



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: July 29, 2021 REPORT NO. PC-21-033

HEARING DATE: August 5, 2021

SUBJECT: Teel Residence, Process Two Appeal Decision

PROJECT NUMBER: [669815](#)

OWNER/APPLICANT: Brian Teel, Owner and Claude-Anthony Marengo, Applicant

SUMMARY

Issue: Should the Planning Commission grant or deny an appeal of the Development Service Department's approval of a Coastal Development Permit for the demolition of a previously existing garage, and the conversion of habitable area to create a companion unit located at 414 and 416 Nautilus Street within the La Jolla Community Plan (Project)?

Staff Recommendation: DENY the appeal and AFFIRM the Development Services Department decision to APPROVE Coastal Development Permit (CDP) No. 2453158.

Community Planning Group Recommendation: On February 4, 2021, the La Jolla Community Planning Association voted 16-0-1 to recommend approval of the project (Attachment 9).

Environmental Review: This Project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15303, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 14, 2021, and the opportunity to appeal that determination ended May 28, 2021.

Fiscal Impact Statement: None, the Project is a Flat Fee account paid by the applicant.

Code Enforcement Impact: None associated with this application.

Housing Impact Statement: The La Jolla Community Plan and Local Coastal Program designates the site for Low-Medium Density Residential (9-15 dwelling units per acre (DU/AC)) and the proposed Project meets the prescribed density. The proposed demolition of the previously existing garage and creation of a new companion unit equates to no net loss of housing stock within the community.

BACKGROUND

The Teel Residence CDP Project site is located at 414 and 416 Nautilus Street, west of La Jolla Boulevard, and abuts an alley to the north (Attachment 1). The 0.072-acre site is in RM-1-1 Zone and is designated for Low-Medium Density Residential with 9 to 15 DU/AC within the La Jolla Community Plan and Local Coastal Program (Community Plan) area (Attachment 2). The Project site is also located within the Coastal (Non-Appealable 2), Coastal Height Limit, Parking Impact, Residential Tandem Parking, and Transit Priority Overlay Zones.

The Project site is developed with two detached single-family dwelling units and a detached garage. The single family dwelling unit located at 414 Nautilus Street on the southern portion of the lot and fronting Nautilus Street, is 800 square feet, and the single family dwelling unit located at 416 Nautilus Street on the northside of the lot and abutting the alley, is 254 square feet, and the detached garage is 449 square feet. The surrounding properties are also developed with single family dwelling units within the RM-1-1 Zone.

On November 1, 2018, the applicant submitted an application for a ministerial combination building permit and received approval for the remodel of the 449 square-foot detached garage ([Approval No. 2216948](#)). During the review of the approved project, the applicant took the necessary steps in proposing a scope change to include the demolition of the garage that was reviewed and approved by City staff; however, the demolition of the structure in the Coastal Overlay Zone requires a Process Two, Coastal Development Permit pursuant to SDMC Section [126.0702](#).

DISCUSSION

The Project proposes to convert 263 square feet of habitable area, with the addition of 104 square feet, to create a 367 square-foot companion unit above the 449 square-foot garage. The proposed Project is designed in conformance with the RM-1-1 Zone development regulations, including required setbacks, floor area ratio, height, and also consistent with the bulk, scale, and style of the surrounding community.

The Community Plan designates the site for low-medium residential development allowing 9 to 15 dwelling units per acre (du/ac). The project proposes a companion unit, which is consistent with the land use designation and complies with the allowable density. Aside from the conversion of habitable area to a companion unit, the existing structures' building envelope will remain the same, as no addition is proposed.

On June 1, 2021, the Development Services Department of the City of San Diego approved Coastal Development Permit No. 231630, and issued a Notice of Decision of the Project, with the appeal period ending on June 15, 2021 (Attachment 5).

On June 8, 2021, Phil Merten (Appellant) filed an Appeal of the Department of Development Service's June 1, 2021 approval decision. The grounds of appeal is identified as "Findings Not Supported" (Attachment 6).

Legal Standard for Appeal of Department of Development Services Decision

Pursuant to SDMC [Section 112.0504](#) an appeal of a Process Two decision may only be granted with evidence supporting one of the following findings:

- (1) Factual Error. The statements or evidence relied upon by the decision maker when approving, conditionally approving, or denying a permit, map, or other matter were inaccurate; or
- (2) New Information. New information is available to the applicant or the interested person that was not available through that person's reasonable efforts or due diligence at the time of the decision; or
- (3) Findings Not Supported. The decision maker's stated findings to approve, conditionally approve, or deny the permit, map, or other matter are not supported by the information provided to the decision maker; or
- (4) Conflicts. The decision to approve, conditionally approve, or deny the permit, map, or other matter is in conflict with a land use plan, a City Council policy, or the Municipal Code

The Planning Commission can only deny the appeal and uphold approval of the project if none of the above findings are supported by sufficient evidence or grant the appeal and deny approval of the project if it finds one of the above findings is supported by sufficient evidence.

PROJECT APPEAL DISCUSSION

The Appellant's appeal issues are identified below along with City staff's evaluation and responses.

Appeal Issue No. 1: *"The required Finding for a Coastal Development Permit per SDMC Sec. 126.0708(a)(2) that: "The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program", cannot be made because the separately permitted garage accessory building violates SDMC Sec. 131.0461(a)(12) which states: "Garages or non-habitable accessory buildings may encroach within the interior side or rear yard ... "; where the recently constructed garage accessory building encroaches into both the interior side yard and rear yard."*

City Staff Response: Staff conducted a comprehensive review of the proposed Project and concluded that accessory structures whether habitable in the case of companion units, or non-habitable in the case of garages, may encroach into either and both side and rear setbacks per the consistent interpretation of SDMC Section 131.0448(c), 131.0461(a)(12), and 141.0302(a)(6). The intent of each of these sections is clear that such structures may encroach into both side and rear setbacks, and not one or the other. SDMC Section 131.0461(a)(12) allows for encroachment into both the side and rear setbacks. The word "or" is inclusive and the intent of the code is to allow both encroachments, whether it occurs in only the side, only the rear, or both.

Appeal Issue No. 2: *"Sec. 131.0461 (a)(12) allows a garage accessory structure to encroach into a rear yard. Sec. 131.0444 (d)(4) limits the extent of encroachment and states: In no case shall a rear setback (adjacent an alley) be less than 5 feet. In violation of Sec. 131.0444(d)(4) the garage accessory structure is setback zero feet from the rear property line."*

City Staff Response: SDMC Section 131.0444(d) is not applicable to this Project as it regulates the height and angled building envelope in the RT Zones. The garage is permitted to encroach into the setbacks pursuant to SDMC 131.0461(a)(12) because the lot size is less than 10,000 square feet, does not exceed 15 feet in height, does not share a common wall with the primary structure, is less than 30 feet in length in the setbacks, and does not exceed 525 square feet in gross floor area.

Conclusion:

City staff has reviewed the proposed Project, analyzed the appeal issues, and determined that the Project is in conformance with regulations of the Land Development Code, and the Community Plan. There were no inaccurate statements and insufficient evidence presented to the City staff upon the Development Services Department of the City of San Diego approving the Project. All information was disclosed and shared to Interested Parties during the review and decision process. The Project complies with the development standards required by Land Development Code and the underlying Multi-Family Zone including height, density, building setbacks, floor area ratio, and lot coverage. The Project is consistent with the Community Plan and the findings can be made for a Coastal Development Permit. The appellant does not have sufficient evidence to support any of the four findings that are grounds for appeal. Therefore, City staff recommends that the Planning Commission deny the appeal and affirm the Department of Development Service's June 1, 2021 decision to approve the Project.

ALTERNATIVES

1. Deny the appeal and modify the Development Services Department decision to Approve Coastal Development Permit No. 2453158.
2. Grant the appeal and reverse the Development Services Department decision to Approve Coastal Development Permit No. 2453158 in accordance with [Section 112.0504](#).

Respectfully submitted,



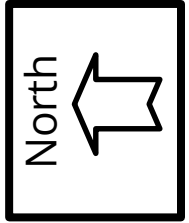
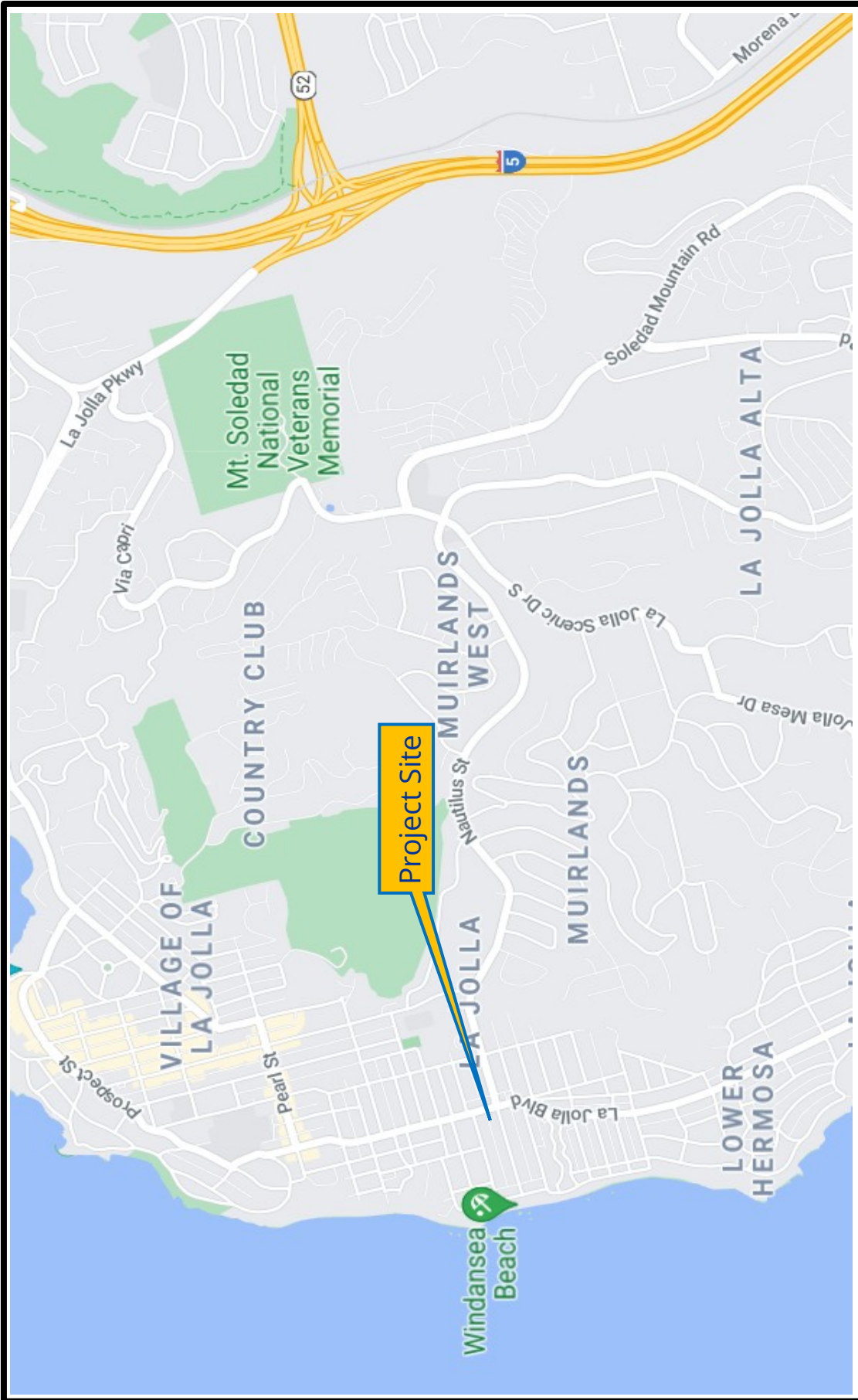
Tim Daly
Assistant Deputy Director
Development Services Department



Denise Vo
Development Project Manager
Development Services Department

Attachments:

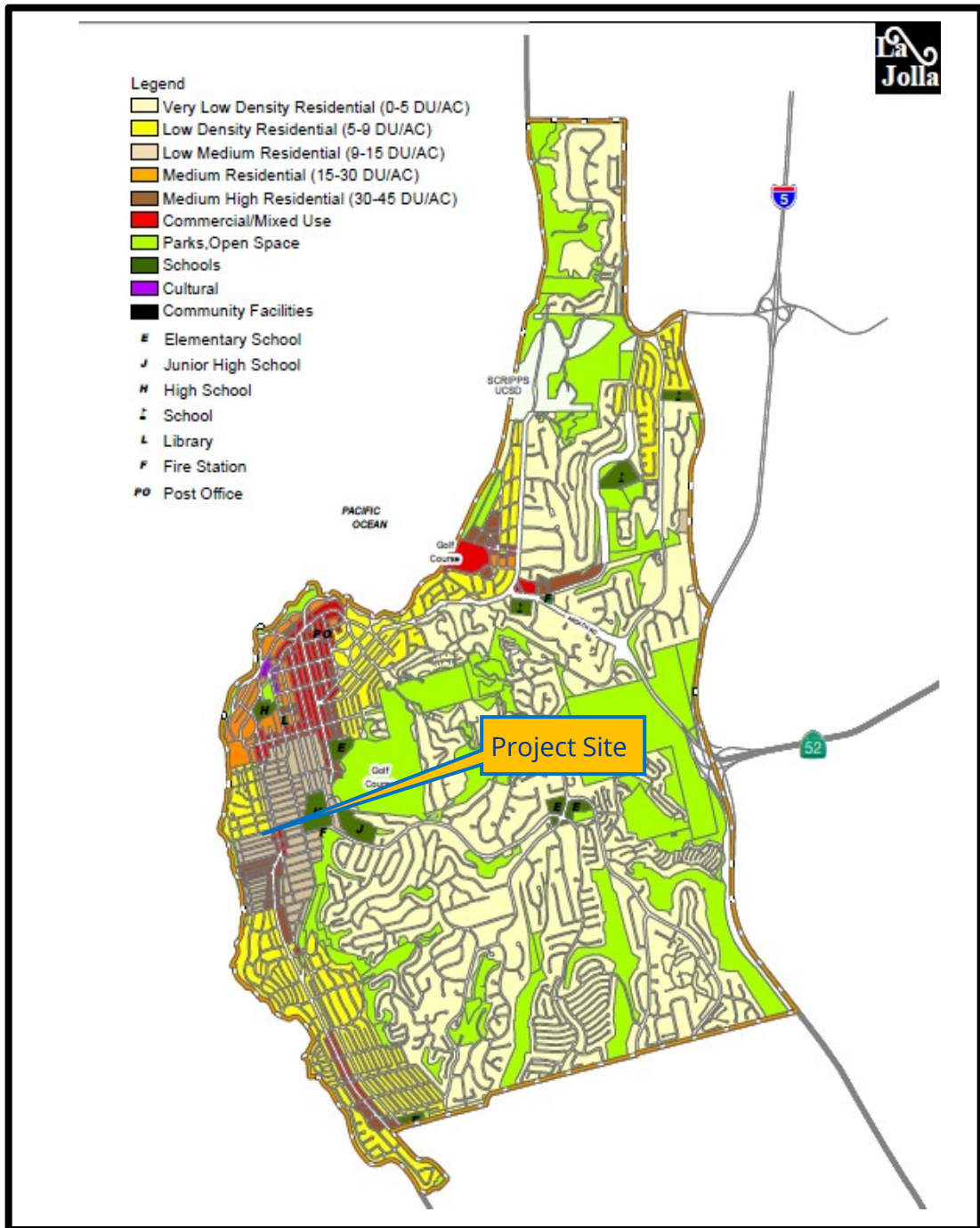
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Process Two, Notice of Decision
6. Notice of Right to Appeal Environmental Determination
7. Appeal Application
8. Draft Permit with Conditions
9. Draft Permit Resolution with Findings
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Plans



Project Location Map

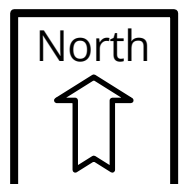
Teel Residence/ 414-416 Nautilus Street
PROJECT NO. 669815

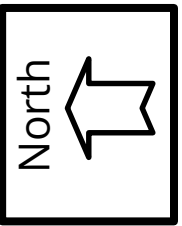
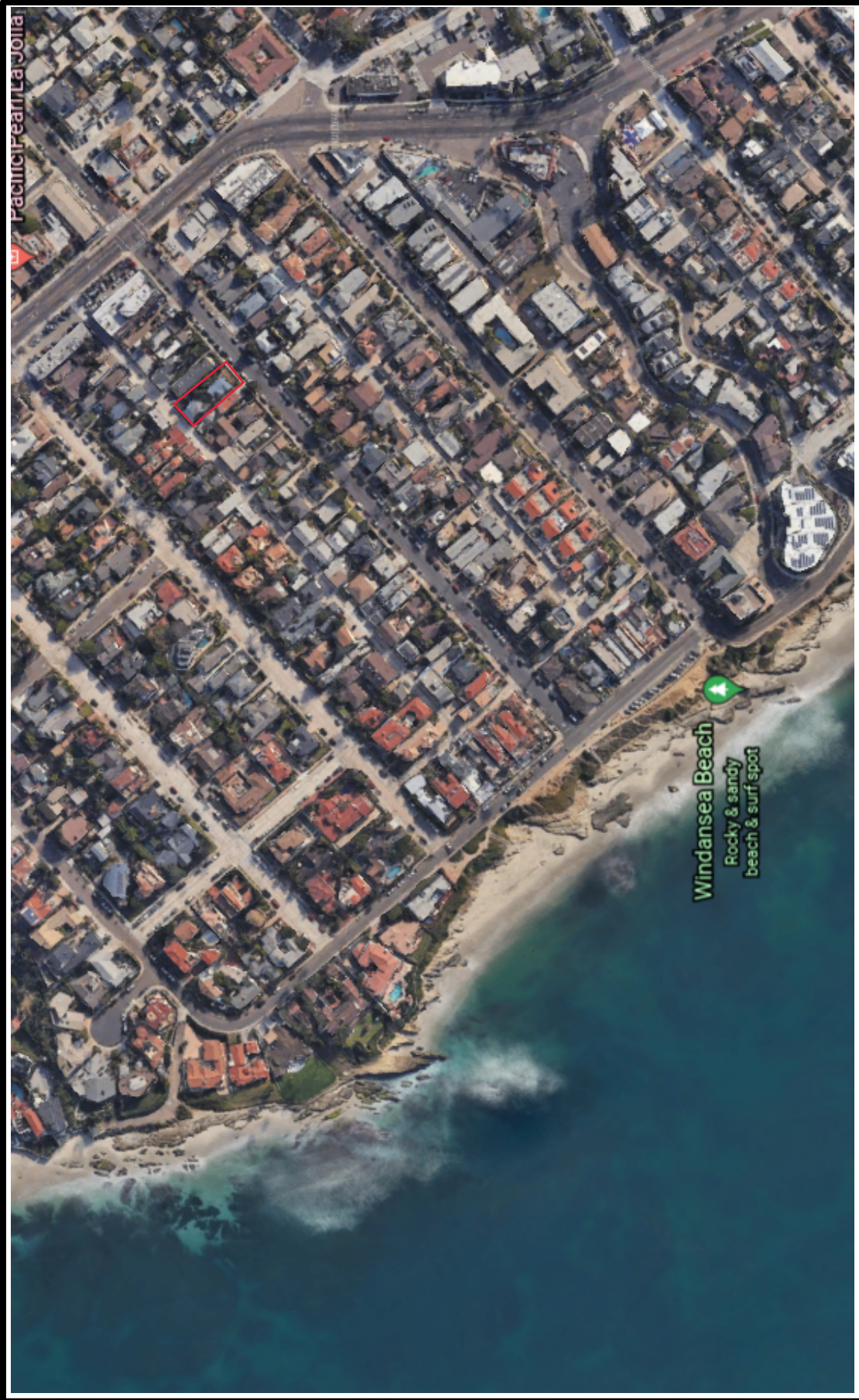




Community Land Use Map

Teel Residence/ 414-416 Nautilus Street
PROJECT NO. 669815





Aerial

Teel Residence/ 414-416 Nautilus Street
PROJECT NO. 669815



PROJECT DATA SHEET

PROJECT NAME:	Teel Residence – Project No. 669815	
PROJECT DESCRIPTION:	The conversion of 263 square-foot of habitable area, with the addition of 104-square-foot, to create a 367-square-foot companion unit above the 449-square-foot garage on a 0.072-acre site.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit (CDP)	
COMMUNITY PLAN LAND USE DESIGNATION:	Low-Medium Density Residential (9-15 DU/AC)	
<p align="center">ZONING INFORMATION:</p> <p>ZONE: RM-1-1</p> <p>HEIGHT LIMIT: 30 feet</p> <p>LOT SIZE: 0.072</p> <p>FLOOR AREA RATIO: 1.3 FAR where 2.0 FAR is the max permitted</p> <p>FRONT SETBACK: 15'-0" minimum/20' Standard (19' observed as previously conforming)</p> <p>SIDE SETBACK: 3' observed as lot is less than 25 feet (SDMC 131.0443(d)(2)(C))</p> <p>STREETSIDE SETBACK: N/A</p> <p>REAR SETBACK: 5 feet as allowed per SDMC 131.0443(d)(4)</p> <p>PARKING: 2 spaces (previously conforming)</p>		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low-Medium Density Residential (9-15 DU/AC) / RM-1-1	Multi-dwelling Unit Residential
SOUTH:	Low-Medium Density Residential (9-15 DU/AC) / RM-1-1	Multi-dwelling Unit Residential
EAST:	Low-Medium Density Residential (9-15 DU/AC) / RM-1-1	Multi-dwelling Unit Residential
WEST:	Low-Medium Density Residential (9-15 DU/AC) / RM-1-1	Multi-dwelling Unit Residential
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 4, 2021, the La Jolla Community Planning Association voted 16-0-1 to recommend approval of the project.	



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 1, 2021

NOTICE OF DECISION

DEVELOPMENT SERVICES DEPARTMENT

PROJECT NO:	669815
PROJECT NAME:	<u>TEEL RESIDENCE CDP</u>
PROJECT TYPE:	COASTAL DEVELOPMENT PERMT, PROCESS TWO
APPLICANT:	CLAUDE-ANTHONY MARENGO
COMMUNITY PLAN AREA:	LA JOLLA
COUNCIL DISTRICT:	1
CITY PROJECT MANAGER:	Denise Vo, Development Project Manager
PHONE NUMBER/E-MAIL:	(619) 446-5212 / Vod@sandiego.gov

On June 1, 2021, the Development Services Department APPROVED an application for the demolition of an existing garage (after the fact) and the conversion of the second-story area, located above an existing garage, into a 367 square-foot companion unit on a 0.072-acre site that contains two detached residences on a single lot. The site is located at 414 and 416 Nautilus Street in the RM-1-1 Zone, the Coastal (Non-App.-2) Overlay Zone and the Transit Priority area within the La Jolla Community Plan. This development is within the Coastal Overlay zone and the application was filed on August 7, 2020.

If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by Development Services Department staff can be appealed to the **Planning Commission** no later than ten (10) business days after the decision date. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services. During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the Planning Commission must be filed by email or US mail as follows:

- 1) Appeals filed via E-mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by email to PlanningCommission@sandiego.gov. Your email appeal will be acknowledged within 24 hours. You must separately mail the appeal fee by check payable to the City Treasurer to: Planning Commission/Appeal, MS 501, 1222 First Avenue, 5th Floor, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked within 5 business days of the date the appeal is filed.
- 2) Appeals filed via US Mail: [The Development Permit/Environmental Determination Appeal Application Form DS-3031 can be obtained here](#). Send the completed appeal form by US Mail to Planning Commission/Appeal, MS 501, 1222 First Avenue, 5th Floor, San Diego, CA 92101. Appeals filed by US Mail must be USPS postmarked by the appeal deadline to be considered valid. The completed appeal form

shall include the required appeal fee, with a check payable to: City Treasurer.

The final decision by the City of San Diego is not appealable to the California Coastal Commission.

This information will be made available in alternative formats upon request.

cc: Diane Kane



THE CITY OF SAN DIEGO

Date of Notice: May 14, 2021

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 11004535

PROJECT NAME / NUMBER: Teel Residence / 669815

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: The project is located 414 and 416 Nautilus Street, La Jolla CA

PROJECT DESCRIPTION: Coastal Development Permit (CDP) to convert an existing 263 square-foot room over a 449 square-foot detached garage into a Companion Unit. The project would add 104 square-feet to the existing space for a Companion Unit that would then total 367-square feet. The project also includes the expansion of an existing laundry room, and the demolition and replacement of an existing patio cover. The 0.72-acre site contains two detached single-family residences on a single lot at a site located at 414 and 416 Nautilus Street. The site is in the RM-1-1 Zone, the Coastal (Non-Appealable-2) Overlay Zone, the Geo Hazard Zone 53, and the Transit Priority area within the La Jolla Community Plan and Council District 1. The proposed project complies with all height and bulk regulations and can accommodate the public utilities to serve the development.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Development Services Department

ENVIRONMENTAL DETERMINATION: 15303 (New Construction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be exempt from CEQA pursuant to CEQA Section 15303 (New Construction). Section 15303 applies to projects that consist of the construction of a limited number of new small facilities or structures; including the construction of up to two single family units in a residential zone. Since the project would construct a 104 square-foot addition to an existing structure, on a previously developed site, in a residential zone, it was determined that the CEQA exemption was appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Denise Vo
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: 619-446-5212 / VoD@sandiego.gov

On May 14, 2021 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice so the final day to file an appeal is May 28, 2021. During the Statewide "Safer-at-Home" directive to reduce the spread of COVID-19, beginning March 19, 2020, appeals to the City Clerk must be filed by email or US Mail as follows:

- 1) Appeals filed via E-mail: Send the appeal by email to Hearings1@sandiego.gov; your email appeal will be acknowledged within 24 hours. The [appeal application can be obtained here](#). You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be postmarked within 5 business days of the date the appeal is filed.
- 2) Appeals filed via US Mail: Send the appeal by US Mail to City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. Appeals filed by US Mail must have a United States Postal Service (USPS) postmark by the appeal deadline to be considered valid. The [appeal application can be obtained here](#). You must separately mail the required appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be postmarked within 5 business days of the date the appeal is filed.

This information will be made available in alternative formats upon request.

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2453158
TEEL RESIDENCE PROJECT NO. 669815
PLANNING COMMISSION

This Coastal Development Permit No. 2453158 is granted by the Planning Commission of the City of San Diego to BRIAN TEEL, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.072-acre site is located at 414 - 416 Nautilus Street in the RM-1-1 zone, Coastal Non-Appealable 2, Coastal Height Limit, Parking Impact, Residential Tandem Parking, and Transit Priority Overlay Zones within the La Jolla Community Plan. The project site is legally described as Lot 31 in Block E South of La Jolla, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 887, filed in the Office of the County Recorder of San Diego, August 9, 1902.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demotion an existing garage and convert and add habitable area above a garage to create a companion unit located at 416 Nautilus Street described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 5, 2021, on file in the Development Services Department.

The project shall include:

- a. Demolition of a previously existing garage;
- b. Conversion of 263 square feet of habitable area and 104 square-foot addition to create a 367 square-foot companion unit above an existing 449 square-foot garage on- site with two existing detached single-family dwelling units;
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 5, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required

to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

10. Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

14. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized

for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
16. The companion unit may not be conveyed or sold separately from the primary dwelling units.
17. The companion unit may not be rented for less than thirty consecutive days.
18. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

19. Prior to issuance of any construction permit, all domestic, irrigation, and fire water services serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD); or, one of the following two notes must be included on the title sheet of the building construction plans being permitted:
 - 1) This residential development has, or will have as a consequence of this work, a combined domestic/fire protection water service utilizing a passive purge style of design and is therefore exempt from installing a backflow prevention device; or
 - 2) The scope of work for this project includes the installation of a private, above ground, backflow prevention device to be located in-line with the service and just inside the property (immediately adjacent to the property line).
20. Prior to issuance of any construction permit, the sewer lateral(s) serving this development must pass through an acceptable sewer cleanout (as defined below); or, the following note must be included on the title sheet of the building construction plans being permitted:

This residential development has, or will have as a consequence of this work, installed a permitted sewer lateral cleanout, the condition and location of which is acceptable to the director of public utilities and the city engineer.

21. Prior to issuance of any construction permit, any existing sewer lateral to be reused within the public ROW must be inspected by a California licensed plumbing contractor to verify all the following via a signed statement on company letterhead: that the lateral has an appropriate cleanout, that it is in good condition, that it is free of roots and debris, and that it is properly connected to a public sewer main. If the conditions above are not met, the lateral must be cleared and/or repaired and re-inspected or abandoned/removed and replaced in a manner satisfactory to the City.

22. Prior to any Certificate of Occupancy being issued, any private improvements within the public ROW (including but not limited to: landscaping, enhanced paving, private non-irrigation utilities, or structures of any kind) that could inhibit the City's right to access, maintain, repair, or replace its public water and sewer utilities must be removed unless the Owner/Permittee has a City approved County recorded Encroachment and Maintenance Removal Agreement (EMRA) which authorizes that specific private improvement to be placed in that specific location.

23. No trees or shrubs exceeding three feet in height at maturity shall be installed or remain within ten feet of any public sewer facilities or within five feet of any public water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 5, 2021 and [Approved Resolution Number].

ATTACHMENT 8

Coastal Development Permit No. 2453158
Date of Approval: August 5, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Denise Vo
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

BRIAN TEEL
Owner/Permittee

By _____
Brian Teel
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2453158
TEEL RESIDENCE - PROJECT NO. 669815

WHEREAS, BRIAN TEEL, Owner/Permittee, filed an application with the City of San Diego for to demolish a previously existing garage, convert 263 square feet of habitable area, and add 104 square feet to create a 367 square-foot companion unit above an existing 449 square-foot garage on-site with two existing detached single-family dwelling units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2453158), on portions of a 0.072-acre site;

WHEREAS, the project site is located at 414 and 416 Nautilus Street in the RM-1-1 Zone, and the Coastal (Non-Appealable Area), Coastal Height Limitation, Parking Impact Overlay Zone, Residential Tandem Parking Overlay Zone, and Transport Priority Area, within the La Jolla Community Plan and Local Coastal Program Land Use Plan;

WHEREAS, the project site is legally described as Lot 31 in Block E South of La Jolla, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 887, filed in the Office of the County Recorder of San Diego, August 9, 1902;

WHEREAS, on May 14, 2021, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 8, 2021, Philip A. Merten filed a Development Permit Appeal Application on the Project (Appeal); and

WHEREAS, on August 5, 2021, the Planning Commission of the City of San Diego considered the Appeal and Coastal Development Permit No. 2453158 pursuant to the Land Development Code of the City of San Diego, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego, that it denies the Appeal, affirms the Development Services Department decision of approval on June 1, 2021, and adopts the following findings with respect to Coastal Development Permit No. 2453158:

COASTAL DEVELOPMENT PERMIT [SDMC SECTION 126.0708]

(a) Findings for all Coastal Development Permits

- (1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the demolition of a previously existing garage, the conversion of 263 square feet of habitable area and the addition of 104 square feet to create a 367-square-foot companion unit above an existing 449 square-foot garage on-site with two existing detached single-family dwelling units. The project is located at 414 - 416 Nautilus Street in the RM-1-1 Zone, Coastal (Non-Appealable -2) and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The project site, is located approximate 0.2 miles from the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in

Figure 9 of the Community Plan. The proposed project is located within the existing disturbed and developed site and is designed in conformance with the RM-1-1 Zone development regulations, including required setbacks, floor area ratio, and height; also consistent with the bulk, scale, and style of the surrounding community.

Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program Land Use Plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes the demolition of a previously existing garage, the conversion of 263 square feet of habitable area and the addition of 104 square feet to create a 367square-foot companion unit above an existing 449 square-foot garage on- site with two existing detached single-family dwelling units. The project is located at 414 - 416 Nautilus Street in the RM-1-1 Zone, Coastal (Non-Appealable -2) and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The project site does not contain and is not adjacent to any sensitive biological resources, sensitive coastal bluffs, steep hillsides, or special flood hazard areas, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. The project site does not contain Environmentally Sensitive Lands and therefore, the project will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes the demolition of a previously existing garage, the conversion of 263 square feet of habitable area and the addition of 104 square feet to create a 367square-foot companion unit above an existing 449 square-foot garage on- site with two existing detached single-family dwelling units. The project is located at 414 - 416 Nautilus Street in the RM-1-1 Zone, Coastal (Non-Appealable -2) and Coastal Height Limitation Overlay Zones within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The property is not located between the sea and the first public roadway paralleling the sea and does not impact any view corridor, intermittent or partial vistas, view sheds or scenic overlooks as identified in the adopted Community Plan.

The Community Plan designates the site for low-medium residential development allowing 9 to 15 dwelling units per acre (du/ac). The project proposes a companion unit, which is consistent with the land use designation and complies with the allowable density.

The proposed project is located within the existing disturbed and developed site and is designed in conformance with the RM-1-1 Zone development regulations, including required setbacks, floor area ratio, and height; also consistent with the bulk, scale, and style of the surrounding community. The residence will be below the allowed 30-foot height limit.

The project site, located approximate 0.2 miles east of the Pacific Ocean, is not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in Figure 9 of the Community Plan.

The project site does not contain and is not adjacent to any sensitive biological resources, sensitive coastal bluffs, steep hillsides, or special flood hazard areas, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area.

The project meets all applicable regulations and policy documents, and is consistent with the land use designation, design guidelines, and development standards for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- (4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes the demolition of a previously existing garage, the conversion of 263 square feet of habitable area and the addition of 104 square feet to create a 367square-foot companion unit above an existing 449 square-foot garage on- site with two existing detached single-family dwelling units. The project is located at 414 - 416 Nautilus Street in the RM-1-1 Zone, Coastal (Non-Appealable -2) and Coastal Height Limitation Overlay Zones

within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).


The project site is located approximately 0.2 miles east of the Pacific Ocean and not located within the First Public Roadway or within a visual access corridor, as identified within the Community Plan. Additionally, the site is not located near any existing or proposed physical accessway that is legally utilized by the public or within or adjacent to any public vantage points as identified in Figure 9 of the Community Plan. The proposed remodel is located within the existing disturbed and developed site and is designed in conformance with all applicable development regulations. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 2453158 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2453158, a copy of which is attached hereto and made a part hereof.

Denise Vo
Development Project Manager
Development Services

Adopted on: August 5, 2021

Page 3		City of San Diego • Information Bulletin 620		May 2020						
		City of San Diego Development Services		Community Planning Committee Distribution Form						
Project Name: 416 Nautilus			Project Number: 669815							
Community: La Jolla										
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>										
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny										
# of Members Yes 16		# of Members No 0		# of Members Abstain 1						
Conditions or Recommendations: Approved at Regular Meeting: 2/4/21										
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)										
NAME: Suzanne Weissman										
TITLE: Secretary, LJCPA				DATE: February 06, 2021						
<i>Attach additional pages if necessary (maximum 3 attachments).</i>										



City of San Diego
Development Services
 1222 First Ave., MS 302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Teel Residence **Project No. For City Use Only:** _____

Project Address: 414 Nautilus Street, La Jolla, CA 92037

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Brian Teel ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 414 Nautilus Street

City: La Jolla State: CA Zip: 92037

Phone No.: 619-723-3856 Fax No.: _____ Email: funkybt@gmail.com

Signature: Brian Teel Date: 7/13/2020

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

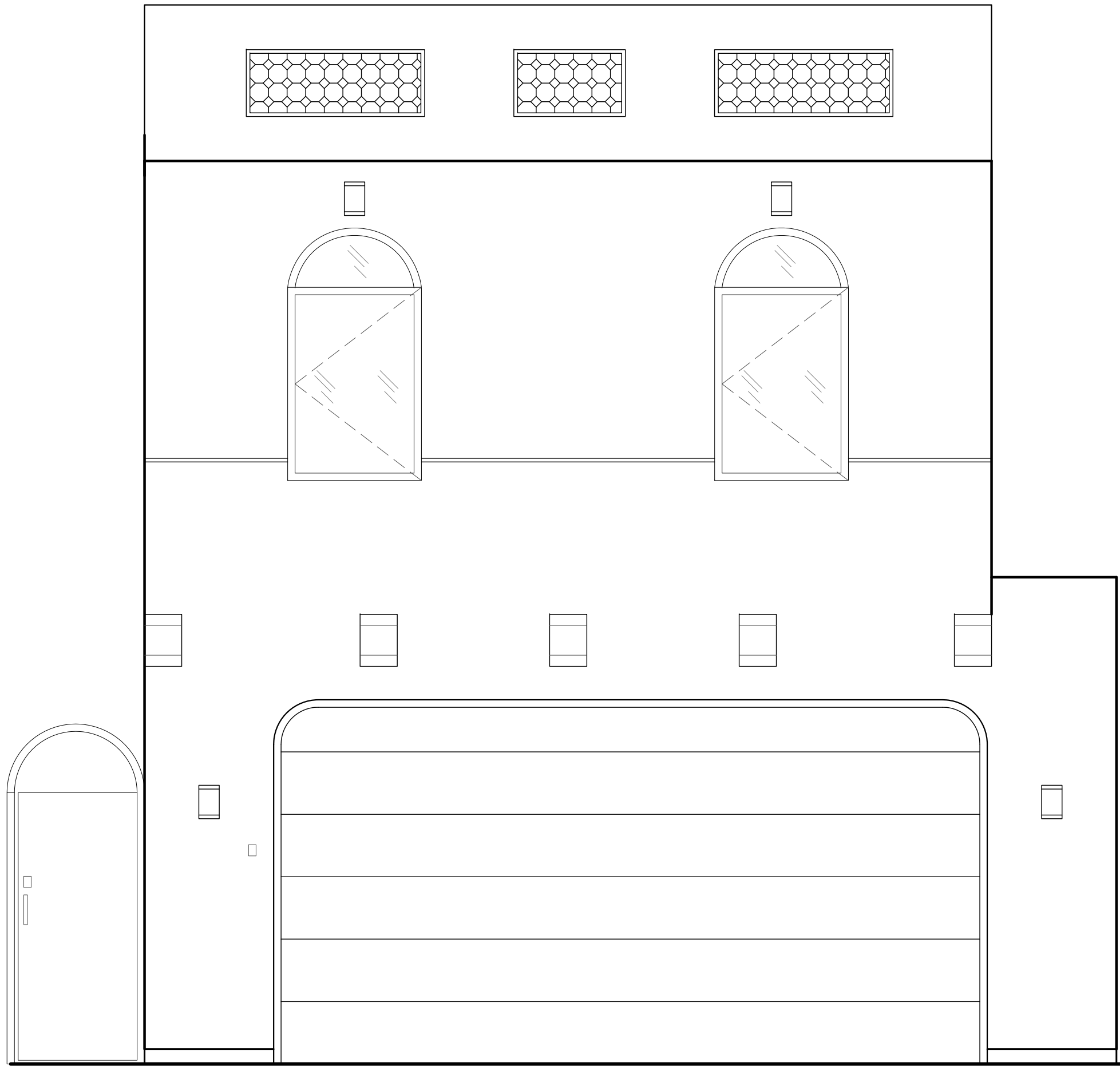
Additional pages Attached: ☐ Yes ☐ No


Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

TEEL RESIDENCE

COMPANION UNIT

414-416 NAUTILUS STREET
LA JOLLA, CA 92037



VICINITY MAP		SCOPE OF WORK		PROJECT DATA																																																																																																					
		PROJECT SCOPE: CREATING A COMPANION UNIT BY CONVERTING THE EXISTING MUSIC ROOM/OFFICE AND ADDED A KITCHEN AND BATHROOM ON THE SECOND FLOOR FOR 367 SQ FT UNIT OF WHICH 104 SQ FT IS ADDITIONAL AND DEMOLITION OF EXISTING GARAGE. A DISCRETIONARY PERMIT FOR USE OF THE COMPANION UNIT UNDER STATE BILL IS BEING REQUESTED		PROJECT INFORMATION																																																																																																					
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OWNER'S Brian Teel 414 Nautilus Street La Jolla, CA 92037		TITLE 24 Technical Energy 4336 Goldfinch St. San Diego, 92103 Telephone: (858) 472-2680 Contact: Brian Hansen email: technical_energy@yahoo.com																																																																																																							
ARCHITECT Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo CAMarengo@m2a.io Cell: (619) 417-1111																																																																																																									
STRUCTURAL ENGINEER Naraghi Engineering, Inc. 16340 Chaparral Way, Bldg B Poway, CA 92064 Telephone: (858) 435-4877 Contact: Tom Naraghi, P.E.																																																																																																									



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



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TEEL RESIDENCE
COMPANION UNIT
414 - 416 NAUTILUS STREET
LA JOLLA, CA 92037

REVISIONS
8-22-2018 PRELIMINARY DESIGN
10-23-2018 1ST CITY SUBMITTAL
11-29-2018 CITY RESUBMITTAL
07-15-2020 COASTAL SUBMITTAL
09-17-2020 COASTAL RESUBMITTAL



PHASE COASTAL
PHASE

PROJECT NO. 2018-24

REVIEWED BY CAM

DRAWN BY PC

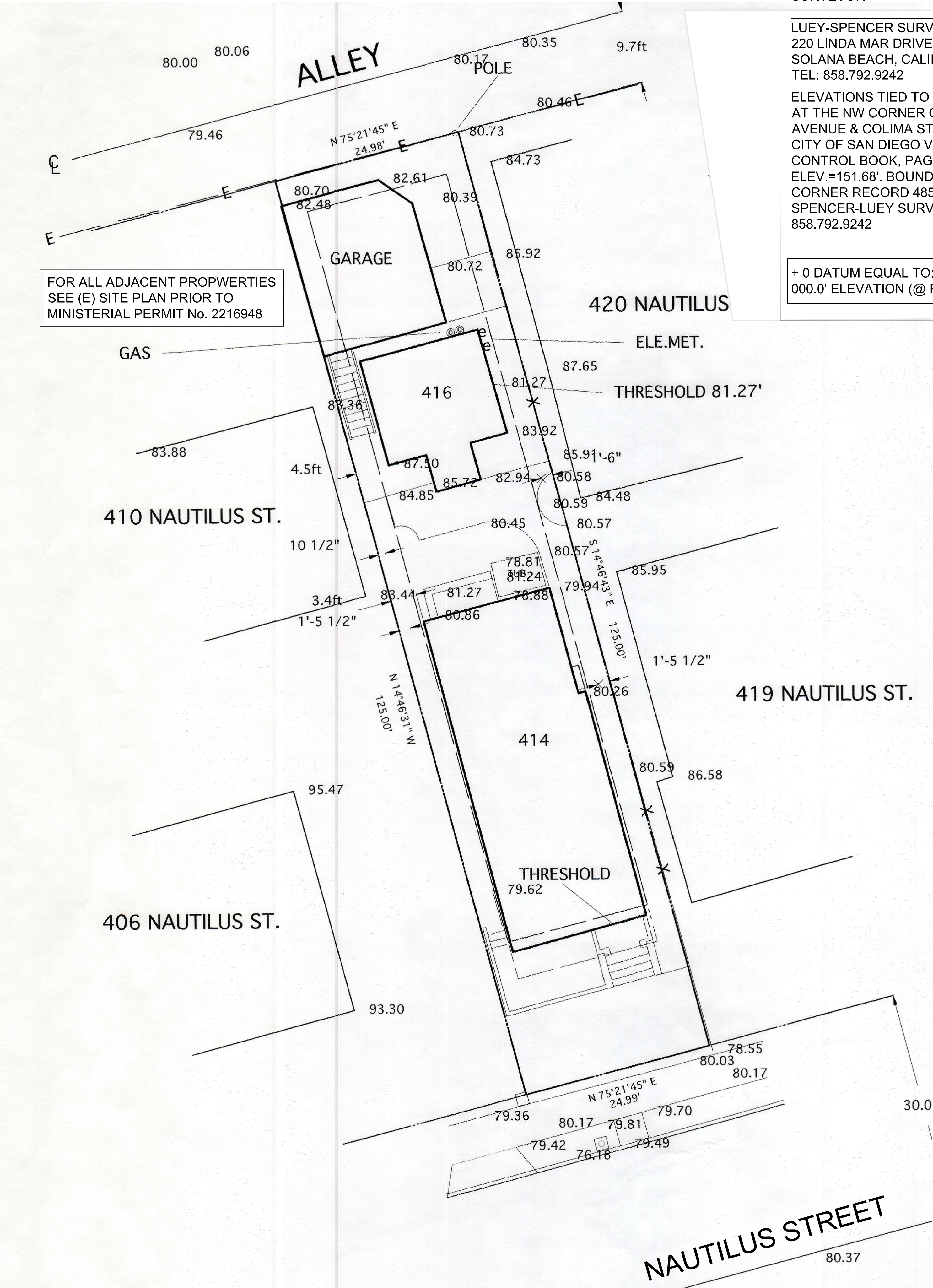
DATE 01/05/2021

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SHEET TITLE
TITLE SHEET

T-1

S:\Projects\2018\Projects\2018-24 Teel Residence\CADD Drawings\Architectural\Coastal Phase (PHASE 2)\Sheets\A-1.0 EXISTING SITE PLAN TEEL.dwg Jan 05, 2021 1:12:00am



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

SURVEYOR

LUEY-SPENCER SURVEYS
220 LINDA MAR DRIVE
SOLANA BEACH, CALIF. 92075
TEL: 858.792.9242

ELEVATIONS TIED TO BRASS PLUG
AT THE NW CORNER OF TAFT
AVENUE & COLIMA STREET PER
CITY OF SAN DIEGO VERTICAL
CONTROL BOOK, PAGE 891,
ELEV.=151.68'. BOUNDARY TIED TO
CORNER RECORD 4854, PLOT BY
SPENCER-LUEY SURVEY @
858.792.9242

+ 0 DATUM EQUAL TO:
000.0' ELEVATION (@ RESIDENCE)

- GENERAL SITE NOTES
- A. THE SITE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.

B. BEFORE COMMENCING ANY SITE FOUNDATION OR SLAB CUTTING OR EXCAVATION THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SITE UTILITIES, DIMENSIONS AND CONDITIONS. THESE INCLUDE BUT ARE NOT LIMITED TO PROPERTY LINES, SETBACK LOCATION TO ALL NEW OR EXISTING WALLS, EASEMENTS (IF ANY), EXISTING SITE UTILITIES, INCLUDING WATER, SEWER, GAS AND ELECTRICAL LINES AND ANY OTHER NEW OR EXISTING SITE ITEMS WHICH COULD AFFECT IN ANY WAY THE CONSTRUCTION OF THE BUILDING. FLAG OR OTHERWISE MARK ALL LOCATIONS OF SITE PROPERTY LINES, EASEMENTS (IF ANY) UNDERGROUND UTILITIES, AND INDICATE UTILITY TYPE.

C. ALL CONDITIONS OR DIMENSIONS ON THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR WITH ACTUAL SITE CONDITIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.

D. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY CONFLICTS OR DISCREPANCY OCCURS BETWEEN THIS INFORMATION ON THIS PLAN AND ACTUAL FIELD CONDITIONS. DO NOT PROCEED WITH WORK IN CONFLICT WITH THESE DRAWING UNTIL WRITTEN OR VERBAL INSTRUCTIONS ARE ISSUED BY THE ARCHITECT'S OFFICE.

E. PROTECT AND MARK ALL EXISTING BUILDING STRUCTURE INCLUDING WALLS, BEAMS, COLUMNS, AREA SEPARATION WALLS, AND OTHER ITEMS THAT ARE PART OF THE EXISTING STRUCTURE AND NOT PART OF THE SCOPE OF THE TENANT IMPROVEMENT, AND MARK PERIMETER OF CONSTRUCTION ZONE.

F. COORDINATE WITH OTHER TENANTS THE TEMPORARY SHUT-OFF OF ANY SITE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL SERVICE, GAS SERVICE, WATER SERVICE, SEWER SERVICE, TELEPHONE SERVICE, CABLE OR OTHER DATA LINKS WITH ARE CONNECTED TO THE BUILDING.

G. LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.

H. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.

I. VERIFY THE LEVEL AND PLUMB OF EXISTING FLOORS, WALLS, CEILINGS AND OTHER ITEMS, WHICH WILL NOT BE CHANGED, SO THAT ANY ATTACHED STRUCTURE, WALLS, CEILING OR OTHER COMPONENTS CAN BE INSTALLED LEVEL AND PLUMB.

J. NO TREES OR SHRUBS WHOSE HEIGHT WILL BE 3' AT MATURITY SHALL BE INSTALLED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

K. FOR ALL EXISTING ITEMS SEE PROPOSED SITE PLAN A-1.1

M²

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04/30/2021
STATE OF CALIFORNIA

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11-29-2018 CITY RESUBMITTAL
07-15-2020 COASTAL SUBMITTAL
09-17-2020 COASTAL RESUBMITTAL

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PHASE COASTAL
PHASE

PROJECT NO. 2018-24

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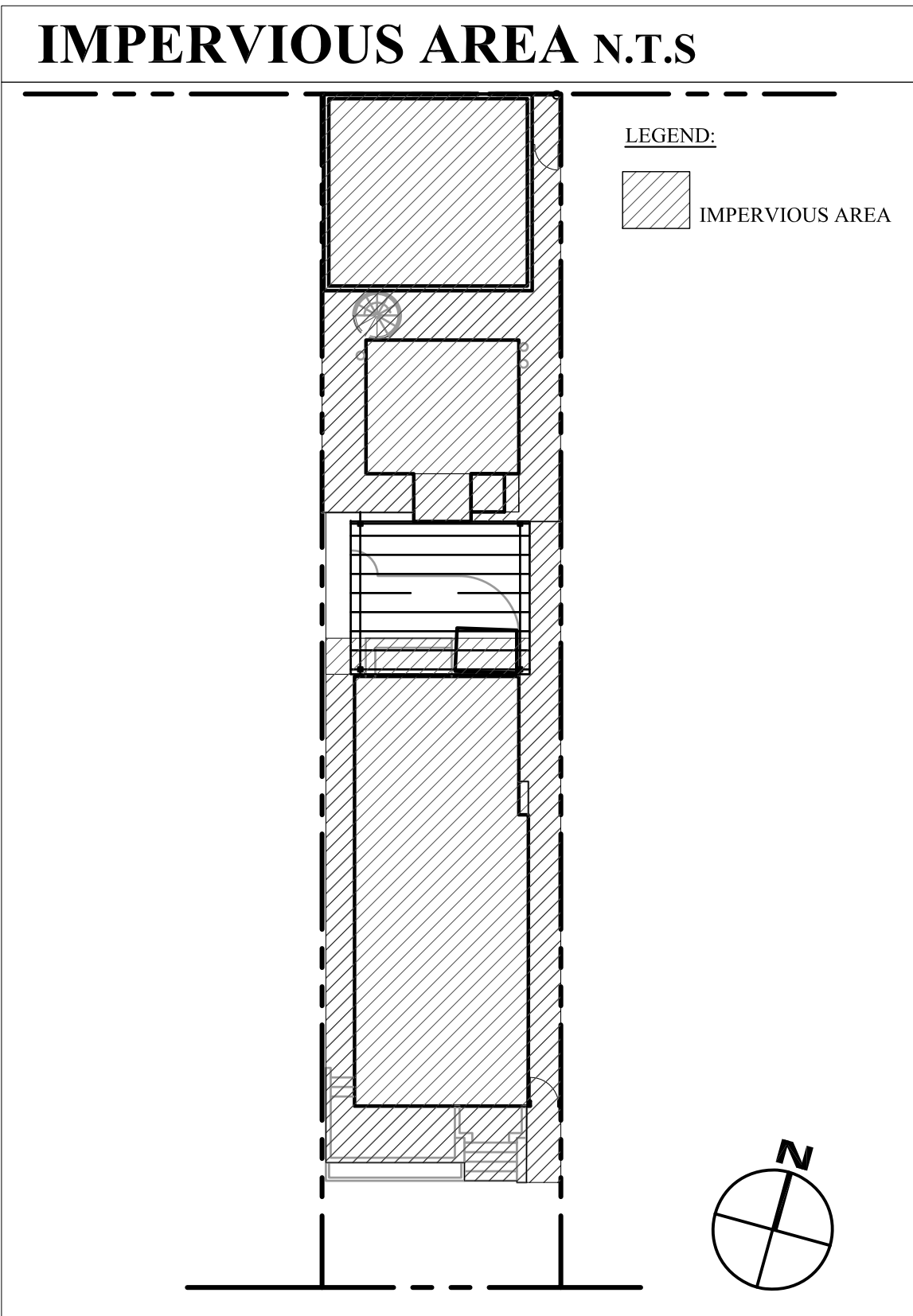
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DATE 01/05/2021

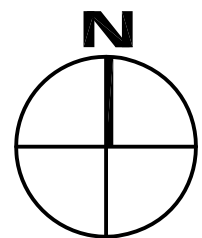
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SHEET TITLE
EXISTING
SITE PLAN
A-1.0

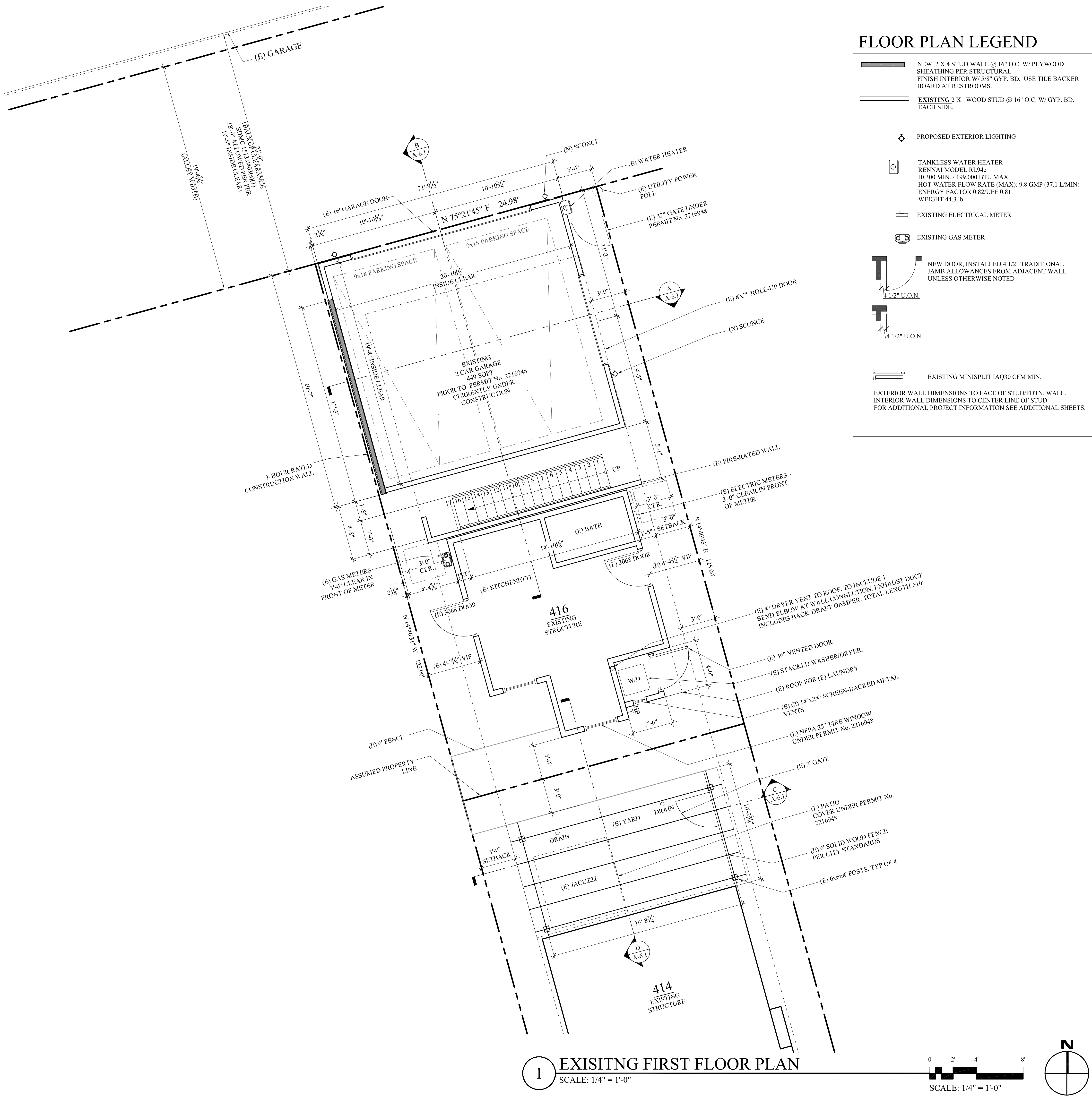
ATTACHMENT 12



BUILDING AREAS:				
	EXISTING	PROPOSED	DIFFERENCE	ALLOW FOR
(E) RESIDENCE (NO WORK)	800 SF	800 SF	--	800 SF
(E) GUEST (NO WORK)	254 SF	254 SF	--	254 SF
GARAGE	449 SF	449 SF	--	449 SF
COVERED PATIO	187 SF	187 SF	--	--
FIRST FLOOR STAIR PATIO	99 SF	99 SF	--	--
COMPANION UNIT	263 SF	367 SF	+104 SF	367 SF
SECOND FLOOR DECK	122 SF	122 SF	--	--
ROOF DECK	263 SF	263 SF	--	--
TOTAL AREA:	2,457 SF	2,561 SF	+104 SF	1,870 SF
F.A.R. CALCULATION	3,130 X 75%= 2,347.5 SF		1,870 SF (60%)	



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PHASE COASTAL
PHASE

PROJECT NO. 2018-24

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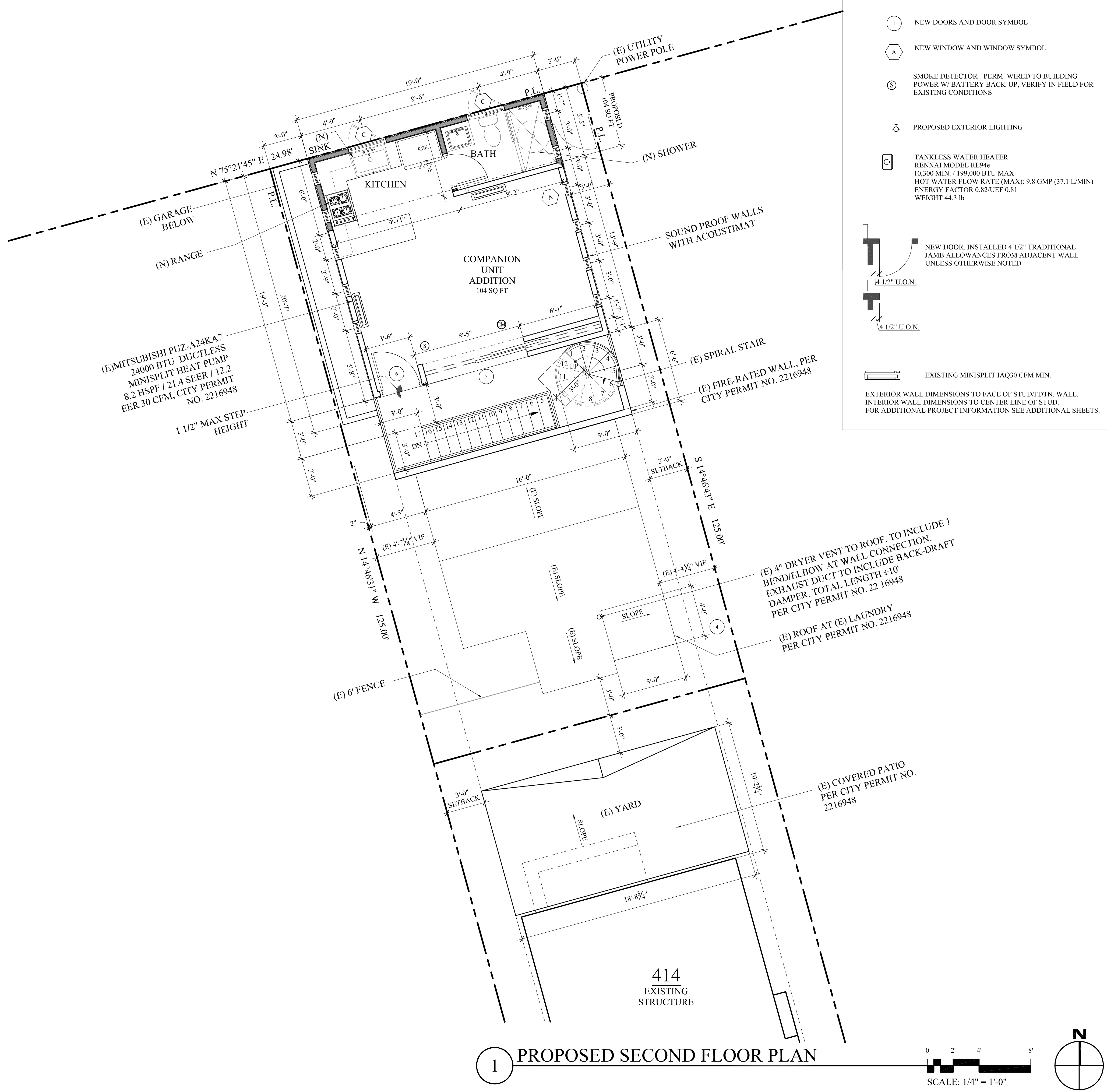
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SHEET TITLE PROPOSED
FIRST FLOOR
PLAN
A-2.1

ATTACHMENT 12

S:\Projects\2018\24 Teel Residence\CADD Drawings\Architectural\Coastal Phase (PHASE 2)\Sheets\A-2.1 FLOOR PLANS\TEEL.dwg Jan 13,2021 4:10pm



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PHASE COASTAL PHASE

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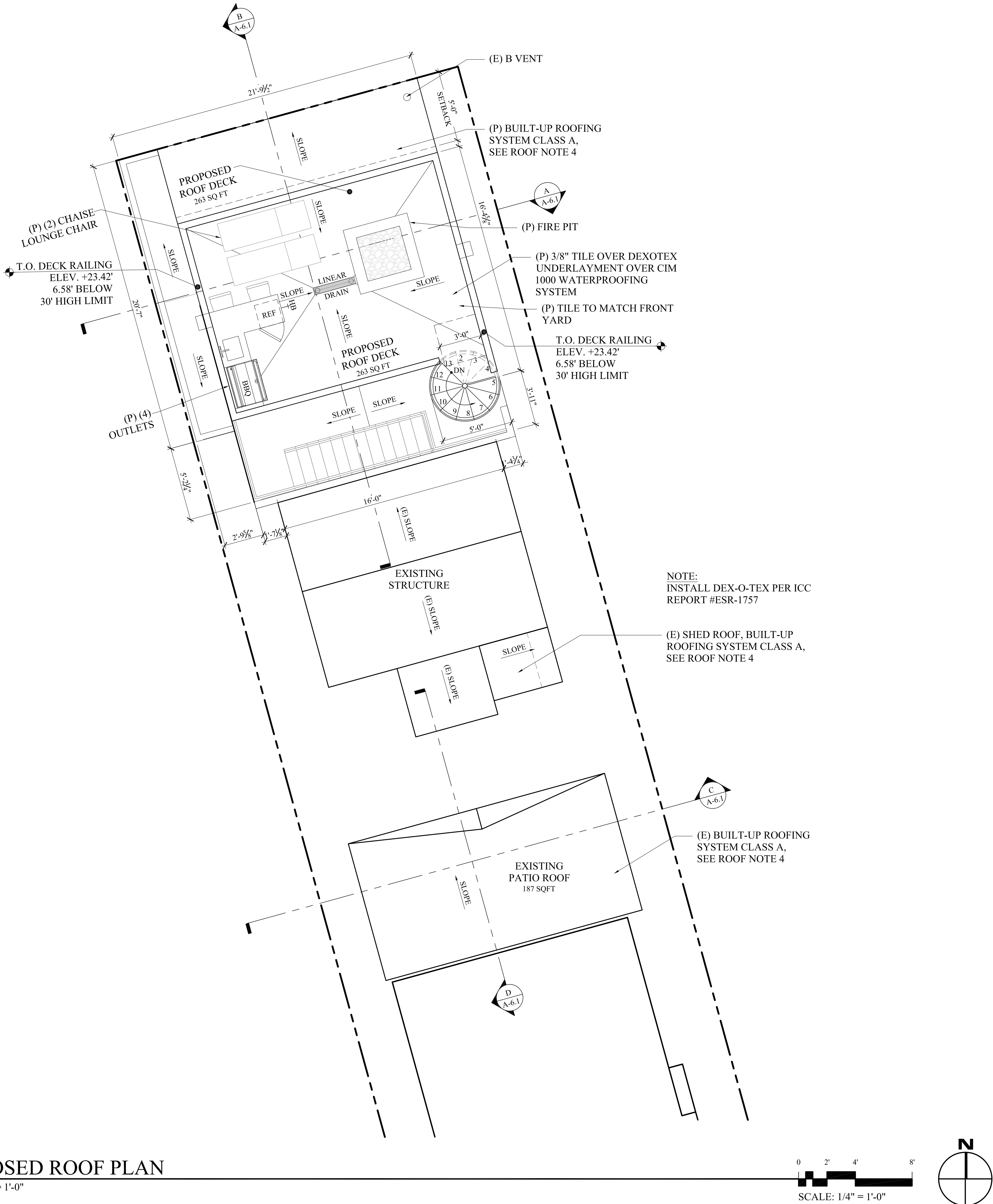
SHEET TITLE PROPOSED SECOND FLOOR PLAN

A-2.2

ATTACHMENT 12

S:\Projects\2018-24 Teel Residence\CADD Drawings\Architectural\Coastal Phase (PHASE 2)\Sheets\A-4.1 ROOF PLAN A TEEL.dwg Jan 13, 2021 4:46:14pm

1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



STORM DRAINAGE NOTES

1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER.
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL.

HEIGHT NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.

ROOF NOTES

1. **ROOFING UNDERLAYMENT SLOPE 3:12 OR LESS:** "ICE AND WATER SHIELD" BY W.R. GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAIN TEED CORP. ESR-1492 (OR ARCHITECT APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE.
2. **COUNTER-SLOPES:** 1/4" PER 12" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX-CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. **ROOF EDGE DRIP, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING:** ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. **BUILT-UP ROOFING SYSTEM:** BY GAF, GAFGLAS 4-PLY HOT MOPPED MODIFIED BITUMEN MINERAL SURFACED ROOFING SYSTEM. PROVIDE A 1/4" PER FOOT MINIMUM ROOF SLOPE. INSTALL PER MANUFACTURER'S INSTRUCTION. ROOFING SYSTEM SHALL HAVE A MINIMUM 10 YEAR LABOR AND MATERIAL WARRANTY. PER SPECIFICATION DIVISION 7.1, SECTION G, FOR FLASHING, "SPRINGLOK" FLASHING SYSTEM, TYPE STX, BY FRY REGLET CORP. MATERIAL 26 GA. PROVIDE "WINDLOK" CLIPS AND PREFABRICATED MITERED CORNER SECTIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. **ROOFING SYSTEM SHALL BE A UL CLASS "A" RATED, ICC REPORT UL ESR 1366-62.**
5. **PLUMBING VENT:** ABS PLASTIC TO BE FLASHED WITH CARLISLE-SYNTEC TPO PRE-MOLDED PIPE FLASHING.
6. **PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING:** MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140/60 BY PROTECTO WRAP. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET, EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP, ESR-1127.
7. **ROOF DRAIN:** ROOF DRAIN SHALL BE 2" TPO-CLAD NO-HUB BOTTOM OUTLET DRAIN BY THUNDERBIRD PRODUCTS WITH A.B.S. DOME STRAINER, TELEPHONE (800) 658-2473. PROVIDE 3" I.D. ABS DRAIN LINES WITH MIN 1/2":1' SLOPE. CONNECT TO BUILDING STORM WATER.
8. **ROOF VENT:** TPO PRE-MOLDED ROOF VENTING SEE DETAIL 6/A-10.4.1
9. **CLAY TILE ROOFING:** ROOFING SHALL BE TWO-PIECE MISSION TILE, TO BE "CARMEL BLEND BY US TILE, ESR-1017. PROVIDE A 3'X3' SAMPLE OF MOCK OF TILE PATTERN AND COLOR FOR OWNER AND ARCHITECTS APPROVAL PRIOR TO ORDERING MATERIAL. INSTALL WITH RANDOM EXPOSURE PATTERN. PROVIDE 20% RANDOM FIELD BOOSTERS. INSTALL PER MANUFACTURER'S INSTRUCTIONS OVER 40# ROOFING FELT UNDERLAYMENT AT ROOF WITH A MINIMUM OF 3 TO 12 SLOPE. ALL ROOFING MATERIALS SHALL BE CLASS "A".
10. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
11. TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS.
12. THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].

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PHASE COASTAL
PHASE

PROJECT NO. 2018-24

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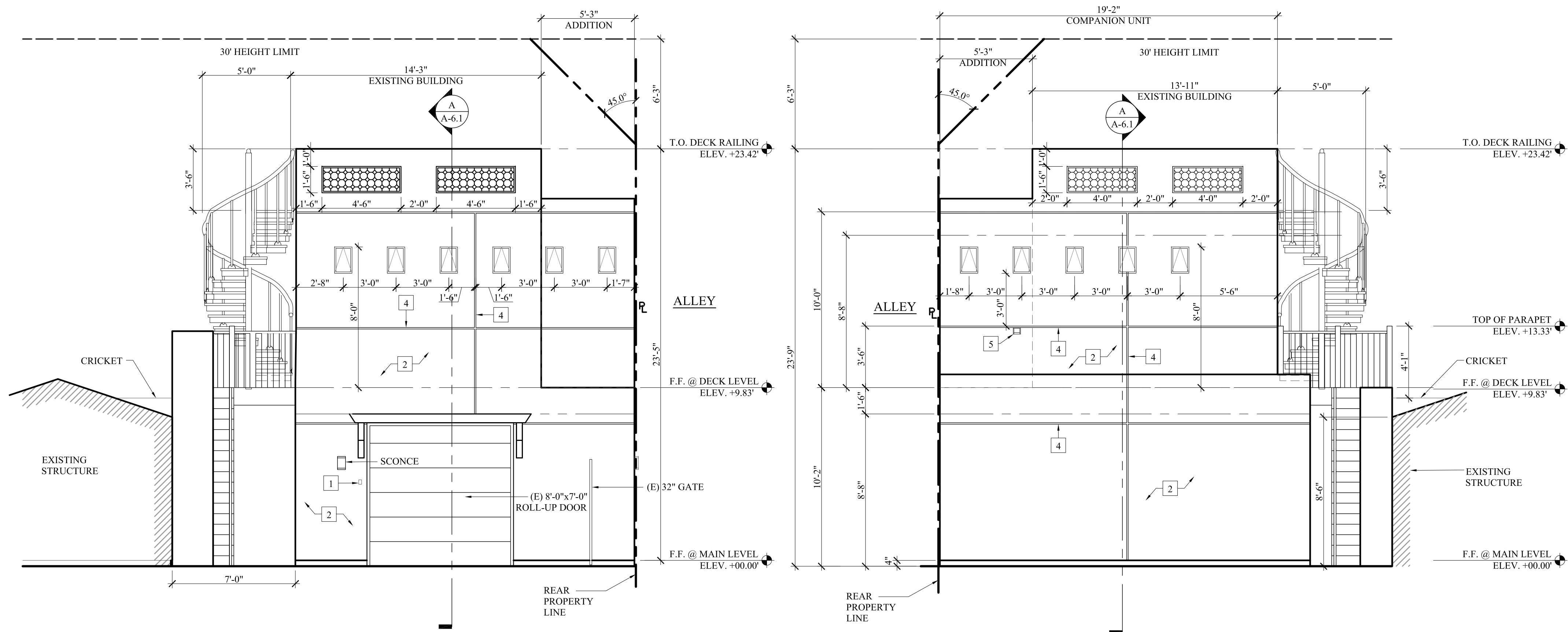
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SHEET TITLE PROPOSED
ROOF PLAN

A-4.1



2 PROPOSED EAST ELEVATION

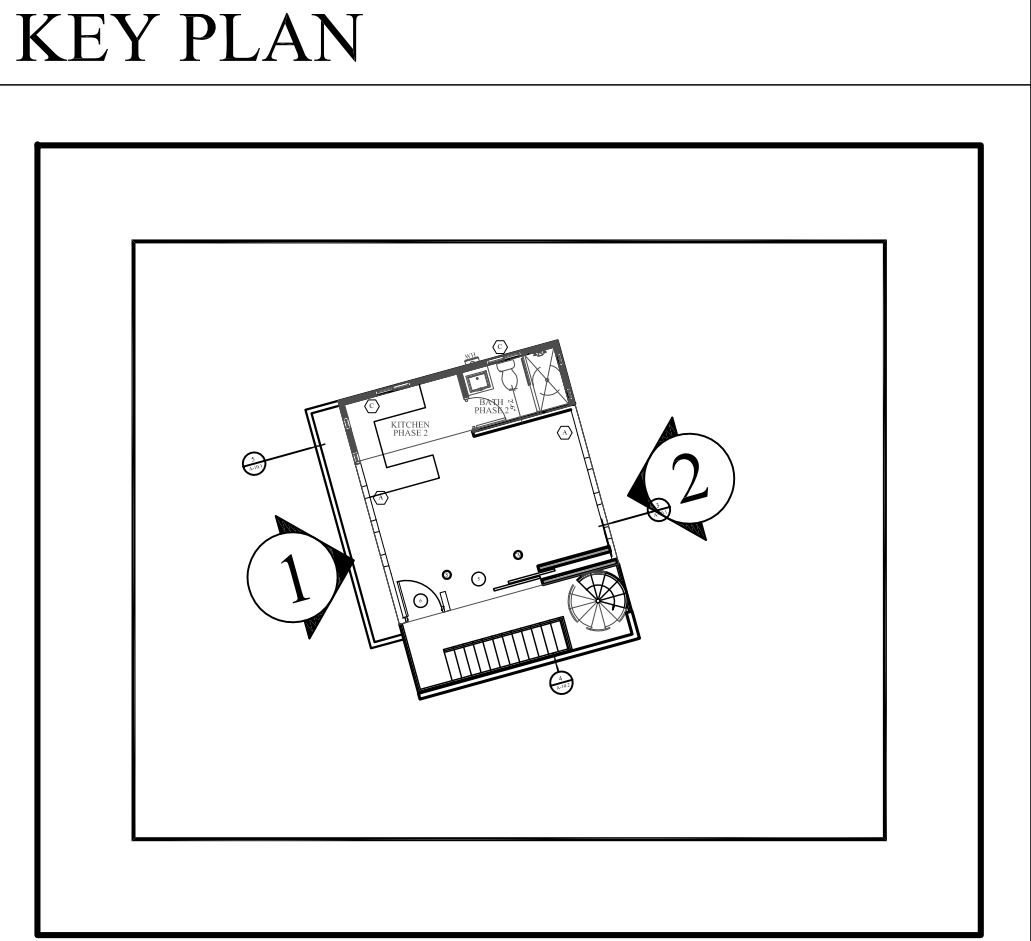
0 2' 4' 8'

SCALE: 1/4" = 1'-0"

1 PROPOSED WEST ELEVATION

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



ELEVATION NOTES

A. ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.

B. REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION.

C. REFER TO SHEET A-6.1 FOR BUILDING SECTIONS.

D. FOR DOOR AND WINDOWS SEE SCHEDULES ON SHEET A-8.1. ALL WINDOWS REQUIRED FOR EMERGENCY EXITING PER C.B.C. SHALL BE VERIFIED BY THE WINDOW SUBCONTRACTOR, AND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY REVISIONS TO WINDOW SIZES ARE REQUIRED PRIOR TO START OF CONSTRUCTION.

E. INSTALL PLASTER CONTROL JOINTS PER MANUFACTURER'S INSTRUCTIONS. IF JOINTS ARE NOT SHOWN, SEE SHEET SP-2 DIV. 09-200 3B CRITERIA WITH THE APPROVAL OF THE ARCHITECT FOR LOCATIONS.

F. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN TWO FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED.

- ### ELEVATION KEYNOTES
- 1 KEYPAD LOCK SYSTEM
 - 2 STUCCO WITH ELASTOMERIC FINISH, CORNERS TO MATCH EXISTING
 - 3 ROOF CRICKET, SEE 9/A-10.1
 - 4 RELOCATED EXISTING LIGHTING FIXTURE
 - 5 D VENT CONNECTED TO HOOD ELECTRIC FAN ABOVE COOKTOP ON KITCHEN AREA



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PHASE COASTAL
PHASE

PROJECT NO. 2018-24

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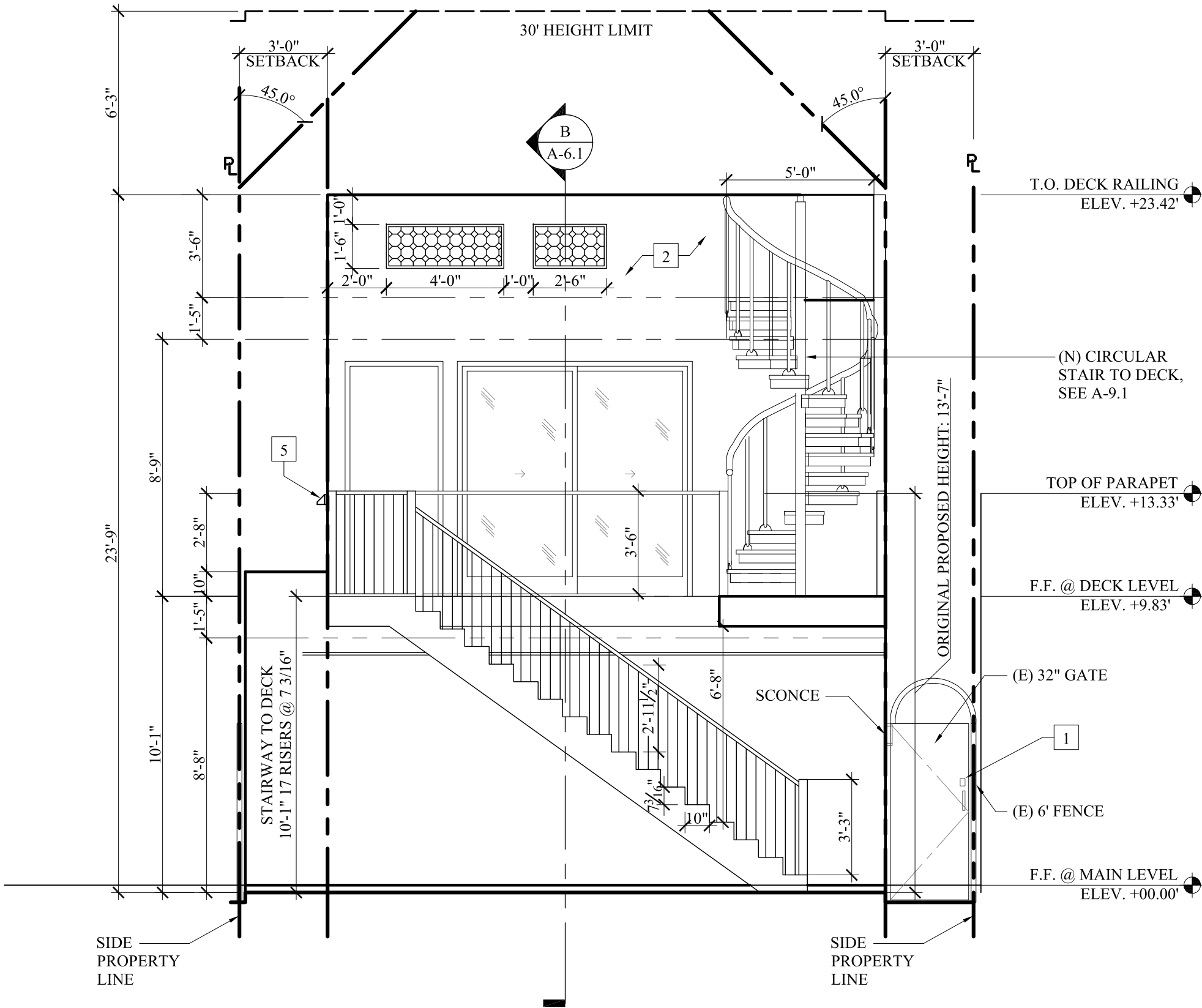
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SHEET TITLE PROPOSED
EXTERIOR
ELEVATIONS

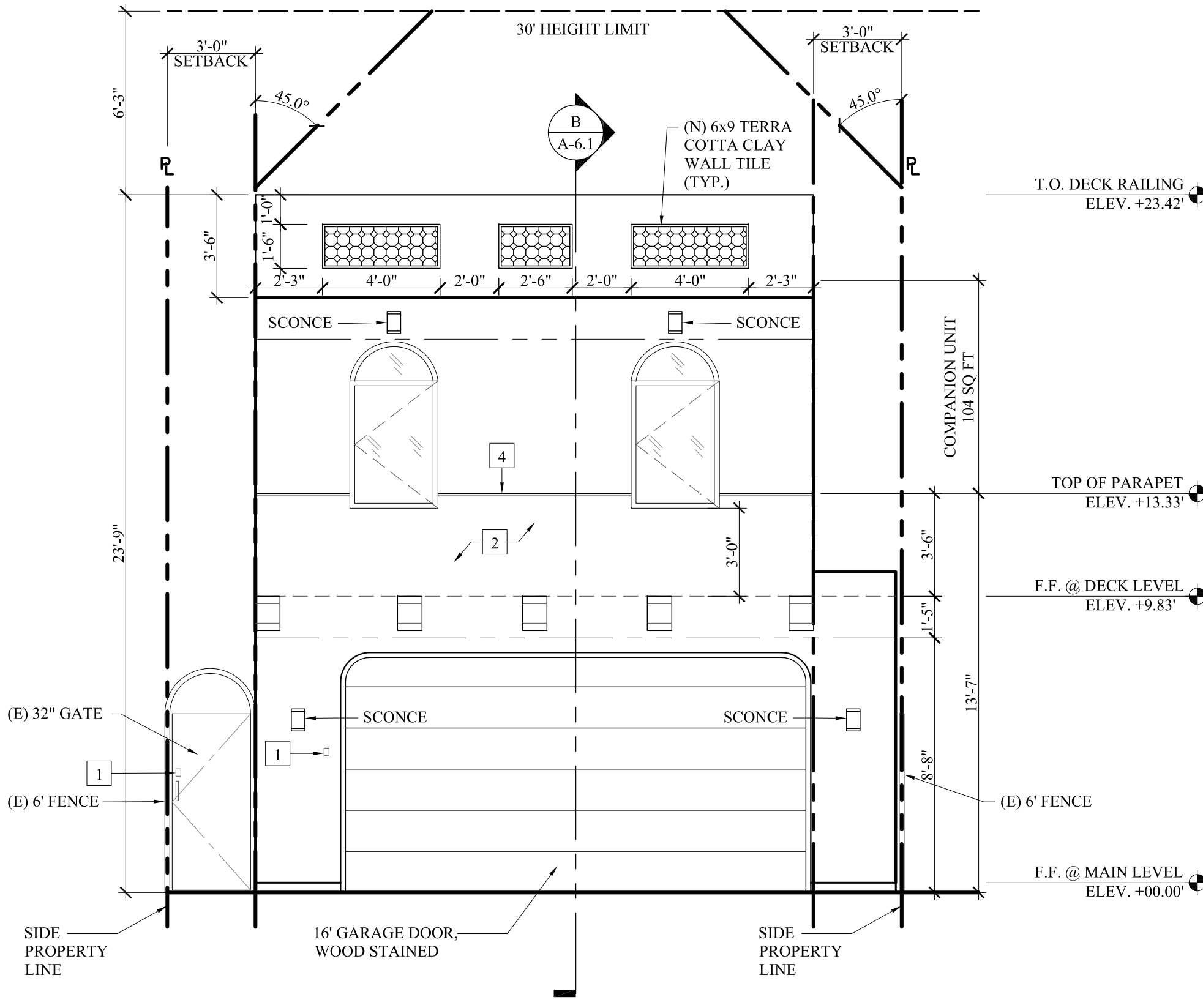
A-5.1



2 EXISTING SOUTH ELEVATION

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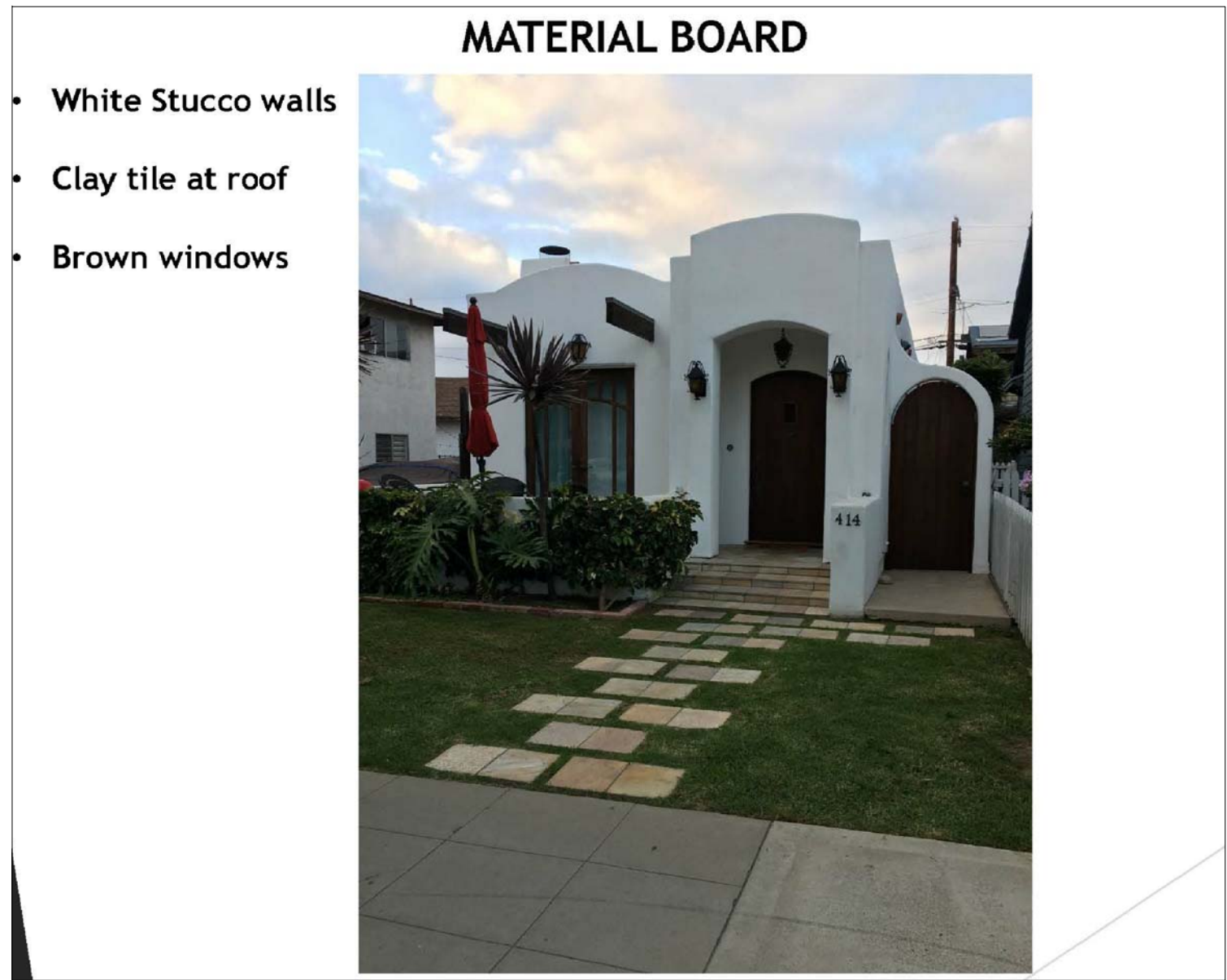
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1 PROPOSED NORTH ELEVATION

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



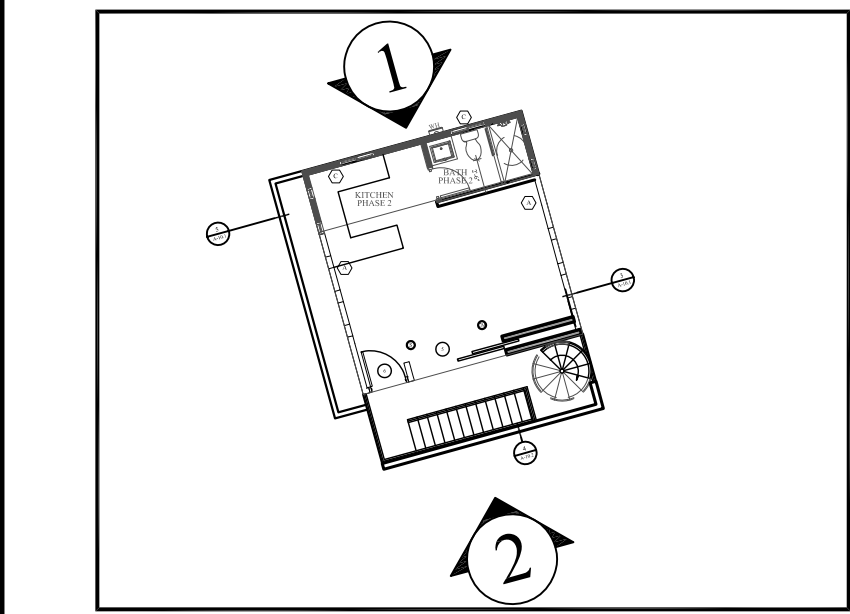
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ELEVATION KEYNOTES

- KEYPAD LOCK SYSTEM
- STUCCO WITH ELASTOMERIC FINISH, CORNERS TO MATCH EXISTING
- ROOF CRICKET, SEE 9/A-10.1
- RELOCATED EXISTING LIGHTING FIXTURE
- D VENT CONNECTED TO HOOD ELECTRIC FAN ABOVE COOKTOP ON KITCHEN AREA

KEY PLAN



Marengo Morton Architects

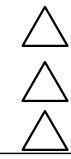
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PHASE

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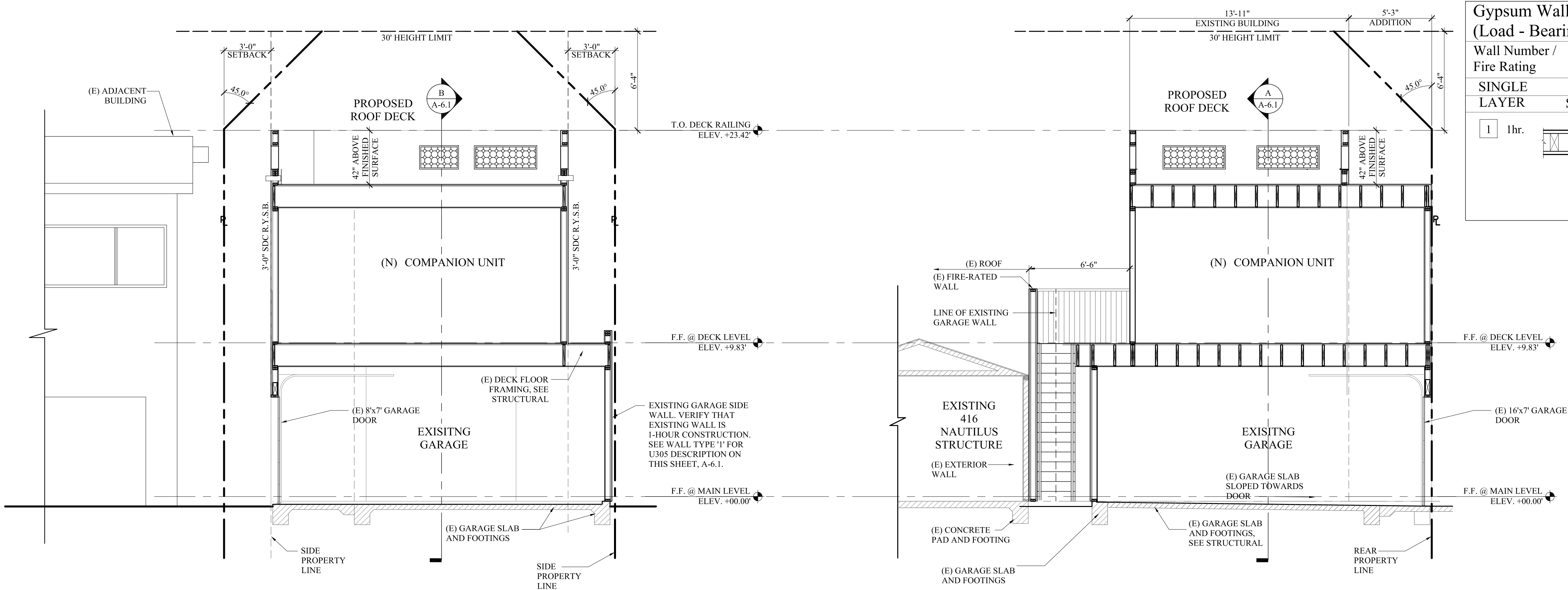
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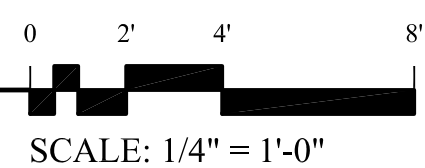
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SHEET TITLE
PROPOSED EXTERIOR
ELEVATIONS &
MATERIAL BOARD

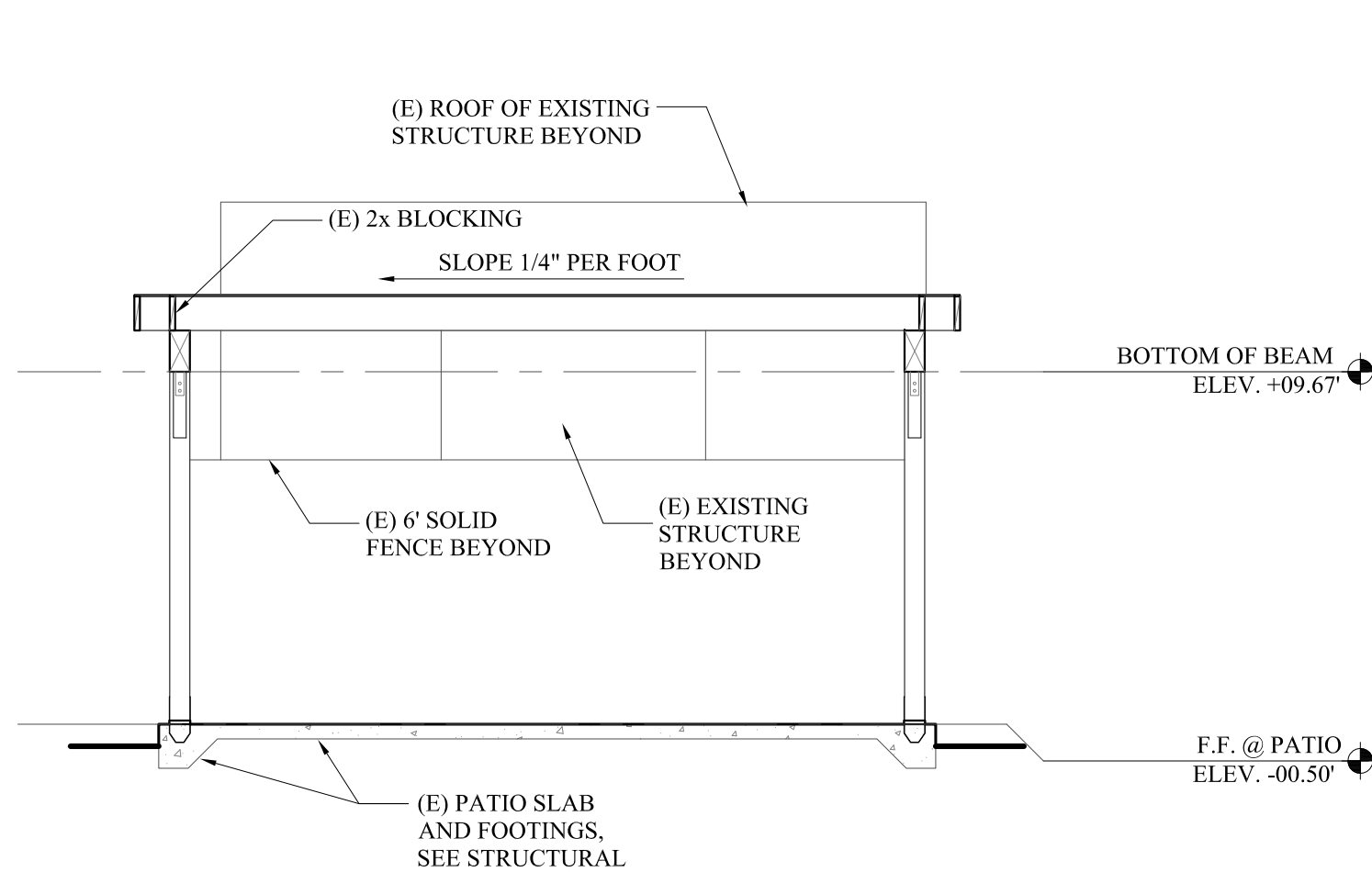
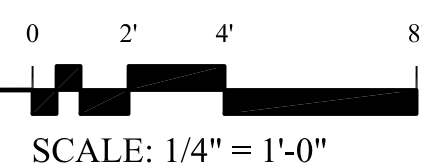
A-5.2



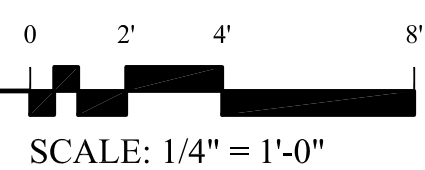
A EXISITING SECTION



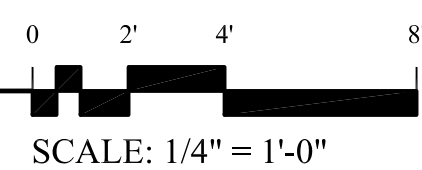
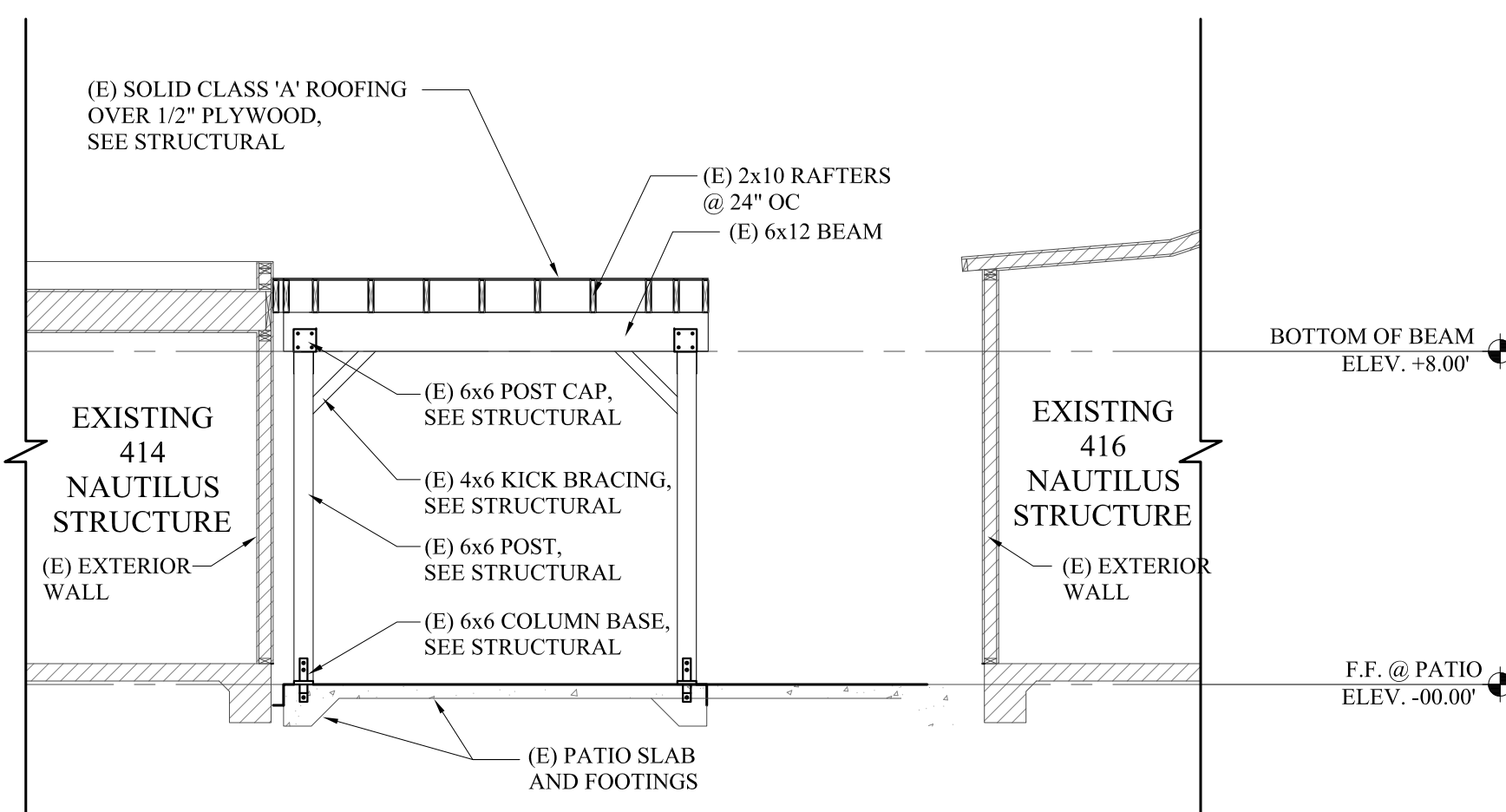
B PROPOSED SECTION



C EXISITING SECTION



D EXISTING SECTION



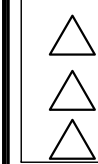
Gypsum Wallboard Partition / Wood Framing (Load - Bearing or Non-Load Bearing)					
Wall Number / Fire Rating	Ref.	Design No.	Description	STC	Test No.
SINGLE LAYER			FIRE - SOUND		
1	1hr.	UL GA	U305 WP 3605	5/8" (15.9mm) Fire-Shield Gypsum Wallboard or 5/8" (15.9mm) Fire-Shield MR Board nailed both sides 2 x 4 (38 mm x 89 mm) wood studs).	35 NBC 2403

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TEEL RESIDENCE
COMPANION UNIT
414 - 416 NAUTILUS STREET
LA JOLLA, CA 92037

REVISIONS
8-22-2018 PRELIMINARY DESIGN
10-23-2018 1ST CITY SUBMITTAL
11-29-2018 CITY RESUBMITTAL
07-15-2020 COASTAL SUBMITTAL
09-17-2020 COASTAL RESUBMITTAL



PHASE COASTAL
PHASE

PROJECT NO. 2018-24

REVIEWED BY CAM

DRAWN BY PC

DATE 01/05/2021

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SHEET TITLE PROPOSED
SECTIONS

A-6.1