

1

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:

at&t
Your world. Delivered.

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

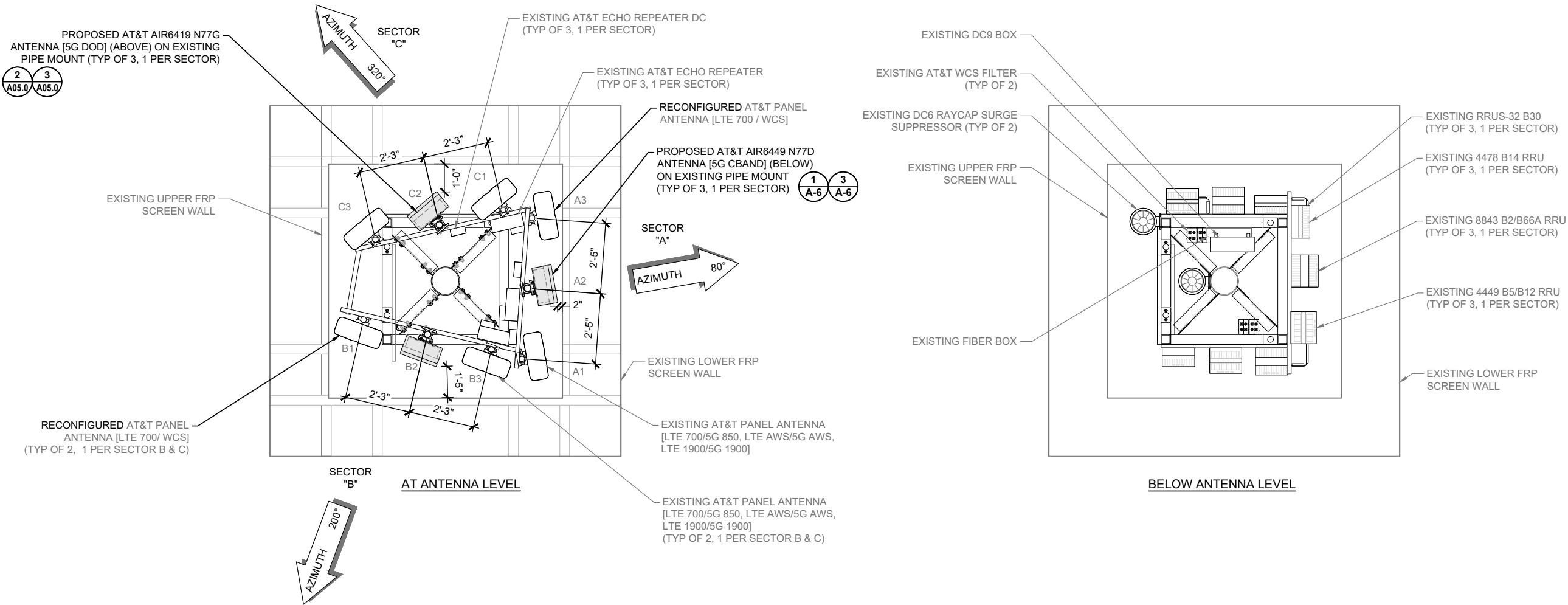
**EXISTING
ANTENNA PLANS**

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A03.0

SCALE IS BASE ON 22" X 34" D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rrai

NOTE: REFER TO MOUNT ANALYSIS
REPORT PERFORMED BY MORRISON
HERSHFIELD ON 12/07/2021.



ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

No.	Date	Action
-----	------	--------

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:
at&t
Your world. Delivered.

Plans Prepared By:
MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
PROPOSED ANTENNA PLANS

Project No.: 210339800	Date: 08/27/21
Designer: SB	Checked By: SS
Drawn By: RR	Client Approval
PM Review: JR	
Issue No.: D	A03.1

PROPOSED ANTENNA PLANS

0 6" 1' 2' SCALE: 1/2"=1'-0" (22x34)
(OR) 1/4"=1'-0" (11x17)



SCALE IS BASE ON 22" X 34" 7D" SIZE

EXISTING ANTENNA CONFIGURATION AND SCHEDULE - PER RFDS VERSION 1.0 - DATED 06-09-21										
SECTOR A	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700 / 5G 850	A1	80°	67°-6"	NNH4-65B-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A	(1) ECHO REPEATER DC (1) ECHO REPEATER	1/2" COAX	±25'
	LTE AWS / 5G AWS									
	LTE 1900 / 5G 1900	A2	80°	67°-6"	SBNHH-1D65B	-	(1) RRUS-32 B30		1-1/4" COAX	±20'
	UMTS 850									
	LTE WCS	A3	80°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14		1/2" COAX	±25'
LTE 700										
SECTOR B	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700	B1	200°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14	(1) ECHO REPEATER DC (1) ECHO REPEATER (1) WCS-IMFQ-AMT (1) DC6-48-60-18-8F	1/2" COAX	±25'
	UMTS 850	B2	200°	67°-6"	SBNHH-1D65B	(1) RRUS-32 B30	1-1/4" COAX		±20'	
	LTE WCS						B3		200°	67°-6"
	LTE 700 / 5G 850									
	LTE AWS / 5G AWS									
LTE 1900 / 5G 1900										
SECTOR C	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700	C1	320°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14	(1) ECHO REPEATER DC (1) ECHO REPEATER (1) WCS-IMFQ-AMT (1) DC6-48-60-18-8F (1) FIBER BOX (1) DC9	1/2" COAX	±25'
	UMTS 850	C2	320°	67°-6"	SBNHH-1D65B	-	(1) RRUS-32 B30		1-1/4" COAX	±20'
	LTE WCS								C3	320°
	LTE 700 / 5G 850									
	LTE AWS / 5G AWS									
LTE 1900 / 5G 1900										

PROPOSED ANTENNA CONFIGURATION AND SCHEDULE - PER RFDS VERSION 1.0 - DATED 06-09-21										
SECTOR A	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700 / 5G 850	A1	80°	67°-6"	NNH4-65B-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A	(1) ECHO REPEATER DC (1) ECHO REPEATER	1/2" COAX	±25'
	LTE AWS / 5G LWS									
	LTE 1900 / 5G 1900	A2	80°	69°-4"	AIR6419 N77G	-	-		-	
	5G DOD			65°-11"	AIR6449 N77D	-	-			
	5G CBAND									
LTE 700 / WCS	A3	80°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14 (1) RRUS-32 B30	1/2" COAX		±25'	
SECTOR B	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700 / WCS	B1	200°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14 (1) RRUS-32 B30	(1) ECHO REPEATER DC (1) ECHO REPEATER (1) WCS-IMFQ-AMT (1) DC6-48-60-18-8F	1/2" COAX	±25'
	5G DOD	B2	200°	69°-4"	AIR6419 N77G	-	-		-	-
	5G CBAND			65°-11"	AIR6449 N77D					
	LTE 700 / 5G 850	B3	200°	67°-6"	NNH4-65B-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A		1/2" COAX	±25'
	LTE AWS / 5G LWS									
	LTE 1900 / 5G 1900									
SECTOR C	CARRIER / SPECTRUM	ANTENNA POSITION	AZIMUTH	RAD CENTER	MODEL	TMA	RRU	OTHER EQUIPMENT	FEEDER JUMPER	FEEDER LENGTH
	LTE 700 / WCS	C1	320°	67°-6"	NNHH-65B-R4	-	(1) 4478 B14 (1) RRUS-32 B30	(1) ECHO REPEATER DC (1) ECHO REPEATER (1) WCS-IMFQ-AMT (1) DC6-48-60-18-8F (1) FIBER BOX (1) DC9	1/2" COAX	±25'
	5G DOD	C2	320°	69°-4"	AIR6419 N77G	-	-		-	-
	5G CBAND			65°-11"	AIR6449 N77D					
	LTE 700 / 5G 850	C3	320°	67°-6"	NNH4-65B-R6H4	-	(1) 4449 B5/B12 (1) 8843 B2/B66A		1/2" COAX	±25'
	LTE AWS / 5G LWS									
LTE 1900 / 5G 1900										

NOTE:
REMOVE ALL UNNECESSARY HARDWARE TO MAKE SPACE FOR PROPOSED ANTENNAS

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Your world. Delivered.

Plans Prepared By:



MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

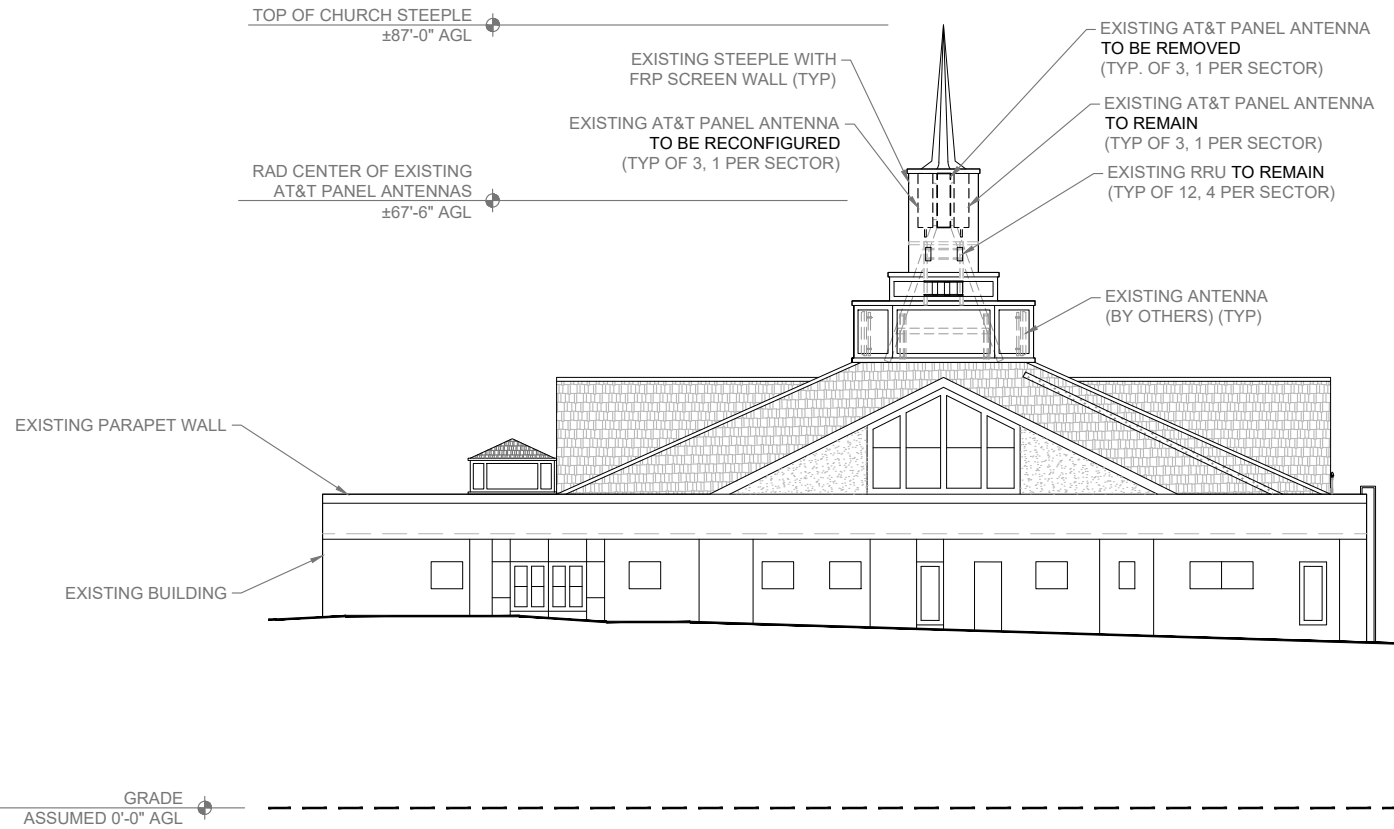
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

ANTENNA SCHEDULES

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A03.2

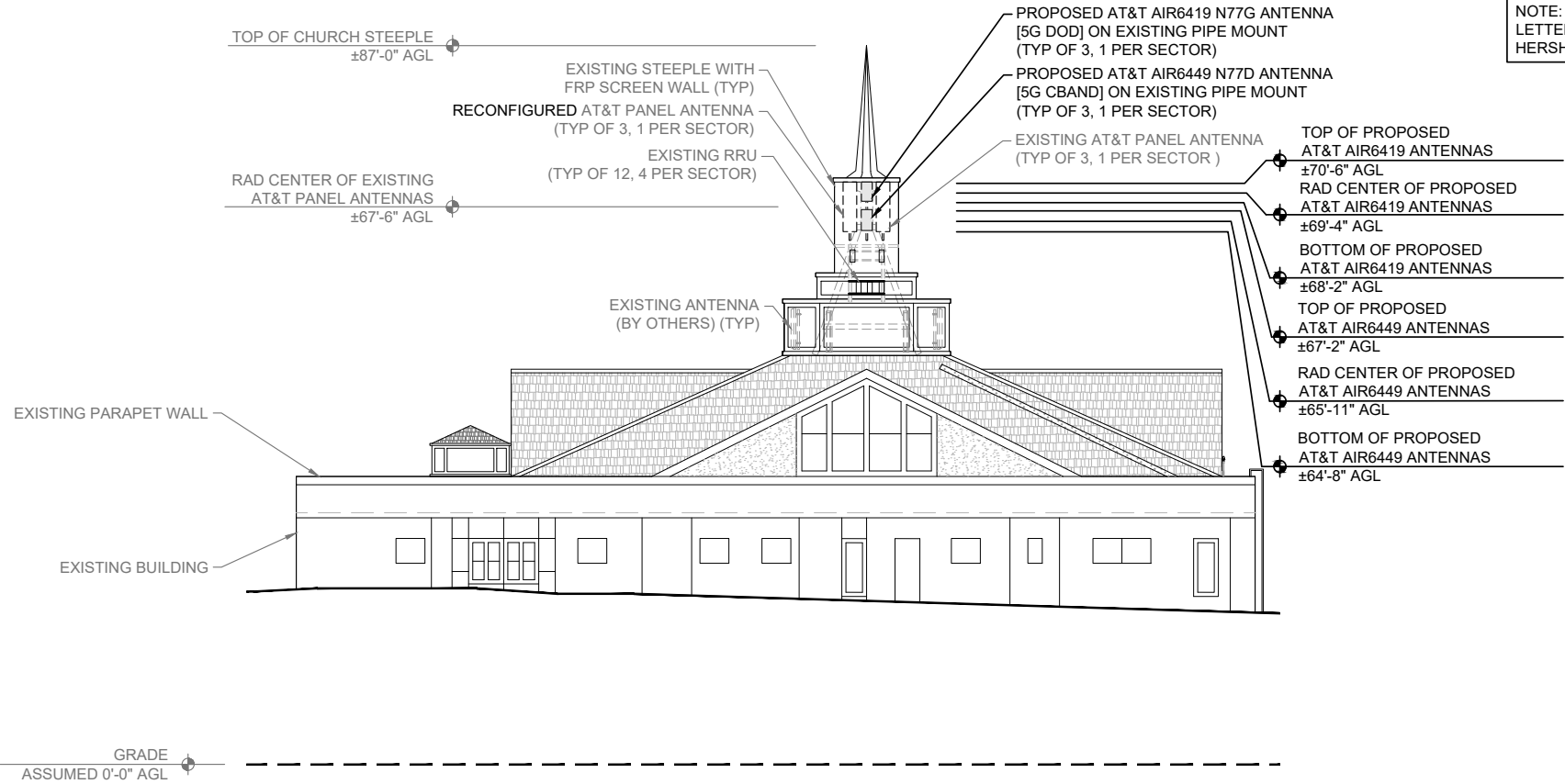
C:\Users\rraji\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraji



EXISTING NORTH ELEVATION

0 3' 6" 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17)

1



NOTE: REFER TO STRUCTURAL ASSESSMENT LETTER PERFORMED BY MORRISON HERSHFIELD ON 12/07/2021.

PROPOSED NORTH ELEVATION

0 3' 6" 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17)

2

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:
 **at&t**
Your world. Delivered.

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

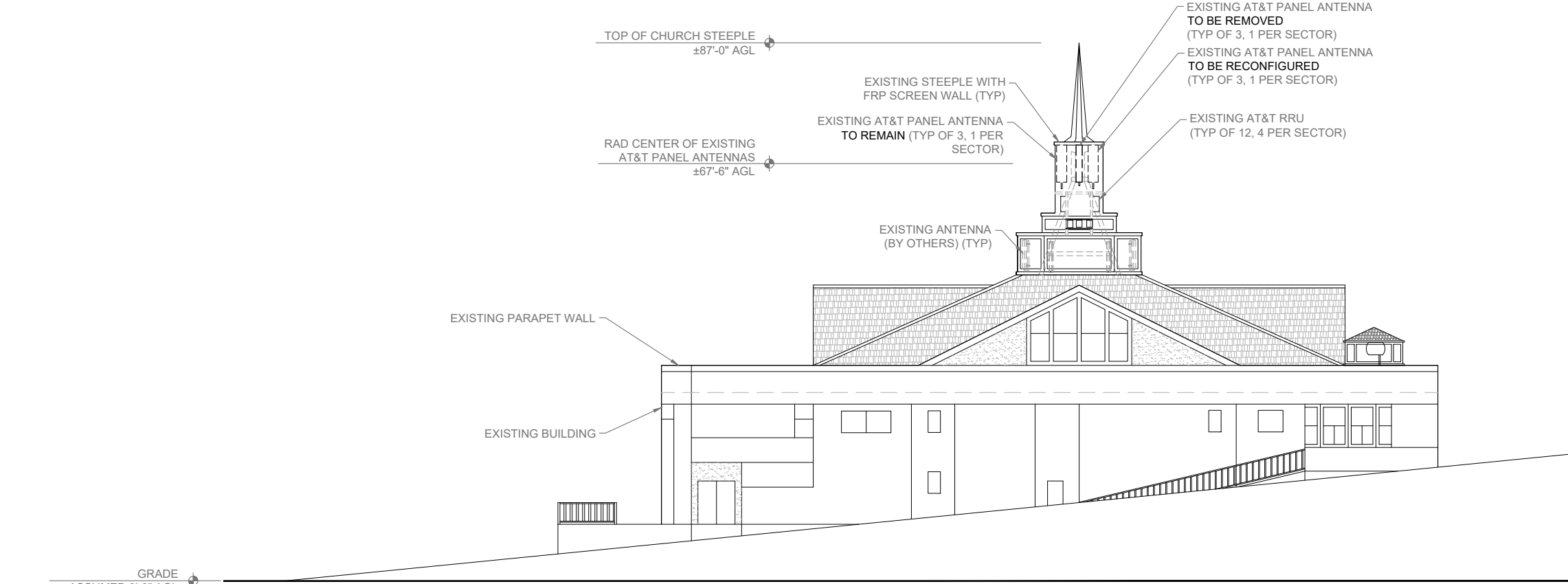
Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
NORTH ELEVATIONS

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A04.0

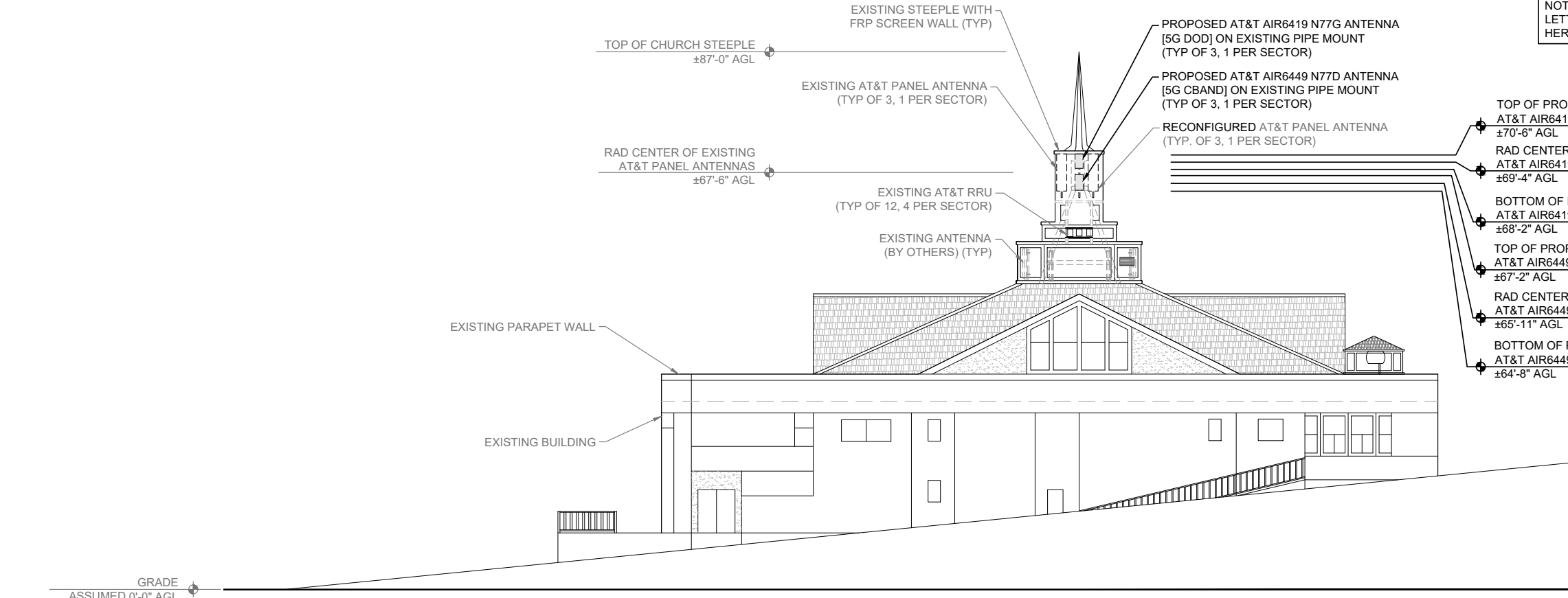
SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rraji\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraji



EXISTING EAST ELEVATION

0 3' 6" 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17) 1



PROPOSED EAST ELEVATION

0 3' 6" 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17) 2

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:

at&t
Your world. Delivered.

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

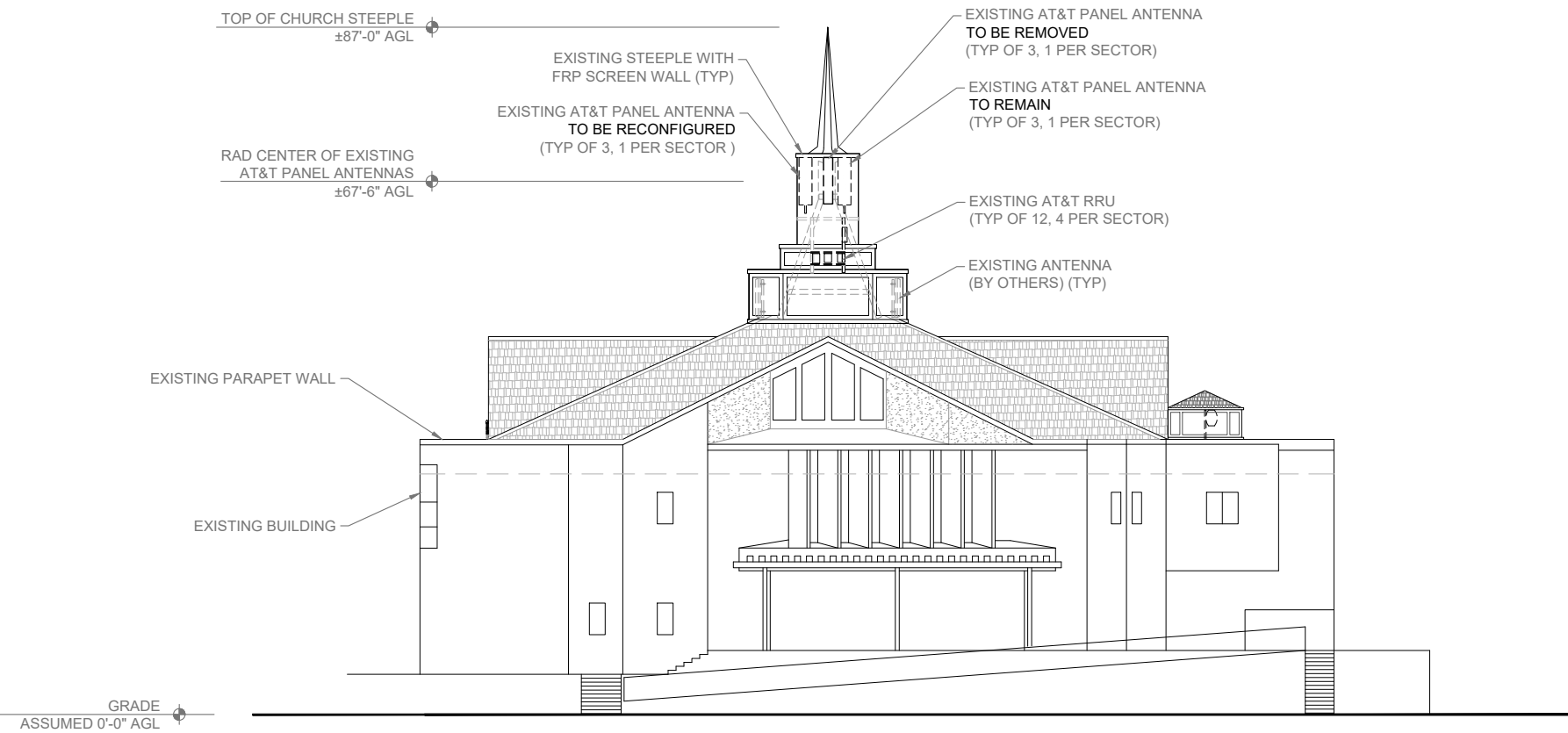
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

EAST ELEVATIONS

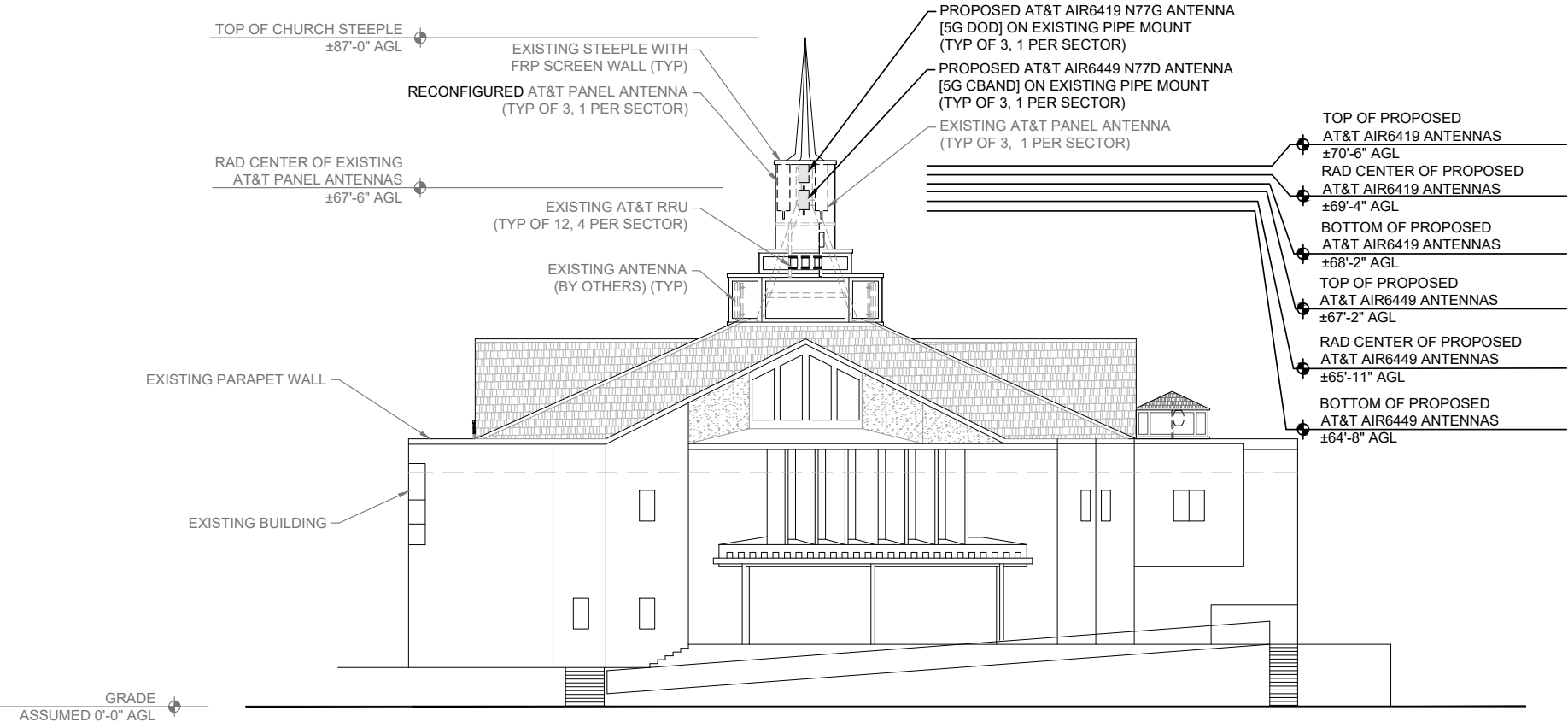
Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A04.1

C:\Users\rraji\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rraji



EXISTING SOUTH ELEVATION

0 3' 6' 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17) 1



NOTE: REFER TO STRUCTURAL ASSESSMENT LETTER PERFORMED BY MORRISON HERSHFIELD ON 12/07/2021.

PROPOSED SOUTH ELEVATION

0 3' 6' 12' SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17) 2

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:

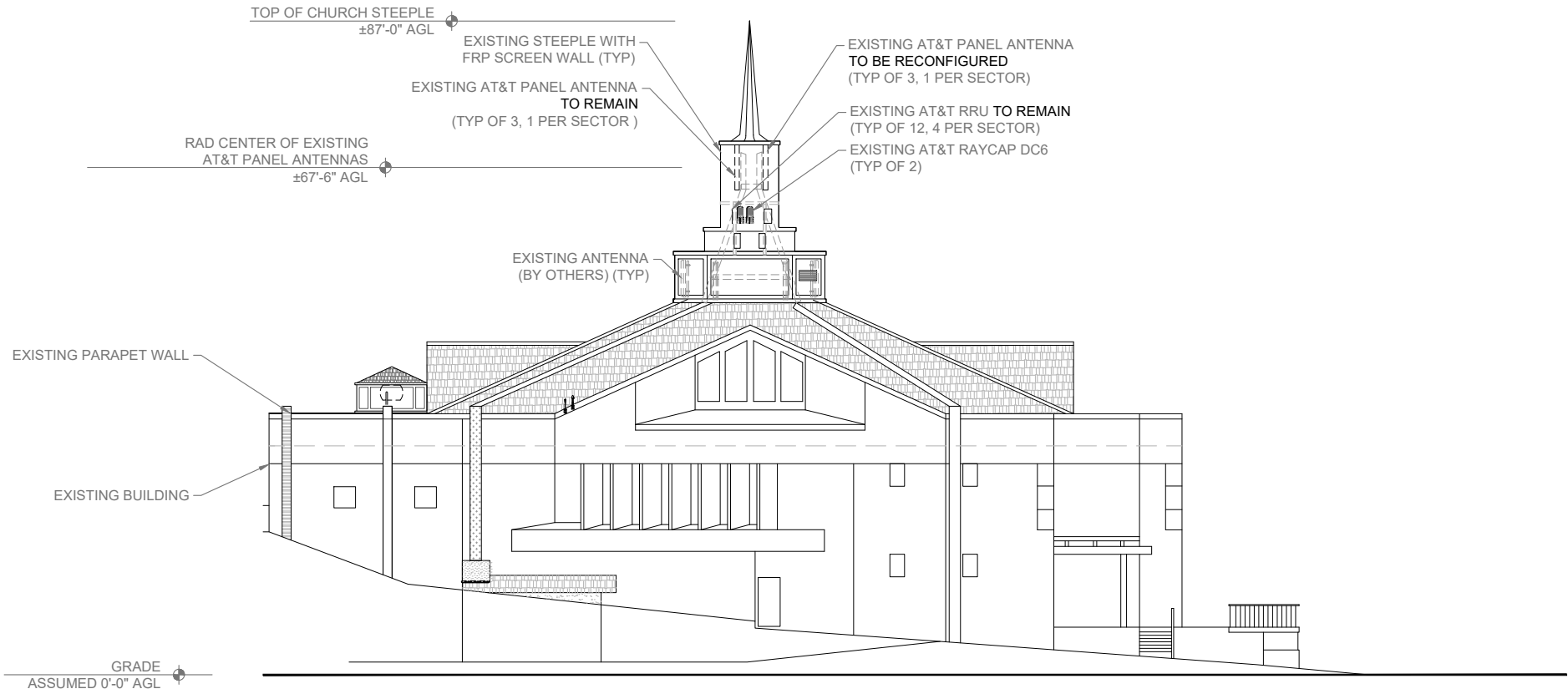
MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
SOUTH ELEVATIONS

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A04.2

C:\Users\rrai\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rrai

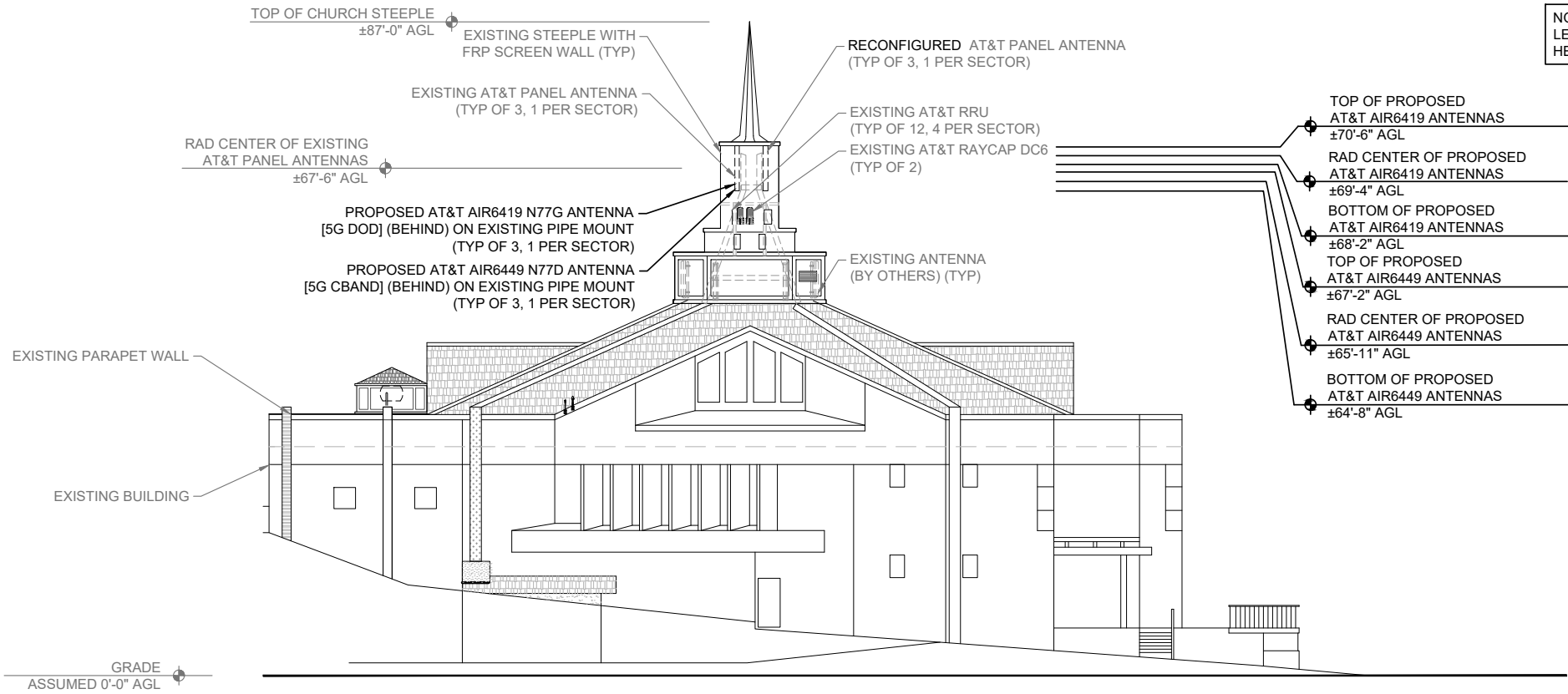


EXISTING WEST ELEVATION

0 3' 6" 12'

SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17)

1



PROPOSED WEST ELEVATION

0 3' 6" 12'

SCALE: 3/32"=1'-0" (22x34)
(OR) 3/64"=1'-0" (11x17)

2

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



at&t
Your world. Delivered.

Plans Prepared By:



MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

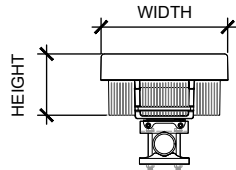
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

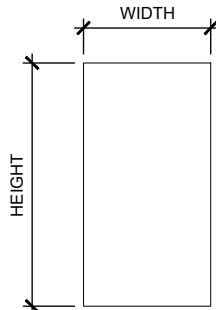
**WEST
ELEVATIONS**

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A04.3

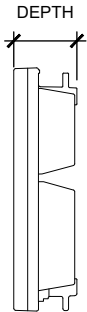
C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:10pm rrai



BACK VIEW



FRONT VIEW

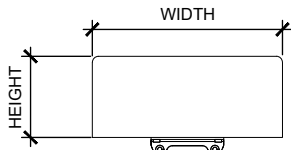


SIDE VIEW

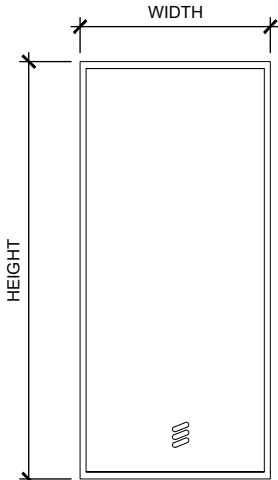
ERICSSON AIR6449 N77

SIZE AND WEIGHT TABLE

HEIGHT	WIDTH	DEPTH	WEIGHT
30.4"	15.9"	8.1"	81.6 LBS



BACK VIEW

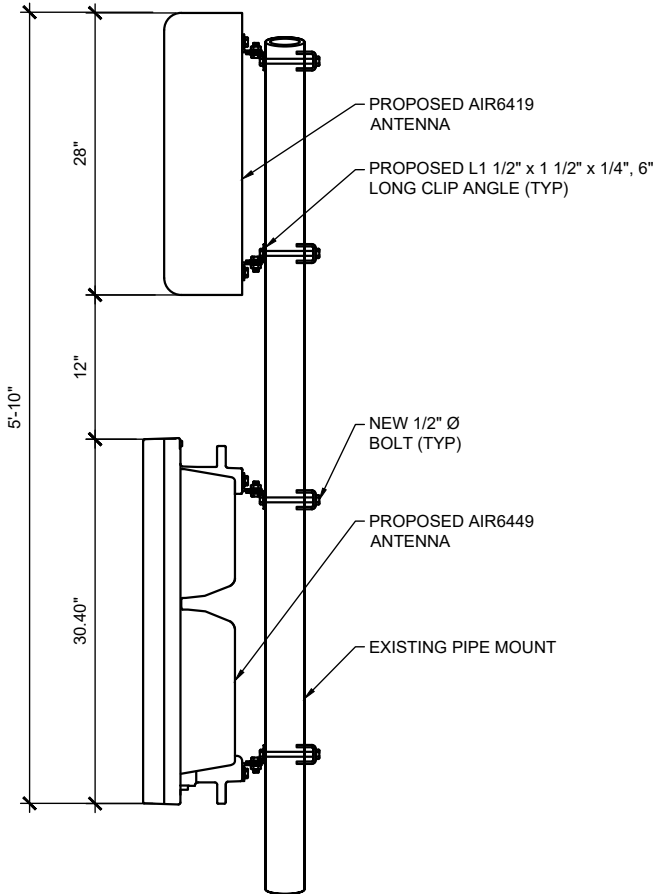


FRONT VIEW

ERICSSON AIR6419 N77G

SIZE AND WEIGHT TABLE

HEIGHT	WIDTH	DEPTH	WEIGHT
28.0"	15.7"	6.7"	66.1 LBS



ANTENNA SPECIFICATIONS

SCALE	1
N.T.S.	

EMERSON 2KW HE -48V RECTIFIER:

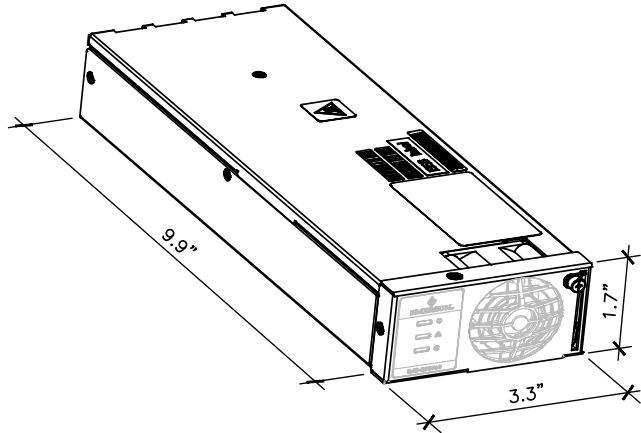
MANUFACTURER: EMERSON

SPECIFICATIONS:

DIMENSION: 1.7"H x 3.3"W x 9.9"D
WEIGHT: 2.49 LBS. (1.13 KG.)

DC INPUT
DC INPUT VOLTAGE, NOMINAL: 208/240 VOLTS
INPUT VOLTAGE, PERMITTED VARIATION: 176 VDC
MAXIMUM INPUT CURRENT: 11.73A

DC OUTPUT
OUTPUT VOLTAGE -48 VDC
OUTPUT VOLTAGE, PERMITTED VARIATION: -42 TO 58 VDC
OUTPUT POWER: 2000 W @ -48 VDC
OUTPUT CURRENT: 41.7 A



RECTIFIER SPECIFICATIONS

SCALE	4
N.T.S.	

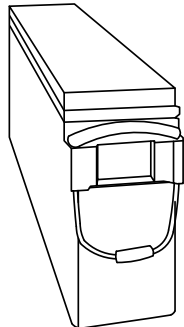
ANTENNA SPECIFICATIONS

SCALE	2
N.T.S.	

VRLA M12V155FT BATTERY:

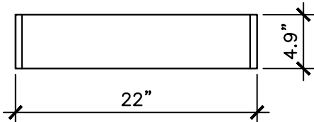
SPECIFICATIONS:

MANUFACTURER: GNB
EXIDE TYPE DESIGNATION: M12V155FT
NOM. VOLTAGE V: 12 V
NOM. CAPACITY C10 1.80 VPC 20° C Ah: 150AH
NOM. CAPACITY C8 1.75 VPC 25° C Ah: 155 AH
LENGTH (l) MAX (mm): 22" (559)
WIDTH (b/w) MAX. (mm): 4.90" (124)
HEIGHT (h) MAX (mm): 11.15" (283)
WEIGHT APPROX. (kg): 53.8
INTERNAL RESISTANCE mOhm: 3.0

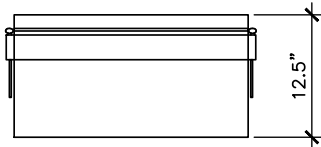


ISOMETRIC VIEW

CONNECT SERIES OF (4) 12V BATTERIES = 48V



PLAN VIEW



SIDE VIEW

VRLA BATTERY SPECIFICATIONS

SCALE	5
N.T.S.	

ANTENNA MOUNTING KIT

SCALE	3
N.T.S.	

NOT USED

6

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:
at&t
Your world. Delivered.

Plans Prepared By:
MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
DETAILS

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A05.0

SCALE IS BASE ON 22" X 34" "D" SIZE



MATERIAL SAFETY DATA SHEET

I. PRODUCT IDENTIFICATION		
MANUFACTURER Exide Technologies Industrial Energy 3950 Sussex Avenue Aurora, IL 60504-7932	CHEMICAL/TRADE NAME (as used on label)	MARATHON V-0 and SPRINTER V-0 Valve Regulated Lead Acid Battery
FOR INFORMATION Primary: MACTEC Engineering and Consulting, Inc. Attention: Juliann Cothran (770) 421-3485 Secondary: Environmental, Safety & Health Attention: Eric Murray (800) 532-4622 or Fred Gianster (610) 921-4052	CHEMICAL FAMILY/ CLASSIFICATION	Electrical Storage Battery Monoblock type
FOR EMERGENCY CHEMTREC (800) 424-9300 24-hour Emergency Response Contact Ask for Environmental Coordinator	DATE ISSUED:	January 2010
CHEMTREC INTERNATIONAL (703) 527-3887 - Collect		

II. HAZARDOUS INGREDIENTS/IDENTITY INFORMATION

			Approximate Air Exposure Limits ($\mu\text{g}/\text{m}^3$)		
Components	CAS Number	% by Wt.	OSHA	ACGIH	NIOSH
Inorganic components of:					
Lead	7439-92-1	71-76	50	50	50
Antimony Oxide	7440-36-0	< 0.6	500	500	500
Calcinated Clay	N/A	< 1.2	N/A	N/A	N/A
Tin	7440-31-5	0.4-0.6	2000	2000	2000
Copper	7440-50-8	< 0.1	1000	1000	1000
Electrolyte (sulfuric acid)	7664-93-9	16-18	1000	200	1000
Case Material:					
Polypropylene	9003-07-0	6-7	N/A	N/A	N/A
Plate separator material:					
Glass	N/A	2-3	N/A	N/A	N/A

NOTE: Inorganic lead and electrolyte (water and sulfuric acid solution) are the primary components of every battery manufactured by Exide Technologies or its subsidiaries. Other ingredients may be present dependent upon battery type. Polypropylene is the principal case material of automotive and commercial batteries.

III. PHYSICAL DATA

Boiling Point (Electrolyte)	203° F (at 760 mm Hg)	Specific Gravity (H ₂ O=1)	1.230 to 1.350
Melting Point	Not Applicable	Vapor Pressure (mm Hg at 20 °C)	10
Solubility in Water	100%	Vapor Density (AIR=1)	Greater than 1
Evaporation Rate (Butyl acetate=1)	Less Than 1	% Volatiles by Weight	Not Applicable
Appearance and Odor	A clear liquid with a sharp, penetrating, pungent odor. A battery is a manufactured article; no apparent odor.		

Project Battery System Data

Battery Type:	Valve Regulated Lead Acid (VRLA) with Absorbant Glass Mat (AGM)
Battery Manufacturer/Model:	Exide GNB / M12V155FT
Total Weight of (1) Battery/Cell (kg):	53.8
Electrolyte per Battery (18% of Battery Weight) (kg):	9.7
Electrolyte per Battery in Gallons (1 Gallon = 6.91 kg):	1.4
Total Batteries in Power & Battery Rack:	28
Total Amount of -48V Strings:	7
Total Amount of Electrolyte in Gallons:	39.2
Total Amount of Amp Hours (Ah):	1085
Total Amount of Kilo-Watt Hours (kWh):	52.08

BATTERY SPECIFICATIONS

SCALE	1
N.T.S.	

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERROR OR OMISSION. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFELD CORPORATION. NEITHER MORRISON HERSHFELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:



Project:

SKYLINE & VALENCIA
SITE ID: SD0564
 6065 SKYLINE DRIVE
 SAN DIEGO, CA 92114
FA: 10085120

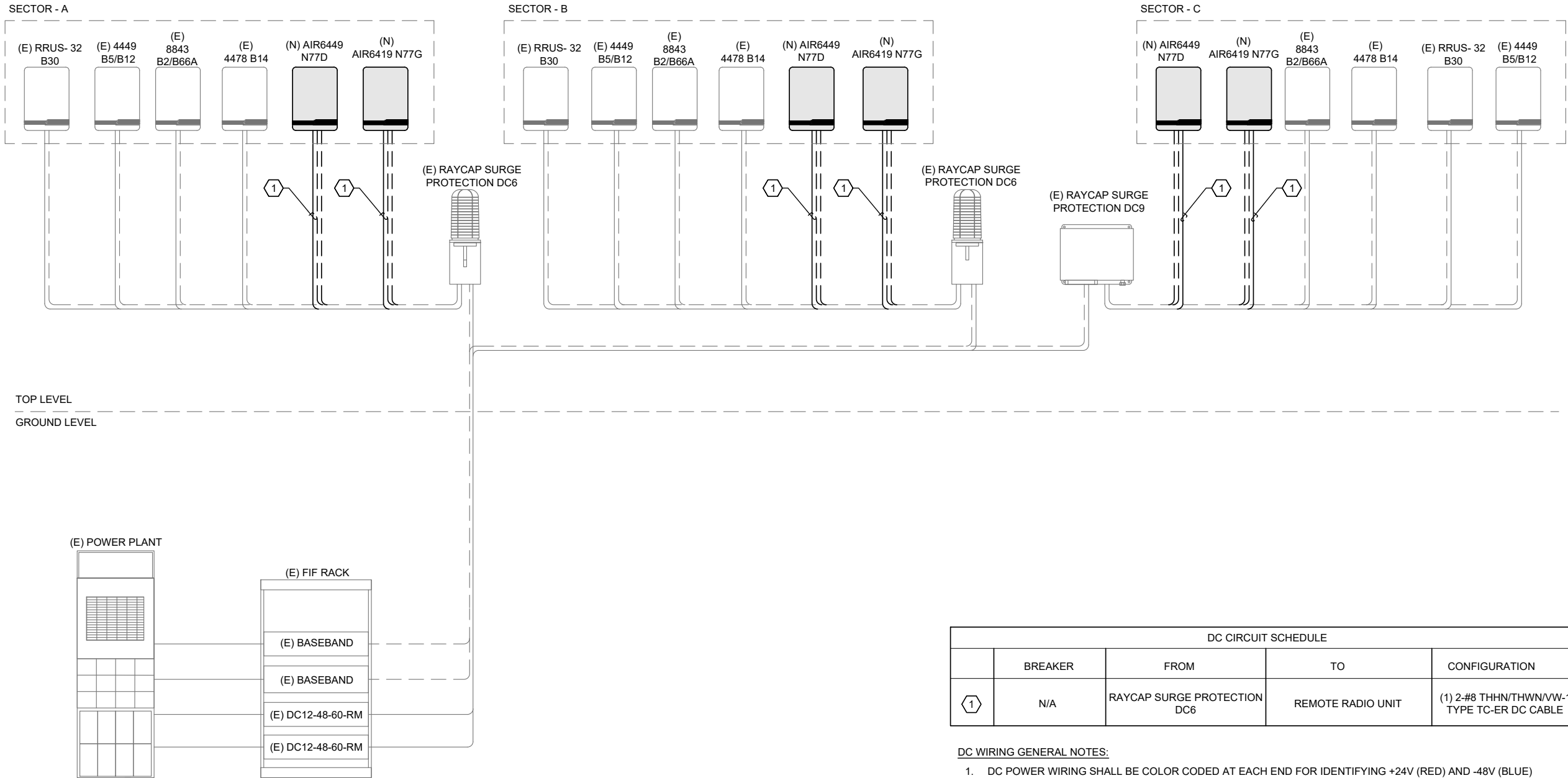
Drawing Title:

DETAILS

Project No.:
210339800

Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	A05.1

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:11pm rrai



ELECTRICAL DC ONE-LINE DIAGRAM

SCALE
N.T.S.

1

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

**ELECTRICAL DC
ONE-LINE DIAGRAM**

Project No.:

210339800

Designer:

SB

Date:

08/27/21

Drawn By:

RR

Checked By:

SS

PM Review:

JR

Client Approval

Issue No.:

D

E01.0

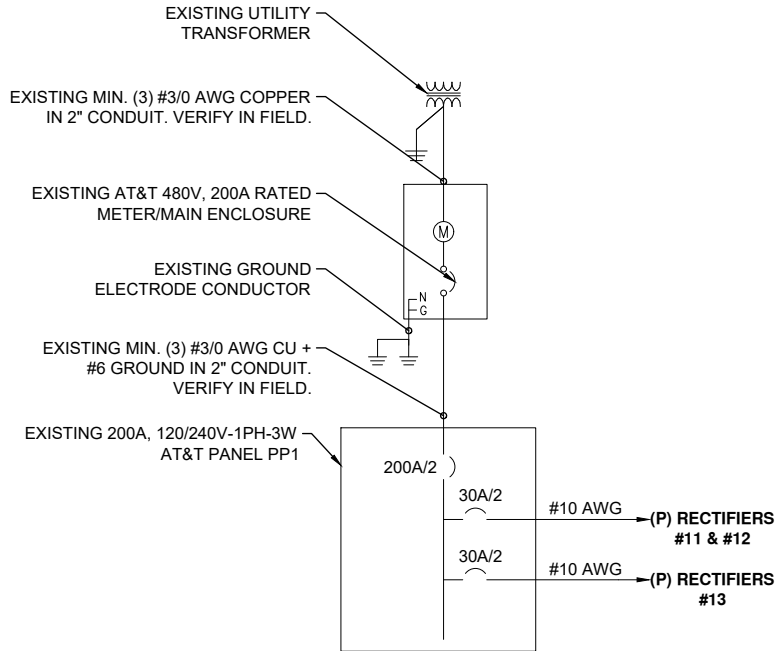
SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:11pm rrail

PANEL NAME			LOCATION:	VOLTAGE:			240 / 120V	1Ø		MOUNTING/ENCLOSURE:	SURFACE	NEMA-1		
EXISTING 200A PANEL PP1			EQUIPMENT ROOM	MAIN C/B:			200			AVAIL. FAULT CURRENT:				
				BUS RATING:			200	AMPS			SHORT CIRCUIT RATING:	22,000		
AMPS	POLES	TYPE	CIRCUIT DESCRIPTION	KVA	CKT	A		B	CKT	KVA	CIRCUIT DESCRIPTION	TYPE	POLES	AMPS
20	1	NC	(E) RECEPTACLES	0.54	1	1.74			2	1.20	(E) FIBER EQUIPMENT	NC	1	30
20	1	C	(E) LIGHTING	1.21	3			1.21	4	0.00	(E) SPARE	NC	1	30
20	1	NC	(E) TELCO BACKBOARD	0.18	5	2.18			6	2.00	(E) RECTIFIERS #9 & #10	NC	2	30
20	1	NC	(E) RECEPTACLE	0.18	7			2.18	8	2.00				
20	1	NC	(E) PACBELL	0.18	9	2.18			10	2.00	(P) RECTIFIERS #11 & #12	NC	2	30
20	1	NC	(E) RECEPTACLES	0.54	11			2.54	12	2.00				
20	1	NC	(E) DOOR RECEPTACLE	0.18	13	1.18			14	1.00	(P) RECTIFIERS #13	NC	2	30
20	1	-	(E) SPARE	0.00	15			1.00	16	1.00				
30	2	NC	(E) RECTIFIERS #1 & #2	2.00	17	2.00			18	0.00	(E) SPARE	NC	2	30
				2.00	19			2.00	20	0.00				
30	2	NC	(E) RECTIFIERS #3 & #4	2.00	21	2.00			22	0.00	(E) SPARE	NC	2	30
				2.00	23			2.00	24	0.00				
30	2	NC	(E) RECTIFIERS #5 & #6	2.00	25	5.71			26	3.71	(E) HVAC #1	NC	2	60
				2.00	27			5.71	28	3.71				
30	2	NC	(E) RECTIFIERS #7 & #8	2.00	29	2.00			30	0.00	(E) HVAC #2	NC	2	60
				2.00	31			2.00	32	0.00				
-	-	-	(E) SPACE	0.00	33	0.01			34	0.01	(E) PHASE FAIL RELAY	NC	2	15
-	-	-	(E) SPACE	0.00	35			0.01	36	0.01				
-	-	-	(E) SPACE	0.00	37	0.00			38	0.00	(E) SURGE SUPPRESSOR	NC	2	100
-	-	-	(E) SPACE	0.00	39			0.00	40	0.00				
-	-	-	(E) SPACE	0.00	41	0.00			42	0.00	SPACE		-	-
PHASE TOTAL						19.00		18.65	KVA					
ALL NEW BREAKERS SHALL MATCH EXISTING AIC RATING										TOTAL CONNECTED LOAD	37.65	KVA	157A	
										TOTAL DEMAND LOAD	37.95	KVA	158A	

NOTES:

- EXISTING MAIN AC PANEL WILL NOT BE REPLACED.
- CONTRACTOR SHALL INSTALL AND RUN ANY NEW CONDUCTORS TOGETHER IN A NEW 1" EMT CONDUIT.
- CONTRACTOR TO VERIFY EXISTING BREAKER SIZE AND CONNECTIONS IF THEY WILL BE RE-USED.
- ADDITIONAL DC LOAD HAS BEEN INCLUDED IN THE AC LOAD CALCULATIONS.



ELECTRICAL AC ONE-LINE DIAGRAM & PANEL SCHEDULE

SCALE
N.T.S.

1

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

No.	Date	Action
D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:
 **at&t**
Your world. Delivered.

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

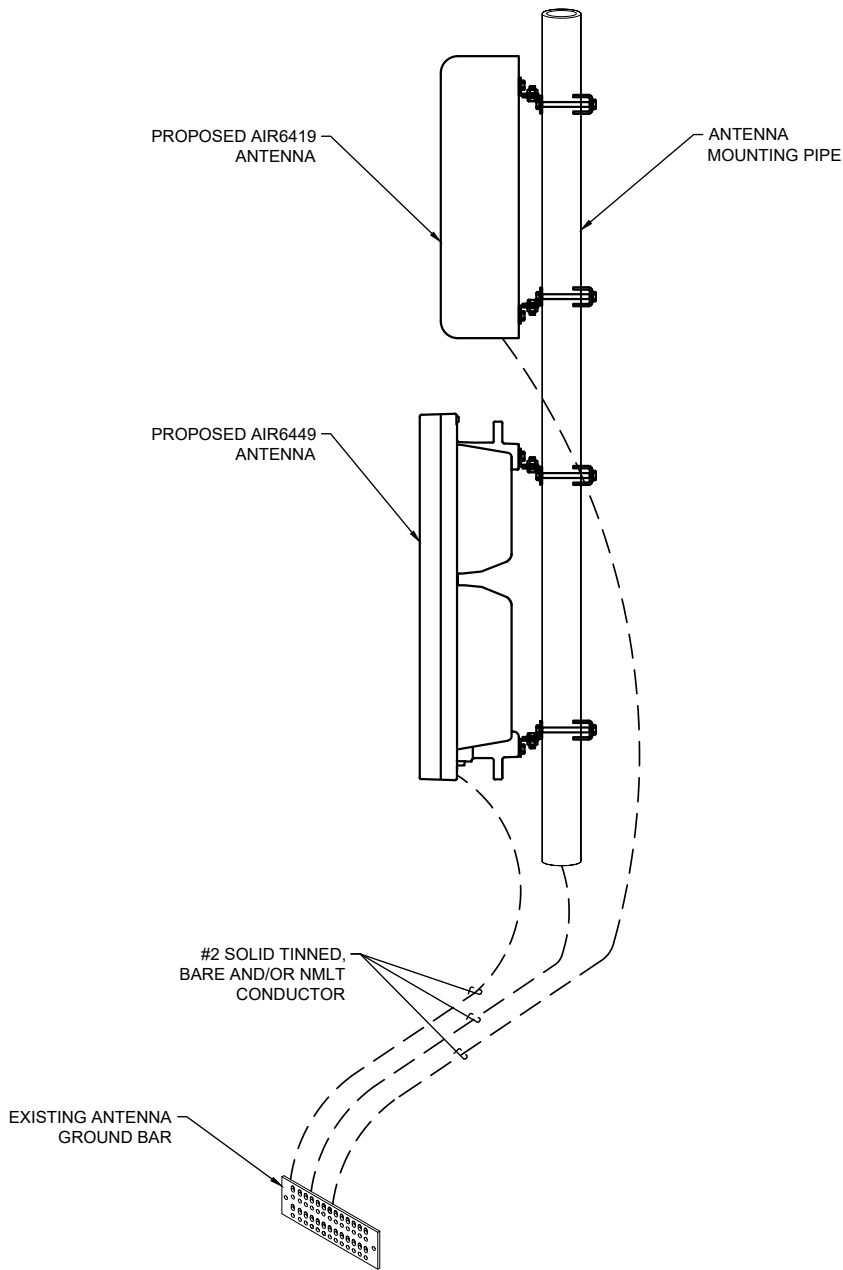
Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
**ELECTRICAL AC
ONE-LINE DIAGRAM &
PANEL SCHEDULE**

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	E01.1

SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rrai\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:11pm rrai



- NOTES:**
- CONTRACTOR SHALL REFER TO AT&T GROUNDING AND BONDING PRACTICE TP-76416. ALL EXOTHERMIC CADWELDS SHALL BE PERFORMED BY CERTIFIED TECHNICIAN.
 - PROVIDE WEATHER PROOFING AND GROUNDING KIT TO BOND DC POWER CABLE SHIELD TO EXTERNAL HATCH PLATE GROUND BAR.
 - PROVIDE GROUND CONNECTION FOR DC POWER CABLE SHIELD TO "P" SECTION OF CRGB WITHIN SHELTER.
 - CONTRACTOR SHALL USE THEFT RESISTANT GROUND WIRES AND BARS WHEN FEASIBLE.
 - CONTRACTOR SHALL MAINTAIN A 12" MINIMUM GROUND WIRE BEND RADII.
 - GROUND LUGS, HEATSHRINK AND CLAMPS DEVICES SHALL COMPLY WITH AT&T GROUNDING AND BONDING PRACTICE TP-76416.

ANTENNA GROUNDING SCHEMATIC (TYP)

SCALE
N.T.S.

1

GROUNDING NOTES

SCALE
N.T.S.

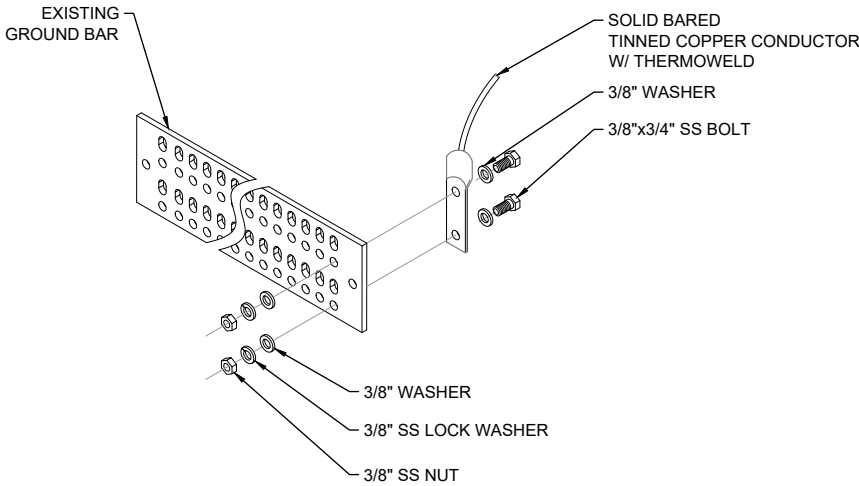
3

TYPICAL GROUND BAR CONNECTION DETAIL

SCALE
N.T.S.

2

- RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DOCUMENTS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
- GUARANTEE/WARRANTY: GUARANTEE INSTALLATION TO BE FREE OF DEFECTS, SHORTS, GROUNDS, ETC., FOR A PERIOD OF ONE YEAR. FURNISH WARRANTY SO THE DEFECTIVE MATERIAL AND/OR WORKMANSHIP WILL BE REPAIRED/REPLACED IMMEDIATELY UPON NOTIFICATION AT NO COST TO THE OWNER FOR PERIOD OF WARRANTY.
- ALL TIE WRAPS SHALL BE CUT FLUSH WITH APPROVED CUTTING TOOL TO REMOVE SHARP EDGES.
- ELECTRICAL METALLIC TUBING (EMT) OR RIGID NONMETALLIC CONDUIT (I.E., RIGID PVC SCHEDULE 40, OR RIGID PVC SCHEDULE 80 FOR LOCATIONS SUBJECT TO PHYSICAL DAMAGE) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
- LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
- WIREWAYS SHALL BE EPOXY-COATED (GRAY) AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARD; SHALL BE PANDUIT TYPE E (OR EQUAL); AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES, AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND RATED NEMA 1 (OR BETTER) INDOORS, OR NEMA 3R (OR BETTER) OUTDOORS.
- METAL RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED, OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- NONMETALLIC RECEPTACLE, SWITCH, AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2; AND RATED NEMA 1 (OR BETTER) INDOORS, OR WEATHER PROTECTED (WP OR BETTER) OUTDOORS.
- CONTRACTOR SHALL REFER TO AT&T GROUNDING AND BONDING PRACTICE TP-76416.



- NOTES:**
- UTILIZE EXISTING AT&T GROUND BARS AND GROUNDING.
 - ADD GROUND BARS IF THERE ARE INSUFFICIENT LUG POSITIONS.
 - REFERENCE AT&T BONDING & GROUNDING PRACTICE TP76416.

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL

No. Date Action

Plans Prepared For:

MD7
10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:
 Your world. Delivered.

Plans Prepared By:

MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:
SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:
GROUNDING DETAILS

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	E02.0

SCALE IS BASE ON 22" X 34" "D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\MD7\2103398\MD7-272\MD7-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:11pm rrai

ELECTRICAL NOTES

PART 1 – GENERAL

1.1 GENERAL CONDITIONS:

- A. CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE SUBCONTRACTORS FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
- B. THE SUBCONTRACTOR SHALL OBTAIN PERMITS, LICENSES, MAKE ALL DEPOSITS, AND PAY ALL FEES REQUIRED FOR THE CONSTRUCTION PERFORMANCE FOR THE WORK UNDER THIS SECTION.
- C. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF ALL SYSTEMS AND COMPONENTS COVERED UNDER THIS SECTION. THE SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS. DRAWING SHALL NOT BE SCALED TO DETERMINE DIMENSIONS.

1.2 LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES.

- A. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, AND ALL APPLICABLE LOCAL LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES. CONDUIT BENDS SHALL BE THE RADIUS BEND FOR THE TRADE SIZE OF CONDUIT IN COMPLIANCE WITH THE LATEST EDITIONS OF NEC.

1.3 REFERENCES:

- A. THE PUBLICATIONS LISTED BELOW ARE PART OF THIS SPECIFICATION. EACH PUBLICATION SHALL BE THE LATEST REVISION AND ADDENDUM IN EFFECT ON THE DATE. THIS SPECIFICATION IS ISSUED FOR CONSTRUCTION UNLESS OTHERWISE NOTED. EXCEPT AS MODIFIED BY THE REQUIREMENT SPECIFIED HEREIN OR THE DETAILS OF THE DRAWINGS, WORK INCLUDED IN THIS SPECIFICATION SHALL CONFORM TO THE APPLICABLE PROVISION OF THESE PUBLICATIONS.

1. ANSI/IEEE (AMERICAN NATIONAL STANDARDS INSTITUTE)
2. ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
3. ICE (INSULATED CABLE ENGINEERS ASSOCIATION)
4. NEMA (NATIONAL ELECTRICAL MANUFACTURER’S ASSOCIATION)
5. NFPA (NATIONAL FIRE PROTECTION ASSOCIATION)
6. OSHA (OCCUPATIONAL SAFETY MID HEALTH ADMINISTRATION)
7. UL (UNDERWRITERS LABORATORIES. NC.)
8. AT&T GROUNDING MID BONING STANDARDS TP-76416

1.4 SCOPE OF WORK:

- A. WORK UNDER THIS SECTION SHALL CONSIST OF FURNISHING ALL LABOR, MATERIAL, AND ASSOCIATED SERVICES REQUIRED TO COMPLETE REQUIRED CONSTRUCTION AND BE OPERATIONAL.
- B. ALL ELECTRICAL EQUIPMENT UNDER THIS CONTRACT SHALL BE PROPERLY TESTED, ADJUSTED, AND ALIGNED BY THE SUBCONTRACTOR.
- C. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATING, DRAINING, TRENCHES, BACKFILLING. AND REMOVAL OF EXCESS DIRT.
- D. THE SUBCONTRACTOR SHALL FURNISH TO THE OWNER WITH CERTIFICATES OF A FINAL INSPECTION AND APPROVAL FROM THE INSPECTION AUTHORITIES HAVING JURISDICTION.
- E. THE SUBCONTRACTOR SHALL PREPARE A COMPLETE SET OF AS-BUILT DRAWINGS, DOCUMENT ALL WIRING EQUIPMENT CONDITIONS, AND CHANGES WHILE COMPLETING THIS CONTRACT. THE AS-BUILT DRAWINGS SHALL BE SUBMITTED AT COMPLETION OF TIE PROJECT.

PART 2 – PRODUCTS

2.1 GENERAL:

- A. ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED, NEW, AND FREE FROM DEFECTS.
- B. ALL ITEMS OF MATERIALS AND EQUIPMENT SHALL BE ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION AS SUITABLE FOR THE USE INTENDED.
- C. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE
- D. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING EQUAL TO OR GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH he ARE SUBJECTED, 10,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT.

2.2 MATERIALS AND EQUIPMENT:

A. CONDUIT:

1. RIGID METAL CONDUIT (RMC) SHALL BE HOT-DIPPED GALVANIZED INSIDE AND OUTSIDE INCLUDING ENDS AND THREADS AND ENAMELED OR LACQUERED INSIDE IN ADDITION 10 GALVANIZING
2. LIQUID TIGHT FLEXIBLE METAL CONDUIT SHALL BE UL LISTED
3. CONDUIT CLAMPS. STRAPS AND SUPPORTS SHALL BE STEEL OR MALLEABLE IRON. ALL FITTINGS SHALL BE COMPRESSION AND CONCRETE TIGHT TYPE. GROUNDING BUSHINGS WITH INSULATED THROATS SHALL BE INSTALLED ON ALL CONDUIT TERMINATIONS.
4. NONMETALLIC CONDUIT AND FITTINGS SHALL BE SCHEDULE 40 PVC. INSTALL USING SOLVENT-CEMENT-TYPE JOINTS AS RECOMMENDED BY THE MANUFACTURER.

B. CONDUCTORS AND CABLE:

1. CONDUCTORS AND CABLE SHALL BE FLAME-RETARDANT, MOISTURE AND HEAT RESISTANT THERMOPLASTIC SINGLE CONDUCTOR. COPPER. TYPE THIN/THWN-2. 600 VOLT. SIZE AS INDICATED. #12 AWG SHALL BE TIE MINIMUM SIZE CONDUCTOR USED.
2. #10 AWG AND SMALLER CONDUCTOR SHALL BE SOLID OR STRANDED MID #8 AWG AND LARGER CONDUCTORS SHALL BE STRANDED.
3. SOLDERLESS, COMPRESSION-TYPE CONNECTORS SHALL BE USED FOR TERMINATION OF ALL STRANDED CONDUCTORS.
4. STRAIN-RELIEF SUPPORTS GRIPS SHALL BE HUBBELL KELLEMS OR APPROVED EQUAL. CABLES SHALL BE SUPPORTED IN ACCORDANCE WITH THE NEC AND CABLE MANUFACTURER’S RECOMMENDATIONS. ALL CONDUCTORS SHALL BE TAGGED AT BOTH ENDS OF THE CONDUCTOR, AT ALL PULL BOXES, J-BOXES.

5. EQUIPMENT AND CABINETS AND SHALL BE IDENTIFIED WITH APPROVED PLASTIC TAGS (ACTION CRAFT, BRADY, OR APPROVED EQUAL).

C. DISCONNECT SWITCHES:

1. DISCONNECT SWITCHES SHALL BE HEAVY DUTY. DEAD-FRONT, QUICK-MAKE, QUICK-BREAK, EXTERNALLY OPERABLE. HANDLE LOCKABLE AND INTERLOCK WITH COVER IN CLOSED POSITION. RATING AS INDICATED. UL LABELED FURNISHED IN NEMA 3R ENCLOSURE, SQUARE-D OR ENGINEERED APPROVED EQUAL.

D. CHEMICAL ELECTROLYTIC GROUNDING SYSTEM:

1. INSTALL CHEMICAL GROUNDING AS REQUIRED. THE SYSTEM SHALL BE ELECTROLYTIC MAINTENANCE FREE ELECTRODE CONSISTING OF RODS WITH A MINIMUM 2 AWG CU EXOTHERMALLY WELDED PIGTAIL, PROTECTIVE BOXES. AND BACKFILL MATERIAL MANUFACTURER SHALL BE LYNCOLE KIT GROUNDING ROD TYPES K2-(*)CS OR K2L-(*)CS (*) LENGTH AS REQUIRED.

2. GROUND ACCESS BOX SHALL BE A POLY PLASTIC BOX FOR NON-TRAFFIC APPLICATIONS, INCLUDING BOLT DOWN FLUSH COVER WITH "BREATHER" HOLES. KIT MODEL #XB-22. ALL DISCONNECT SWITCHES AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED LAMICOID NAMEPLATES INDICATING EQUIPMENT CONTROLLED. BRANCH CIRCUITS ID NUMBERING, AND THE ELECTRICAL POWER SOURCE.

3. BACKFILL MATERIAL SHALL BE LYNCONITE AND LYNCOLE GROUNDING GRAVEL.

E. SYSTEM GROUNDING:

1. ALL GROUNDING COMPONENTS SHALL BE TINNED AND GROUNDING CONDUCTOR SHALL BE 2 AWG BARE, SOLID, TINNED, COPPER. ABOVE GRADE GROUNDING CONDUCTORS SHALL BE INSULATED WHERE NOTED.

2. GROUNDING BUSES SHALL BE BARE. TINNED. ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION. STANDARD BUS BARS MGB, SHALL BE FURNISHED AND INSTALLED BY THE SUBCONTRACTOR. THEY SHALL NOT BE FABRICATED OR MODIFIED IN THE FIELD. ALL GROUNDING BUSES SHALL BE IDENTIFIED WITH MINIMUM 3/4” LETTERS BY WAY OF STENCILING OR DESIGNATION PLATE.

3. CONNECTORS SHALL BE HIGH-CONDUCTIVITY, HEAVY DUTY, LISTED AND LABELED AS GROUNDING FOR THE MATERIALS USED. USE TWO-HOLE COMPRESSION LUGS WITH HEAT SHRINK FOR MECHANICAL CONNECTIONS. INTERIOR CONNECTIONS USE TWO-HOLE COMPRESSION LUGS WITH INSPECTION WINDOW AND CLEAR HEAT SHRINK.

4. EXOTHERMIC WELDED CONNECTIONS SHALL BE PROVIDED IN KIT FORM AND SELECTED FOR THE SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND OTHER ITEMS TO BE CONNECTED.

5. GROUND RODS SHALL BE COPPER-CLAD STEEL WITH HIGH-STRENGTH STEEL CORE AND ELECTROLYTIC-GRADE COPPER OUTER SHEATH, MOLTEN WELDED TO CORE, 5/8"x10'-0". ALL GROUNDING RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES.

6. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS IN COMPLIANCE WITH THE AT&T SPECIFICATIONS AND NEC. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULLBOXES, DISCONNECT SWITCHES, STARTERS AND EQUIPMENT CABINETS.

F. OTHER MATERIALS:

1. THE SUBCONTRACTOR SHALL PROVIDE OTHER MATERIALS, THOUGH NOT SPECIFICALLY DESCRIBED, WHICH ARE REQUIRED FOR A COMPLETELY OPERATIONAL SYSTEM AND PROPER INSTALLATION OF THE WORK.

2. PROVIDE PULL BOXES AND JUNCTION BOXES WHERE SHOWN OR REQUIRED BY NEC.

G. PANELS AND LOAD CENTERS:

1. ALL PANEL DIRECTORIES SHALL BE TYPEWRITTEN.

PART 3 – EXECUTION

3.1 GENERAL:

- A. ALL MATERIAL AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER’S RECOMMENDATIONS.
- B. EQUIPMENT SHALL BE TIGHTLY COVERED AND PROTECTED AGAINST DIRT OR WATER, AND AGAINST CHEMICAL OR MECHANICAL INJURY DURIINSTALLATION AND CONSTRUCTION PERIODS.

3.2 LABOR AND WORKMANSHIP:

- A. ALL LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED FOR THE ELECTRICAL SYSTEM SHALL BE INSTALLED BY EXPERIENCED WIREMEN, IN A NEAT AND WORKMAN-LIKE MANNER.
- B. ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED, ALIGNED AND TESTED BY THE SUBCONTRACTOR AS REQUIRED TO PRODUCE THE INTENDED PERFORMANCE.

- C. UPON COMPLETION OF WORK, THE SUBCONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT. REMOVE ALL LABELS AND ANY DEBRIS, CRATING OR CARTONS AND LEAVE THE INSTALLATION FINISHED AND READY FOR OPERATION.

3.3 COORDINATION:

- A. THE SUBCONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRICAL ITEMS WITH THE OWNER-FURNISHED EQUIPMENT DELIVERY SCHEDULE TO PREVENT UNNECESSARY DELAYS IN THE TOTAL WORK.

3.4 INSTALLATION:

A. CONDUIT:

1. ALL ELECTRICAL WIRING SHALL BE INSTALLED IN CONDUIT AS SPECIFIED. NO CONDUIT OR TUBING OF LESS THAN 3/4 INCH TRADE SIZE.

2. PROVIDE RIGID PVC SCHEDULE 80 CONDUITS FOR ALL RISERS, RMC OTHERWISE NOTED. EMT MAY BE INSTALLED FOR EXTERIOR CONDUITS WHERE NOT SUBJECT TO PHYSICAL DAMAGE.

3. THE INSTALLATION OF SCHEDULE 40 PVC AND RMC CONDUITS SHALL BE 24 INCHES MINIMUM DEPTH. ALL 90 DEGREE BENDS SHALL BE RMC. EXPANSION JOINTS ARE REQUIRED ON ALL CONDUIT RISERS.

4. USE GALVANIZED FLEXIBLE STEEL CONDUIT WHERE DIRECT CONNECTION TO EQUIPMENT WITH MOVEMENT, VIBRATION, OR FOR EASE OF MAINTENANCE. USE LIQUID TIGHT, FLEXIBLE METAL CONDUIT FOR OUTDOOR APPLICATIONS. INSTALL GALVANIZED FLEXIBLE STEEL CONDUIT AT ALL POINTS OF CONNECTION TO EQUIPMENT MOUNTED ON SUPPORT TO ALLOW FOR EXPANSION AND CONTRACTION.

5. A RUN OF CONDUIT BETWEEN BOXES OR EQUIPMENT SHALL NOT CONTAIN MORE THAN THE EQUIVALENT OF THREE QUARTER-BENDS. CONDUIT BEND SHALL BE MADE WITH THE UL LISTED BENDER OR FACTORY 90 DEGREE ELBOWS MAY BE USED.

ATTACHMENT 10

CRITICAL PATH METHOD APPROVAL

CRITICAL PATH METHOD APPROVAL

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:

MD7

10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:

 **at&t**
Your world. Delivered.

Plans Prepared By:


MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

ELECTRICAL NOTES

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	E03.0

SCALE IS BASE ON 22" X 34" 7D" SIZE

C:\Users\rrail\OneDrive - MORRISON HERSHFIELD\Desktop\M07\2103398\M07-272-10085120-SD0564_5G NR-PCD_REV D_02.08.21.dwg 02/08/2022 8:11pm rrai

ELECTRICAL NOTES

6. FIELD FABRICATED CONDUITS SHALL BE CUT SQUARE WITH A CONDUIT CUTTING TOOL AND REAMED TO PROVIDE A SMOOTH INSIDE SURFACE.
7. PROVIDE INSULATED GROUNDING BUSHING FOR ALL CONDUITS.
8. SUBCONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL CONDUITS DURING CONSTRUCTION. TEMPORARY OPENINGS IN THE CONDUIT SYSTEM SHALL BE PLUGGED OR CAPPED TO PREVENT ENTRANCE OF MOISTURE OR FOREIGN MATTER. SUBCONTRACTOR SHALL REPLACE ANY CONDUITS CONTAINING FOREIGN MATERIALS THAT CANNOT BE REMOVED.
9. ALL CONDUITS SHALL BE SWABBED CLEAN BY PULLING AN APPROPRIATE SIZE MANDREL THROUGH THE CONDUIT BEFORE INSTALLATION OF CONDUCTORS OR CABLES. CONDUIT SHALL BE FREE OF DIRT AND DEBRIS.
10. INSTALL PULL STRINGS IN ALL CLEAN EMPTY CONDUITS. IDENTIFY PULL STRINGS AT EACH END.
11. INSTALL 2” HIGHLY VISIBLE AND DETECTABLE TAPE 12” ABOVE ALL UNDERGROUND CONDUITS AND CONDUCTORS.
12. CONDUITS SHALL BE INSTALLED IN SUCH A MANNER AS TO INSURE AGAINST COLLECTION OF TRAPPED CONDENSATION.
13. PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS TO ALLOW FOR RACEWAYS AND CABLES TO BE ROUTED THROUGH THE BUILDING. DO NOT PENETRATE STRUCTURAL MEMBERS. SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE EFFECTIVELY SEALED WITH FIRE RATED MATERIAL WHICH SHALL MAINTAIN THE FIRE RATING OF THE WALL OR STRUCTURE. FIRE STOPS AT FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE, FIRE, AND FUMES. ALL MATERIAL SHALL BE UL APPROVED FOR THIS PURPOSE.

B. CONDUCTORS AND CABLE:

1 ALL POWER WIRING SHALL BE COLOR CODED AS FOLLOWS:		
DESCRIPTION	208/240/120 VOLT SYSTEMS	
PHASE A	BLACK	
PHASE B	RED	
PHASE C	BLUE	
NEUTRAL	WHITE	
GROUNDING	GREEN	

4. SPLICES SHALL BE MADE ONLY AT OUTLETS, JUNCTION BOXES, OR ACCESSIBLE RACEWAY CONDULETS APPROVED FOR THIS PURPOSE.
5. PULLING LUBRICANTS SHALL BE UL APPROVED. SUBCONTRACTOR SHALL USE NYLON OR HEMP ROPE FOR PULLING CONDUCTOR OR CABLES INTO THE CONDUIT.
6. CABLES SHALL BE NEATLY TRAINED, WITHOUT INTERLACING AND BE OF SUFFICIENT LENGTH IN ALL BOXES & EQUIPMENT TO PERMIT MAKING A NEAT ARRANGEMENT. CABLES SHALL BE SECURED IN A MANNER TO AVOID TENSION ON CONDUCTORS OR TERMINALS. CONDUCTORS SHALL BE PROTECTED FROM MECHANICAL INJURY AND MOISTURE. SHARP BENDS OVER CONDUIT BUSHINGS ARE PROHIBITED. DAMAGED CABLES SHALL BE REMOVED AND REPLACED AT THE SUBCONTRACTOR’S EXPENSE.

C. DISCONNECT SWITCHES:

1. INSTALL DISCONNECT SWITCHES LEVEL AND PLUMB. CONNECT TO WIRING SYSTEM AND GROUNDING SYSTEM AS INDICATED.

D. GROUNDING:

1. ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING MANUFACTURER, AT&T GROUNDING AND BONDING STANDARDS TP-76416, ND-00135, AND THE NATIONAL ELECTRICAL CODE.
2. PROVIDE ELECTRICAL GROUNDING AND BONDING SYSTEM INDICATED WITH ASSEMBLY OF MATERIALS, INCLUDING GROUNDING ELECTRODES, BONDING JUMPERS AND ADDITIONAL ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION.
3. ALL GROUNDING CONDUCTORS SHALL PROVIDE A STRAIGHT DOWNWARD PATH TO GROUND WITH GRADUAL BEND AS REQUIRED. GROUNDING CONDUCTORS SHALL NOT BE LOOPED OR SHARPLY BENT. ROUTE GROUNDING CONNECTIONS AND CONDUCTORS TO GROUND IN THE SHORTEST AND STRAIGHTEST PATHS POSSIBLE TO MINIMIZE TRANSIENT VOLTAGE RISES.
4. BUILDINGS AND/OR NEW TOWERS GREATER THAN 75 FEET IN HEIGHT AND WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE SUBCONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP,

TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 AWG COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). SEE STANDARD 6.3.2.2.

5. TIGHTEN GROUNDING AND BONDING CONNECTORS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER’S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS. WHERE MANUFACTURER’S TORQUING REQUIREMENTS ARE NOT AVAILABLE, TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL TO ASSURE PERMANENT AND EFFECTIVE GROUNDING. SUBCONTRACTOR SHALL VERIFY THE LOCATIONS OF GROUNDING TIE-IN-POINTS TO THE EXISTING.
6. GROUNDING SYSTEM. ALL UNDERGROUND GROUNDING CONNECTIONS SHALL BE MADE BY THE EXOTHERMIC WELD PROCESS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER’S INSTRUCTIONS.
7. ALL GROUNDING CONNECTIONS SHALL BE INSPECTED FOR TIGHTNESS. EXOTHERMIC WELDED CONNECTIONS SHALL BE APPROVED BY THE INSPECTOR HAVING JURISDICTION BEFORE BEING PERMANENTLY CONCEALED.
8. APPLY CORROSION-RESISTANCE FINISH TO FIELD CONNECTIONS AND PLACES WHERE FACTORY APPLIED PROTECTIVE COATINGS HAVE BEEN DESTROYED. USE KOPR-SHIELD ANTI-OXIDATION COMPOUND ON ALL COMPRESSION GROUNDING CONNECTIONS.
9. A SEPARATE, CONTINUOUS, INSULATED EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED IN ALL FEEDER AND BRANCH CIRCUITS.

10. BOND ALL INSULATED GROUNDING BUSHINGS WITH A BARE 6 AWG GROUNDING CONDUCTOR TO A GROUND BUS.
11. DIRECT BURIED GROUNDING CONDUCTORS SHALL BE INSTALLED AT A NOMINAL DEPTH OF 36” MINIMUM BELOW GRADE, OR 6” BELOW THE FROST LINE, USE THE GREATER OF THE TWO DISTANCES.

12. ALL GROUNDING CONDUCTORS EMBEDDED IN OR PENETRATING CONCRETE SHALL BE INSTALLED IN SCHEDULE 40 PVC CONDUIT.

13. THE INSTALLATION OF CHEMICAL ELECTROLYTIC GROUNDING SYSTEM IN STRICT ACCORDANCE WITH MANUFACTURER’S INSTRUCTIONS. REMOVE SEALING TAPE FROM LEACHING AND BREATHER HOLES. INSTALL PROTECTIVE BOX FLUSH WITH GRADE.

14. DRIVE GROUND RODS UNTIL TOPS ARE A MINIMUM DISTANCE OF 36” DEPTH OR 6” BELOW FROST LINE, USING THE GREATER OF THE TWO DISTANCES.

15. IF COAX ON THE ICE BRIDGE IS MORE THAN 6 FT. FROM THE GROUNDING BAR AT THE BASE OF THE TOWER, A SECOND GROUNDING BAR WILL BE NEEDED AT THE END OF THE ICE BRIDGE, TO GROUND THE COAX CABLE GROUNDING KITS AND IN-LINE ARRESTERS.

16. SUBCONTRACTOR SHALL REPAIR, AND/OR REPLACE, EXISTING GROUNDING SYSTEM COMPONENTS DAMAGED DURING CONSTRUCTION AT THE SUBCONTRACTORS EXPENSE.

3.5 ACCEPTANCE TESTING:

- A. CERTIFIED PERSONNEL USING CERTIFIED EQUIPMENT SHALL PERFORM REQUIRED TESTS AND SUBMIT WRITTEN TEST REPORTS UPON COMPLETION.
- B. WHEN MATERIAL AND/OR WORKMANSHIP IS FOUND NOT TO COMPLY WITH THE SPECIFIED REQUIREMENTS, THE NON COMPLYING ITEMS SHALL BE REMOVED FROM THE PROJECT SITE AND REPLACED WITH ITEMS COMPLYING WITH THE SPECIFIED REQUIREMENTS PROMPTLY AFTER RECEIPT OF NOTICE FOR NON-COMPLIANCE.

C. TEST PROCEDURES:

1. ALL FEEDERS SHALL HAVE INSULATION TESTED AFTER INSTALLATION, BEFORE CONNECTION TO DEVICES. THE CONDUCTORS SHALL TEST FREE FROM SHORT CIRCUITS AND GROUNDS. TESTING SHALL BE FOR ONE MINUTE USING 1000V DC. PROVIDE WRITTEN DOCUMENTATION FOR ALL TEST LISTED TO SUBCONTRACTOR.
2. PRIOR TO ENERGIZING CIRCUITRY, TEST WIRING DEVICES FOR ELECTRICAL CONTINUITY AND PROPER POLARITY CONNECTIONS.
3. MEASURE AND RECORD VOLTAGES BETWEEN PHASES AND BETWEEN PHASE CONDUCTORS AND NEUTRALS. SUBMIT A REPORT OF MAXIMUM AND MINIMUM VOLTAGES.
4. PERFORM GROUNDING TEST TO MEASURE GROUNDING RESISTANCE OF GROUNDING SYSTEM USING THE IEEE STANDARD 3-POINT ”FALL-OF-POTENTIAL” METHOD. PROVIDE PLOTTED TEST VALUES AND LOCATION SKETCH. NOTIFY THE ENGINEER IMMEDIATELY IF MEASURED VALUE IS OVER 5 OHMS.

ATTACHMENT 10

DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS OR OMISSIONS. NO VARIATIONS OR MODIFICATIONS TO WORK SHOWN SHALL BE IMPLEMENTED WITHOUT PRIOR WRITTEN APPROVAL. ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED BY THE LATEST REVISION. ALL DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF MORRISON HERSHFIELD CORPORATION. NEITHER MORRISON HERSHFIELD NOR THE ARCHITECT WILL BE PROVIDING CONSTRUCTION REVIEW OF THIS PROJECT.

D	02/08/22	JX COMMENTS
C	12/07/21	100% CD SUBMITTAL
B	10/06/21	100% CD SUBMITTAL
A	08/31/21	90% CD SUBMITTAL
No.	Date	Action

Plans Prepared For:



10590 WEST OCEAN AIR DRIVE
SUITE 300
SAN DIEGO, CA 92130

Applicant:



at&t
Your world. Delivered.

Plans Prepared By:



MORRISON HERSHFIELD
5100 S MACADAM AVE. SUITE 500
PORTLAND, OR 97239
Tel: 503-595-9128 Fax: 503-595-9136
www.morrisonhershfield.com

Project:

SKYLINE & VALENCIA
SITE ID: SD0564
6065 SKYLINE DRIVE
SAN DIEGO, CA 92114
FA: 10085120

Drawing Title:

ELECTRICAL NOTES

Project No.: 210339800	
Designer: SB	Date: 08/27/21
Drawn By: RR	Checked By: SS
PM Review: JR	Client Approval
Issue No.: D	E04.0

SCALE IS BASE ON 22" X 34" "D" SIZE



October 7, 2021

Mr. Don Wiggins
6065 Skyline Drive
San Diego, CA 92114

RE: Authorization of AT&T Site Modifications
Site ID: SD0564 / 10085120
Site Address: 6065 Skyline Drive, San Diego, CA 92114

Dear Mr. Don Wiggins,

Due to the ever-changing pace of technology, periodically equipment needs to be modified and/or replaced. The purpose of the modification is to improve cellular traffic capacity for businesses and residents within the surrounding community.

Please consider this letter as the formal request for Consent to perform the proposed upgrade to the AT&T cellular site lease area located at the above-referenced location.

Please indicate your acknowledgement and consent to AT&T site modifications by signing below. We would appreciate you returning the signed letter to us via email at your earliest convenience.

If you have any questions, please don't hesitate to contact me at (858)-999-9238.

Thank you for your assistance in this matter.

Sincerely,

A handwritten signature in black ink that reads "Ryan Hanzlick".

Ryan Hanzlick
Project Control Specialist, Md7
10590 West Ocean Air Drive Ste. 300
San Diego, CA 92130
(858) 999-9238
rhanzlick@md7.com

Acknowledgement and Consent:

A handwritten signature in blue ink that reads "Patricia Maruffo".

Signature

Patricia Maruffo

Print Name and Date

11-18-2021

Executive Secretary, Southeastern Calif. Conf. of S.D.A.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
---	---	--	--

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit ☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☒ Conditional Use Permit ☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Skyline and Valencia (SD0564) **Project No. For City Use Only:** _____

Project Address: 6065 Skyline Drive
San Diego, CA 92114

Specify Form of Ownership/Legal Status (please check):

☒ Corporation ☐ Limited Liability -or- ☐ General - What State? Calif. Corporate Identification No. C0083705
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Southeastern Ca. Conference of Seventh-day Adventists ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 6065 Skyline Drive (San Diego Maranatha SDA Church)

City: San Diego State: CA Zip: 92114

Phone No.: 951-509-2230 Fax No.: 951-509-2394 Email: rosie.hing@seccsda.org

Signature: [Signature] Date: 11-18-2021

Additional pages Attached: ☒ Yes ☐ No

Applicant

Name of Individual: Christine Strileckis, MD7 LLC obo AT&T Wireless ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency

Street Address: 10590 West Ocean Air Drive Suite 300

City: San Diego State: CA Zip: 92130

Phone No.: 858-964-7403 Fax No.: _____ Email: cstrileckis@md7.com

Signature: [Signature] Date: 10/07/2021

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No



December 3, 2021

To:

City of San Diego
Planning Division
1222 First Ave
San Diego, CA 92101

From:

MD7, LLC
Christine Strileckis, Land Use
10590 W Ocean Air Drive, Suite 300
San Diego, CA 92130
858-964-7403
cstrileckis@md7.com

Re:

Alternative Site Analysis

Site ID:

SD0564 – Skyline and Valencia

Site Address:

6065 Skyline Drive San Diego, CA 92114

Alternative Site Analysis

Background

AT&T is seeking approval of a new Conditional Use Permit for the continued operation of the existing wireless telecommunication facility at 6065 Skyline Drive San Diego, CA 92114. This facility was previously approved under Conditional Use Permit No. 821541 on 07/27/2012. This wireless telecommunication facility was approved to operate as a concealed facility inside the steeple behind fiberglass reinforced panels with a total of 16 panel antennas. Throughout the lifespan of this facility AT&T has maintained compliance with all conditions applied to the facility and aims to maintain compliance by reinstating this facility's entitlements. As part of The City of San Diego's CUP requirements, AT&T has also looked for viable alternatives in both design and location to ensure the facility best supports the community.

This facility provides coverage to a large section of residences in the area. This is a main facility for providing coverage to this residential area and the heavily traveled Skyline Drive. In addition to the residential uses in the area, there are schools and churches in the area that require service. The existing coverage has been outlined in Exhibit A below.

Alternative Site #1

The first alternative facility that was identified was the possibility of installing AT&T's equipment onto a church on Pastor Timothy J Winters Street. This location would serve a large portion of the residential area. Unfortunately, this location would leave a significant portion of Skyline Drive with insufficient coverage. Considering the bus services provided on and how frequently it is traveled, it's imperative to maintain coverage on this stretch of road.

Alternative Site #2

Further down the road the Martin Luther King Jr. Recreation Center and Park would still provide coverage to Skyline Drive. Unfortunately, the building closest to Skyline Drive has a flat roof. In order to raise the antennas to the same height as its current location on Marantha Seventh-Day Adventist Church would require installing additional facilities to house equipment on this roof. This would detract from the aesthetic of this building. This relocation would also neglect the residential homes currently served by site at Marantha Seventh-Day Adventist.

Conclusion

This facility has operated in compliance without community pushback since its installation. It provides necessary coverage to critical stretches of road and does so in a discreet fashion. Any requirement to move the facility could jeopardize the coverage, concealment, and performance of the facility. This project will remain fully concealed. AT&T has enjoyed a smooth partnership with The City of San Diego and looks to continue this partnership.

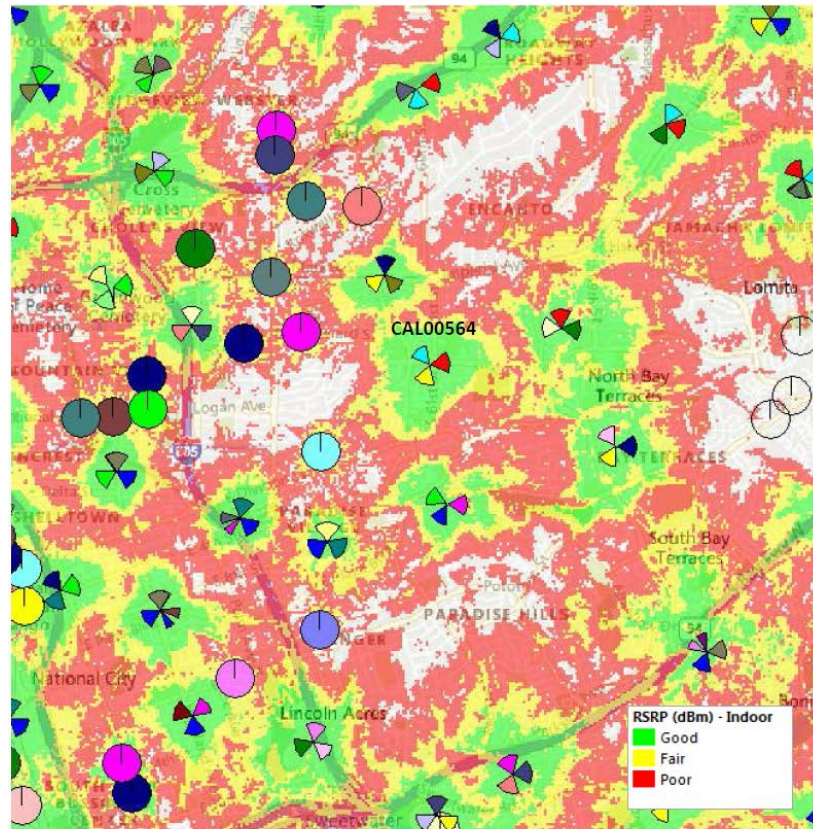
Sincerely,



Christine Strileckis,
Land Use I
MD7, LLC
(858) 964-7403
cstrileckis@md7.com

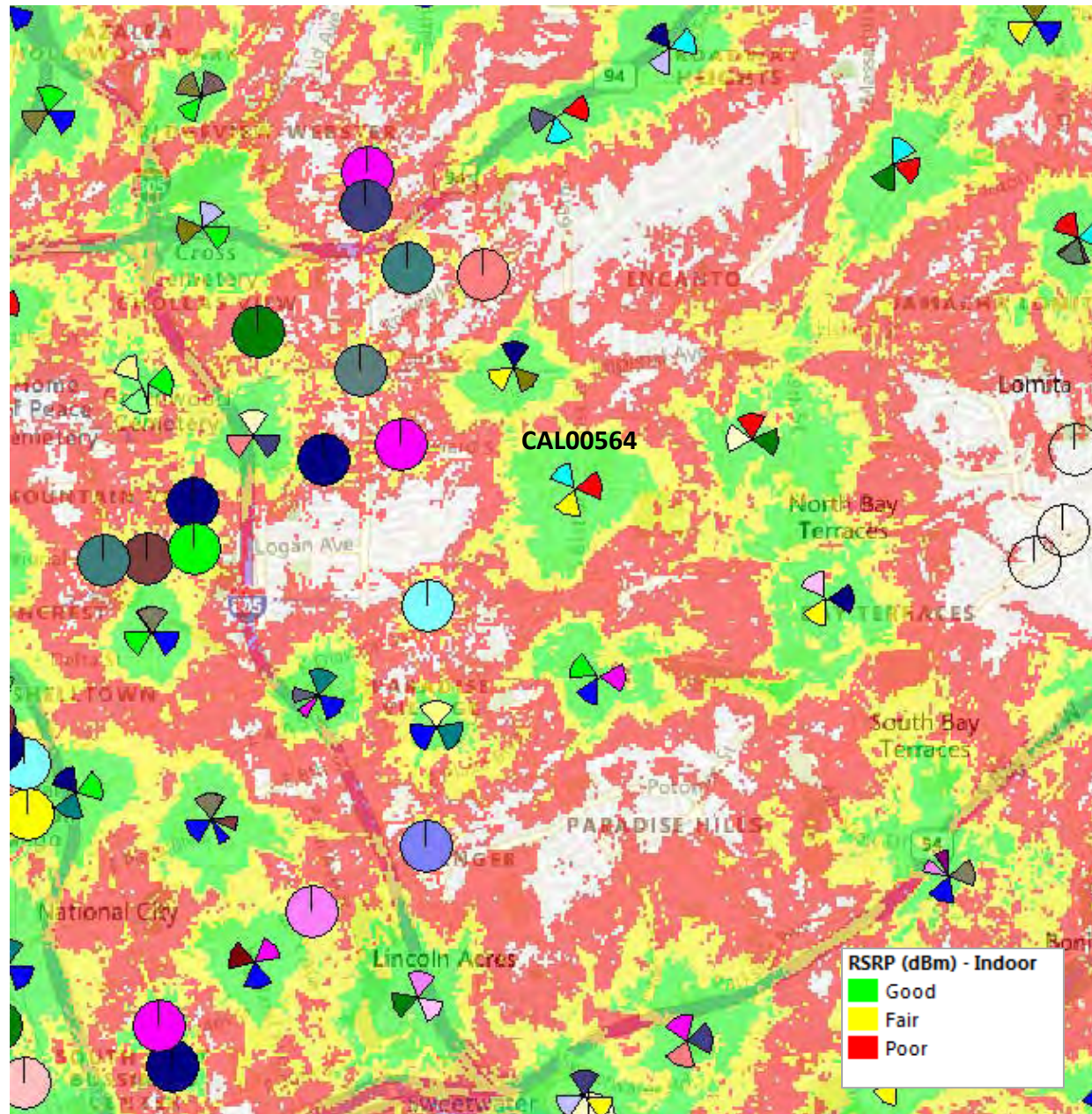
Exhibit A

Existing/proposed coverage With CAL00564



Existing/proposed coverage With CAL00564

ATTACHMENT 12



Coverage Without CAL00564

ATTACHMENT 12

