



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: October 7, 2021 REPORT NO. PC-21-045

HEARING DATE: October 21, 2021

SUBJECT: CROWN CASTLE AZUAGA, Process Four Decision

PROJECT NUMBER: [664136](#)

OWNER/APPLICANT: The Episcopal Diocese of San Diego, Owner and Crown Castle, Applicant

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 10125 Azuaga Street within the Rancho Penasquitos Community Plan area?

Staff Recommendations:

APPROVE Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979, and Neighborhood Development Permit No. 2578928.

Community Planning Group Recommendation: On January 12, 2021, the Rancho Penasquitos Community Planning Group voted 15-0-0 to approve the project with recommendations. (Attachment 10)

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made September 3, 2021 and the opportunity to appeal that determination ended September 20, 2021. (Attachment 8)

Fiscal Impact Statement: All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None

Housing Impact Statement: This project application is for a wireless communication facility and is not associated with residential development.

BACKGROUND

The Crown Castle Azuaga Project (Project) proposes the continued use of an existing Crown Castle Wireless Communication Facility (WCF) located at 10125 Azuaga Street in the RS-1-13 Zone within the Rancho Penasquitos Community Plan area. The site is owned by the Saint Timothy's Church, a non-residential use within the residential Base Zone. The land uses surrounding the Project site to the north, south, and east are residential low density and the area west of the site is Zoned AR-1-2 (Agricultural Residential) and is currently utilized as a church facility by the Taiwanese Lutheran Church of San Diego. (Attachments 1, 2 and 3)

This Project site was previously approved with Neighborhood Use Permit No. [715439](#) and Planned Development Permit No. [626732](#) under Project No. [101765](#) on February 11, 2010 and those permits expired in February of 2020. The Project is an existing WCF that is proposing to upgrade the antennas and equipment with new technology. The WCF consists of 12 antennas embedded within the branches of the 45-foot tall faux eucalyptus (mono-eucalyptus). The associated equipment is located inside a 409 square-foot prefabricated enclosure on the ground that is painted to match the building on site. Additional landscaping is proposed around the enclosure to screen it from public view.

[Council Policy 600-43](#) assigns preference levels to WCFs proposed on different land uses. The most preferred location for WCF's is in the Public Right-of-Way or within an industrial or commercial zone. If those are not available, a mixed-use area or area with a non-residential use is preferred. Residentially zoned property with a residential use is the least preferred location for WCF's. This site is considered a Preference 3 location due to the non-residential use of the site and its location within a residential zone. The approval of this existing WCF under current updated San Diego Municipal Code (SDMC) requires processing of a CUP, Process Three for its placement on a non-residential use within a residential zone, in this case a church facility.

SDMC Section [143.0402](#) requires a Process 4, Planned Development Permit (PDP) when a project includes deviations from the applicable zoning regulations. The residential zone allows a maximum height of 35 feet. The existing WCF 45 feet high, requiring a deviation of 10 feet in order to stay operational. Therefore, a PDP is being processed for the deviation to the development standards for the height of the tree.

In addition to the PDP and CUP, a Neighborhood Development Permit (NDP) is required pursuant to SDMC Section [126.0402\(m\)](#), when an equipment enclosure exceeds 250 square feet. The Project proposes an equipment enclosure of 409 square feet.

DISCUSSION

Project Description:

The Project consists of a 45-foot-tall faux mono-eucalyptus tree owned by Crown Castle supporting

twelve AT&T panel antennas and associated equipment located inside an enclosed enclosure. This is an existing WCF and the modifications include removal and replacement of three antennas and three Remote Radio Units (RRUs), replacement of the faded foliage and upgrading of the associated equipment. In addition to replacing faded tree socks and branches, additional landscaping in form of three Brisbane Box trees will be added near the tree to blend the site with the surrounding and to minimize visual impact.

The Telecommunication Act of 1996 preempts local governments from regulating the placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. A Radio Frequency Safety Survey Prediction Report dated January of 2020 from AT&T, was submitted to the City verifying that the proposed Project meets or exceeds the requirements of the FCC.



Figure 1: Photo simulation of antennas on the tree and the equipment enclosure

Based on worst-case predictive modeling, there are no areas at ground/street level related to the proposed AT&T antennas that exceed the FCC's occupational or general public exposure limits at this site. At ground/street level, the maximum power density generated by the antennas is approximately 3.26 percent of the FCC's general public limit. A site is considered out of compliance with FCC regulations if there are areas that exceed the FCC exposure limits and there are no RF hazard mitigation measures in place. Any carrier which has an installation that contributes more than 5 percent of the applicable Maximum Permissible Exposure (MPE) must participate in mitigating these RF hazards.

Community Plan Analysis:

The Rancho Penasquitos Community Plan does not address WCFs as a specific land Use. However, the City of San Diego General Plan, Urban Development (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these

facilities to be designed aesthetically pleasing and respectful of the neighborhood context.

Crown Castle has designed the Project for the antennas to be concealed inside the foliage of the mono-eucalyptus. The Project is located on a slope in the rear of the church property. The faux tree is visible to the surrounding community and State Highway 56; however, presence of live trees minimizes the visual impact to the surrounding site and blend the faux tree with the environment. The antennas will be covered with antennas socks, which will help to blend the antennas with the tree and to minimize their appearance. The associated equipment is completely screened inside an enclosure in the lower portion of the slope.

Project-Related Issues:

Requested Deviations: The Project is requesting a deviation from the development regulations as allowed with the approval of the PDP and NDP provided that the findings in SDMC sections [126.0606](#) and [126.0404](#) can be supported. The following table is a matrix of the proposed deviation, which is followed by the justification for the deviations:

Deviation Summary			
Deviation Description	SDMC section	Max Allowed	Proposed
Building Height	131.0430	35- feet	45-feet
Equipment Size	126.0402 (m)	250 square-feet	409 square-feet

Justification for height - A height deviation is requested in order to accommodate the current service to exceed the RS-1-13 Zone height limit of 35 feet. By allowing the height deviation to 45 feet, the applicant, Crown Castle will be able to continue the use of the existing facility with current configurations and with increased coverage/capacity without any changes. This will reduce any dropped calls and/or poor signal during emergency situations. As noted previously, the Project is an existing 45-foot-tall mono-eucalyptus tree that was originally approved on February 11, 2010 (Project No. 101765). In order to continue providing service to the surrounding area, the antennas need to remain at the height they were originally installed as the network was developed using those metrics for coverage.

The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area for AT&T customers. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Coverage maps demonstrate the existing coverage and the predicted loss of coverage without the height (Attachment 7).

Justification for equipment enclosure - WCF design regulations require that WCF associated equipment be screened. The existing equipment enclosure housing the associated cabinets are completely screened inside the 409 square feet enclosure which is painted to match the building on site.

The existing equipment shelter supporting AT&T's operation on the existing 45-foot-tall faux eucalyptus tree is located at the south end of the existing parking lot and set into the slope. The

equipment shelter is approximately 409 square feet in size, which exceeds the size requirements per SDMC section 141.0420(e)(3) limitation of 250 square feet. Pursuant to SDMC section [126.0402\(m\)](#), a Neighborhood Development Permit is required for a WCF with an equipment enclosure that exceeds 250 square feet as described in SDMC Section [141.0420\(e\)\(3\)](#). The existing equipment shelter is a prefabricated structure and houses a significant amount of supporting power and radio equipment inside that minimizes the amount of equipment needing to be physically installed on the tower itself and in public view. The layout of the equipment inside the shelter ensures adequate clear working space for technicians, efficient cooling of the equipment, and space for future technology upgrades that would avoid the need to expand the shelter in the future. The Rancho Penasquitos Community Planning Group has recommended additional landscaping planted around the existing equipment enclosure to provide screening of the shelter when viewed from Azuaga Street.

The above deviations have been analyzed by City staff and have been determined to be consistent with the goals and recommendations of the General Plan, the Rancho Penasquitos Community Plan, and the purpose and intent of the Wireless Communication Ordinance. The Project has been designed to address the physical environment and will not adversely impact the public's health or safety. Apart from the above deviations, the proposed Project will continue to provide wireless communication service to the surrounding area and emergency essential communications services.

Community Planning Group Recommendations:

The Rancho Penasquitos Community Planning Group (CPG) voted 15-0-0 to approve the project on January 12, 2021 with the following recommendations:

1. Additional Irrigations: Crown Castle will work with the property owner to install an operational irrigation system to sustain the growth of the additional trees and shrub; and
2. Additional tree planting: three (15 gallon) Brisbane Box will be provided around the tower for screening.

The applicant has agreed to address these recommendations as project features at the construction building permit review phase of the Project.

Conclusion:

The proposed WCF is an existing facility that has been providing wireless service to the area in the past ten years and the proposed upgrade of the facility will continue to provide an enhanced level of service to the surrounding Rancho Penasquitos Community. The project complies with purpose and intent of the Wireless Communication Ordinance ([SDMC 141.0420](#)), the [Wireless Design Guidelines](#), [Council Policy 600-43](#) and the [Urban Design Element](#) of the General Plan. Staff has prepared draft findings in the affirmative to approve the Project and recommends approval of PDP, CUP, and NDP (Attachment 5).

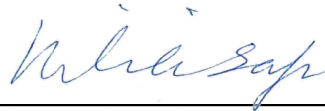
ALTERNATIVES

1. Approve Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979 and Neighborhood Development Permit No. 2578928, with modifications.
2. Deny Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979 and Neighborhood Development Permit No. 2578928, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



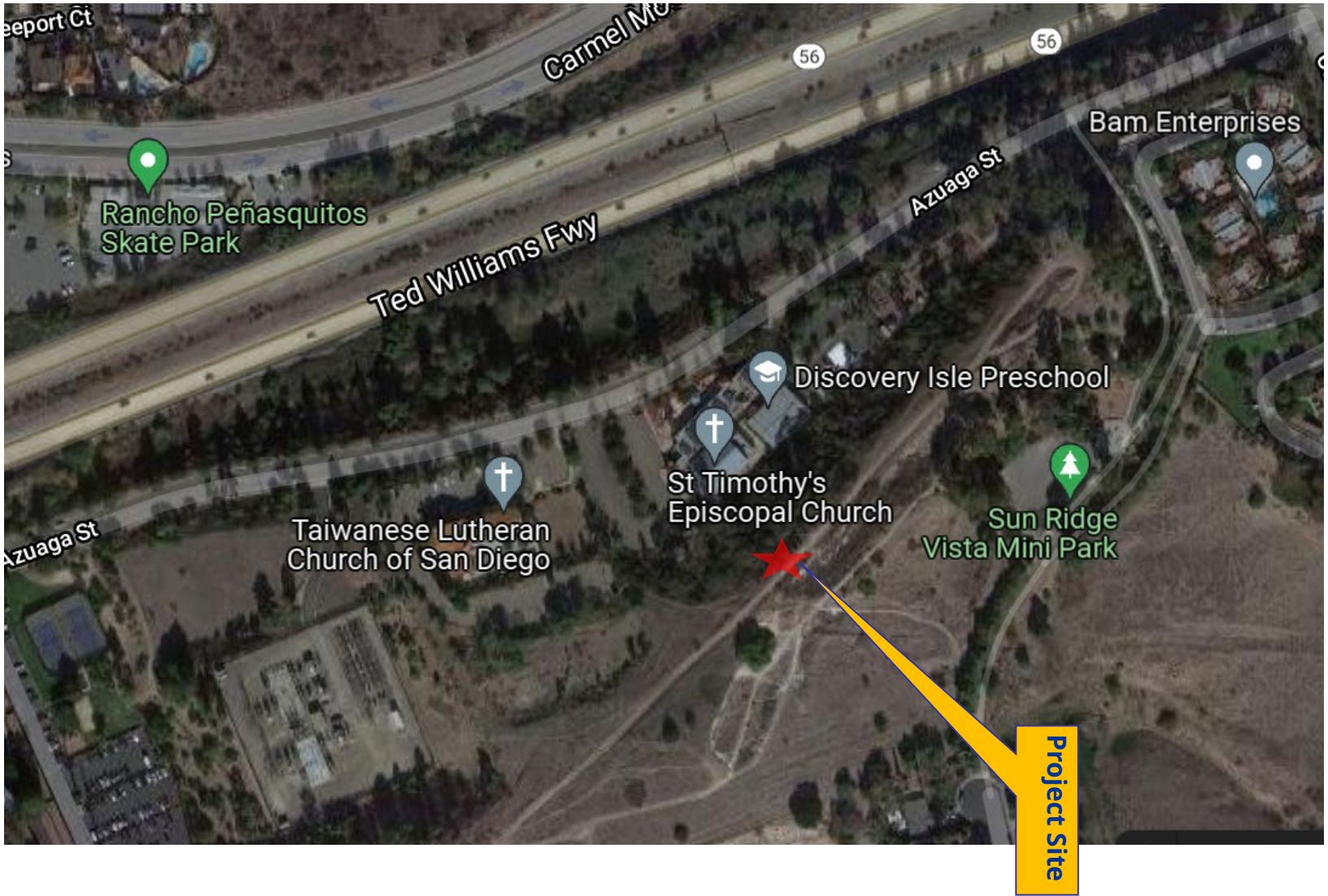
Tim Daly
Assistant Deputy Director
Development Services Department



Nilia Safi
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Coverage Maps
8. Environmental Exemption
9. Ownership Form
10. Community Planning Group Recommendation
11. Photo Survey
12. Photo simulations
13. Project Plans



Aerial Photograph

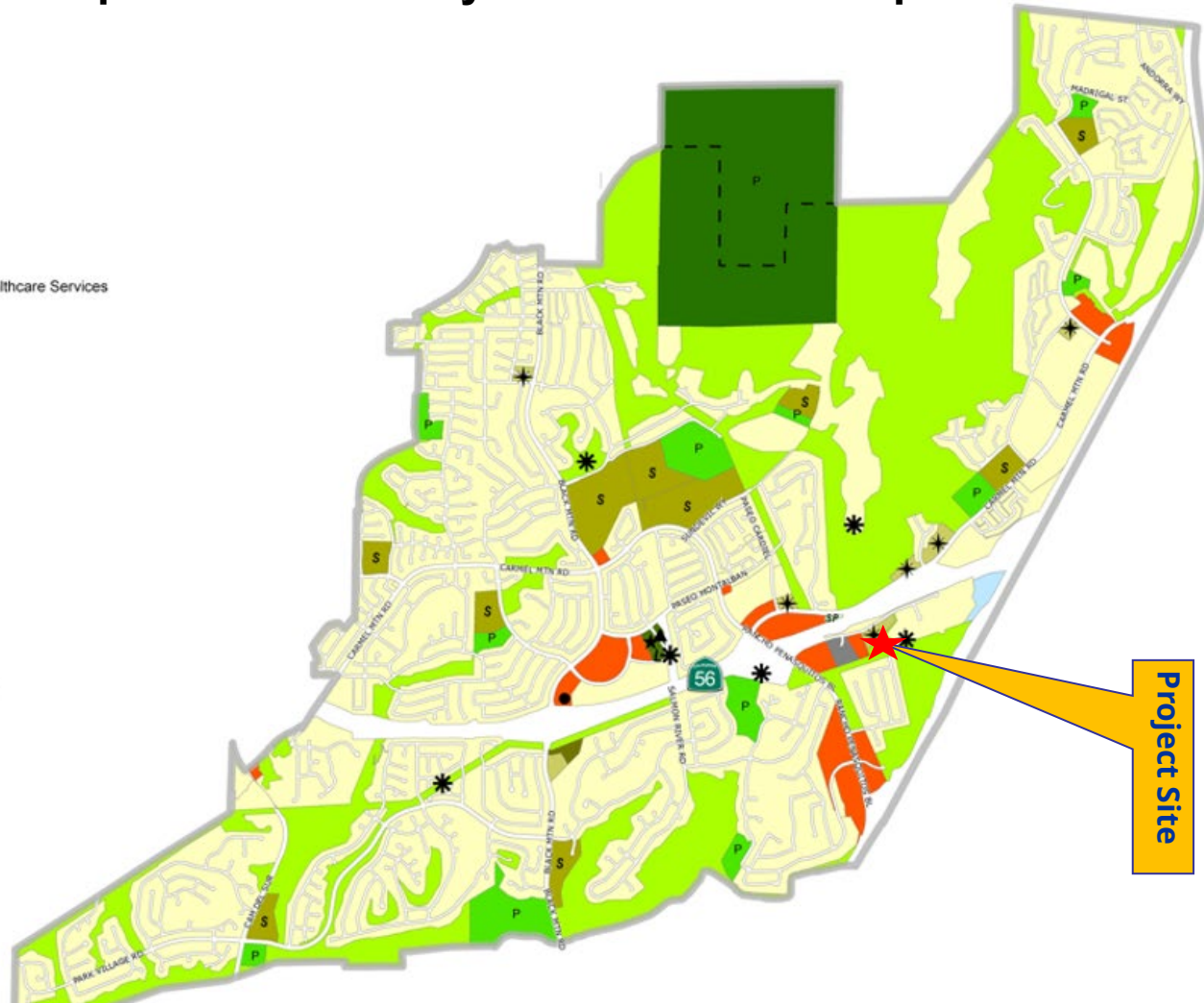
Crown Castle Azuaga Project No. 664136
10125 Azuaga Street



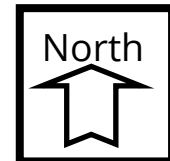
Rancho Penasquitos Community Plan Land Use Map

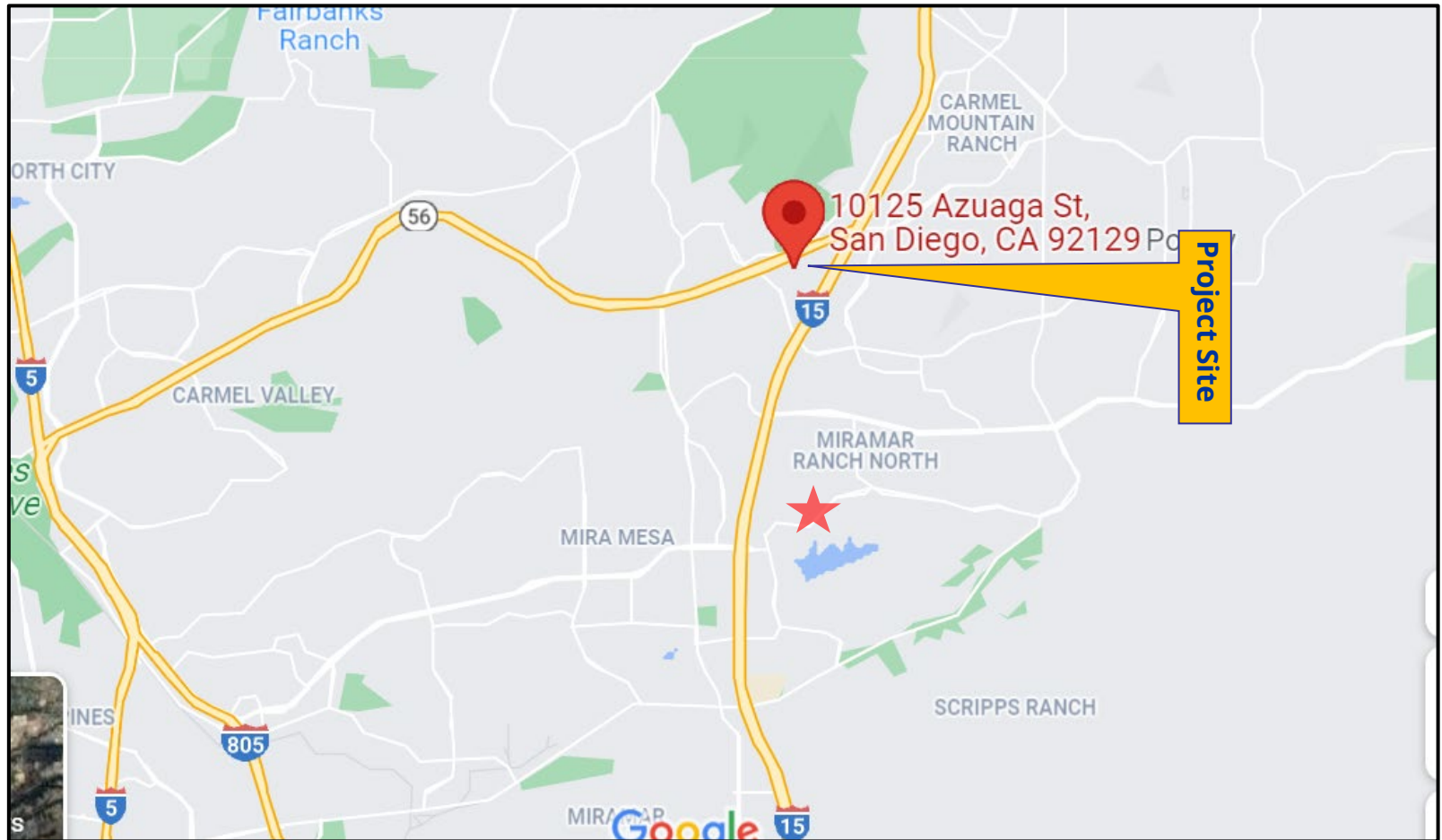


- | | |
|---|---|
|  | Residential |
|  | Industrial |
|  | Commercial |
|  | Open Space |
|  | Regional Park |
|  | Parks |
|  | Skate Park |
|  | General Institutional Healthcare Services |
|  | Schools |
|  | Religious Facility |
|  | Major Utility Facility |
|  | Library |
|  | Police |
|  | Fire Services |
| S | Schools |
| ● | Post Office |
| L | Library |
| ▲ | Fire Station |
| ★ | Police |
| ✦ | Religious Facility |
| SP | Skate Park |
| ✳ | Special Treatment Area |
| P | Parks |



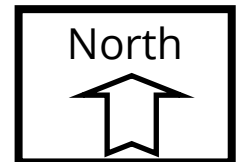
Crown Castle Azuaga Project No. 664136
10125 Azuaga Street





Project Location Map

Crown Castle Azuaga Project 664136
10125 Azuaga Street



PROJECT DATA SHEET		
PROJECT NAME:	Crown Castle Azuaga	
PROJECT DESCRIPTION:	The continued operation of a Wireless Communication Facility (WCF). The existing WCF consists of a 45-foot-tall faux eucalyptus tree with 12 AT&T Antennas located at 10125 Azuaga Street	
COMMUNITY PLAN AREA:	Rancho Penosquitos	
DISCRETIONARY ACTIONS:	Planned Development Permit/Conditional Use Permit/Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<p style="text-align: center;"><u>ZONING INFORMATION:</u></p> <p>ZONE: RS-1-13</p> <p>HEIGHT LIMIT: 35 feet</p> <p>LOT SIZE: 5.32 Ac</p> <p>FLOOR AREA RATIO: n/a</p> <p>FRONT SETBACK: 15 feet</p> <p>SIDE SETBACK: 5 feet</p> <p>STREETSIDE SETBACK: 10</p> <p>REAR SETBACK: 10</p> <p>PARKING: N/A</p>		
	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; RS-1-13	Open Space
SOUTH:	University; RS-1-13	Open Space
EAST:	Residential/Open Space; RS-1-13	Open Space
WEST:	Residential; RS-1-13	Open space
DEVIATIONS OR VARIANCES REQUESTED (INCENTIVES):	Structure Height and Equipment Size	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 12, 2021 the Rancho Penosquitos Community Planning Group voted 15-0-0 to recommend approval of the project with conditions to add three Brisbane Box trees for screening of the antennas	

PLANNING COMMISSION RESOLUTION NO. XXXX
CONDITIONAL USE PERMIT NO. 2577978
PLANNED DEVELOPMENT PERMIT NO. 2577979
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2578928
CROWN CASTLE AZUAGA - PROJECT NO. 664136

WHEREAS, The Episcopal Diocese of San Diego, Owner, and Crown Castle GT Company LLC, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979 and Neighborhood Development Permit No. 2578928), on portions of a 5.32-acre lot;

WHEREAS, the project site is located at 10125 Azuaga Street in the RS-1-13 of the Rancho Penasquitos Community Plan area;

WHEREAS, the project site is legally described as Lot 18 of Sunridge Vista Unit No.2 in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 12380 filed in the office of the County recorder of San Diego County, May 18, 1989;

WHEREAS, on the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 21, 2021, the City Planning of the City of San Diego considered Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979, and Neighborhood Development Permit No. 2578928 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979, and Neighborhood Development Permit No. 2578928:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0303]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The Crown Castle Azuaga Project (Project) is an existing Crown Castle Wireless Communication Facility (WCF) consisting of a 45-foot-tall faux eucalyptus (mono-eucalyptus) tree supporting twelve panel antennas and associated equipment located inside a 409 square-foot enclosure at ground level. Modifications include the removal and replacement of three panel antennas, three Remote Radio Units (RRUs), and the replacement of faded foliage as needed. Additionally, the Project include a upgrading associated ancillary equipment. The Project is located at 10125 Azuaga Street in the RS-1-13 Zone of the Rancho Penasquitos Community Plan area. The existing WCF was approved on February 10, 2010 and the permit expired on February 11, 2020.

The Rancho Penasquitos Community Plan does not address WCFs as a specific land use. However, the City of San Diego General Plan, Urban Development (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities of be designed aesthetically pleasing and respectful of the neighborhood context.

WCFs are permitted in all zones citywide with the appropriate permit process. WCFs are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. WCFs are allowed in a residential zone within a non-residential use with approval of a Conditional Use Permit (CUP).

Crown Castle has designed the Project for the antennas to be concealed inside the foliage of the mono-eucalyptus faux tree located on a slope in the rear of the church property. Additional similar trees surround the site in order to blend the Faux tree with the environment. The antennas will be covered with antennas socks which will help to blend the antennas with the tree and to minimize their appearance. The associated equipment is located completely screened inside an enclosure in the lower portion of the slope.

This Project, as designed and with the approved deviations, will comply with the San Diego Municipal Code (SDMC) section 141.0420, WCF Guidelines, as well as the

requirements of the Rancho Penasquitos Community Plan. Therefore, the Project will not adversely affect the applicable land use, the Rancho Penasquitos Community Plan, and the City's General Plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The Project is an existing Crown Castle WCF consisting of a 45-foot-tall mono-eucalyptus tree supporting twelve panel antennas and associated equipment inside an enclosed enclosure. The only modification includes removal and replacement of three antennas and three RRUs, replace faded foliage and upgrade associated equipment.

The Project was determined to be exempt from CEQA pursuant to section 15301(Existing Facilities). The conditions of approval for the Project requires compliance with the SDMC regulations intended to assure continued public health, safety and welfare, including concealment requirements and deviation for the height. All proposed improvement plans associated with the Project will be reviewed prior to issuance of the construction permit and inspected during construction to assure the Project will meet or exceed all relevant and applicable building, electrical, mechanical, and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the placement, construction and modification of WCFs on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions. A Radio Frequency Safety Survey Report dated January of 2020 was submitted to the City verifying that the Project meets or exceeds the requirements of the FCC. The report will be stamped as Exhibit "A" and provided within the Project file. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The Project is an existing Crown Castle WCF consisting of a 45-foot-tall mono-eucalyptus tree supporting twelve panel antennas and associated equipment located inside an enclosed concrete enclosure. The only modification includes removal and replacement of three antennas and three RRUs, replacement of faded foliage, and upgraded associated equipment.

The Project is located at 10125 Azuaga Street in the RS-1-13, residential Base Zone of the Rancho Penasquitos Community Plan area. The existing WCF was approved on February 10, 2010 and that permit expired February 11, 2020.

The WCF Regulations, SDMC section 141.0402, contains design requirements for WCFs which include requirements to utilize the smallest, least visually intrusive

antennas, component and other necessary equipment and to use all reasonable means to conceal and minimize the visual impact of the wireless facilities through integration. Integrating with the existing structure or among other existing uses shall be accomplished through "the use" of architecture, landscape and sitting solutions.

The Project has been designed to minimize the visual impact of the WCF through incorporation of additional antenna socks to blend the antennas with the tree branches. The existing trees that were planted with the previously approved permit, in the immediate vicinity, blend the Project with the surroundings new shrub and faux Ivy at the base of the tree will provide screening for the coax shroud and concrete foundation. In addition, three 15-gallon Brisbane Box will be provided around the tower for additional screening with an operational irrigation system to sustain the growth of additional trees and shrub.

The maximum height for the residential zone is 35-feet. The height of the tree is at 45-feet which exceeds the maximum allowed in the zone. The Project requires a deviation of ten feet for the height. The need for a height deviation is necessary to provide the same coverage AT&T currently has and it will allow for future colocation on the same site. This WCF has been providing wireless communication coverage to the area for a long time and the need will remain for future service. The existing WCF provides critical voice and data service throughout the surrounding area. Continued operation of this site is necessary to maintain the existing levels of service to the area. The site is an integral part of telecommunication networks, as the site's operation is closely coordinated with other sites in the area. Reducing the height of the wireless facility reduces the overall coverage footprint. This would result in the creation of gaps in coverage (actual dead zones). Those gaps have to be filled with new facilities, which would result in a proliferation of new facilities; therefore, this could be entirely avoided by keeping the facility at its current height. In addition, reducing the facility height makes the facility a less desirable location for co-location of a new wireless carrier in the future. This would result in addition of another facility in the area should a new wireless carrier seek to provide coverage in the area.

The existing equipment shelter supporting AT&T's operation is located at the south end of the existing parking lot and set into the slope. The equipment shelter is approximately 409 square feet in size, which exceeds the size requirements per SDMC section 141.0420(e)(3) limitation of 250 square feet. The existing equipment shelter is a prefabricated structure and houses a significant amount of supporting power and radio equipment inside that minimizes the amount of equipment needing to be physically installed on the tower itself and in public view. The layout of the equipment inside the shelter ensures adequate clear working space for technicians, efficient cooling of the equipment, and space for future technology upgrades that would avoid the need to expand the shelter in the future.

Therefore, the Project, with the approved deviations, complies with the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed site.

The City of San Diego encourages wireless carriers to locate on non-residential properties. A site justification analysis was provided by Crown Castle demonstrating a need for this WCF at this location. According to the justification analysis, without the existing coverage from the existing WCF, the loss of coverage could result in a significant impact to those living, working, and travelling through the surrounding area. In addition, a loss of service could possibly have a significant impact on customers essential services. In this case, a search ring submitted by Crown Castle that indicates this area continue to be a preferred location for providing maximum cellular coverage to the area. While residential zones are a low preference for placement of WCFs, this location is a church facility, which is a non-residential use. Placement of a WCF in non-residential use in a residential zone requires processing of a Conditional Use Permit to ensure the Project complies with the underlying zone regulations.

The design of the Project is consistent with the City's General Plan for wireless facilities and with the WCF regulations as demonstrated by Crown Castle's site justification and Project design, therefore, this Project is appropriate in this location.

B. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

2. Findings for Planned Development Permit:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Conditional Use Permit Finding No. A.1.a. listed above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Conditional Use Permit Finding No. A.1.b. listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

As outlined in Conditional Use Permit Finding No. A.1.c. listed above, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to SDMC section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

C. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0402]

2. Findings for all Neighborhood Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in Conditional Use Permit Finding No. A.1.a. listed above, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in Conditional Use Permit Finding No. A.1.b. listed above, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in Conditional Use Permit Finding No. A.1.c. listed above, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979, and Neighborhood Development Permit No. 2578928 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in

ATTACHMENT 5

Conditional Use Permit No. 2577978, Planned Development Permit No. 2577979, and Neighborhood Development Permit No. 2578928, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on: October 21, 2021

IO#: 11004545

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

Or
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2577978
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2578928
PLANNED DEVELOPMENT PERMIT NO. 2577979
CROWN CASTLE AZUAGA PROJECT NO. 664136
PLANNING COMMISSION

This Conditional Use Permit No. 2577978, Neighborhood Development Permit No. 2578928, and Planned Development Permit No. 2577979 is granted by the Planning Commission of the City of San Diego to Episcopal Diocese of San Diego, Owner, and Crown Castle GT LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0303(c), 126.0602(b) and 141.0402. The 5.32-acre site is located at 10125 Azuaga Street in the RS-1-13 Zone of the Rancho Penasquitos Community Planning. The project site is legally described as Lot 18 of Sunridge Vista Unit No. 2 in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 12380 filed in the office of the County recorder of San Diego County, May 18, 1989.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 21, 2021, on file in the Development Services Department.

The project shall include:

- a. A WCF consisting of an existing 45-foot-tall faux mono-eucalyptus tree with the following:
 1. A maximum of twelve panel antennas with modification to include removal and replacement of three antennas and three Remote Radio Units (RRUs);
 2. A 409-square-foot equipment enclosure; and
 3. The rebranching of an existing faux mono-eucalyptus tree (mono-eucalyptus).
- b. Deviations to include:

1. A 10-foot deviation to the allowed maximum 35-foot height limit pursuant to SDMC section 131.0431, for a total height of 45 feet; and
 2. A deviation to the maximum 250 square-foot size limit of the equipment enclosure pursuant to SDMC section 126.0203(a), for a total size of 409 square-feet.
- c. Three 15-gallon Brisbane Box will be provided around the tower for additional screening with an operational irrigation system to sustain the growth of additional trees/shrub; and
 - d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by November 1, 2024.
2. This Permit and corresponding use of this site shall expire on November 14, 2031. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of the initial permit for this facility unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this Permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this Permit approval beyond the expiration date of this Permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge,

or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

14. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the public right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved in writing by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

15. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy, whichever is later.

PLANNING/DESIGN REQUIREMENTS:

16. A topographical survey conforming to the provisions of the SDMC may be required if it is determined by the Development Services Department, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

17. Every aspect of this project approval is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modifications to this Permit must not defeat concealment.

18. No overhead cabling is permitted.

19. The WCF shall conform to the approved construction plans.

20. Photo simulations shall be printed in color on the construction plans.

21. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.
22. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.
23. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
24. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
25. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

FAUX TREES REQUIREMENTS:

26. All proposed hand-holes shall be covered with bark material to match the mono-eucalyptus trunk to the satisfaction of the Development Services Department.
27. Crown castle should add faux and live landscaping around the base of the tower to provide a natural-looking screen of the cable shroud (a necessary component of the tree stability), since the mono-eucalyptus is located on the slope. Additional landscaping on the slope should sufficiently screen the shroud to the satisfaction of the Development Services Department.
28. All branches at the antenna level shall extend a minimum of 24-inches beyond the entire vertical face of the proposed antennas to the satisfaction of the Development Services Department.
29. Starting branch height shall be no higher than 10-feet, as illustrated on the stamped, approved Exhibit "A."
30. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
31. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on October 21, 2021 and Resolution No. XXXXXXXXX.

ATTACHMENT 6

Permit Type/PTS Approval No.: CUP No. 2577978
PDP No. 2577979

NDP No. 2578928
Date of Approval: October 21, 2021

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

St. Timothy's Church
Owner

By _____
NAME:
TITLE:

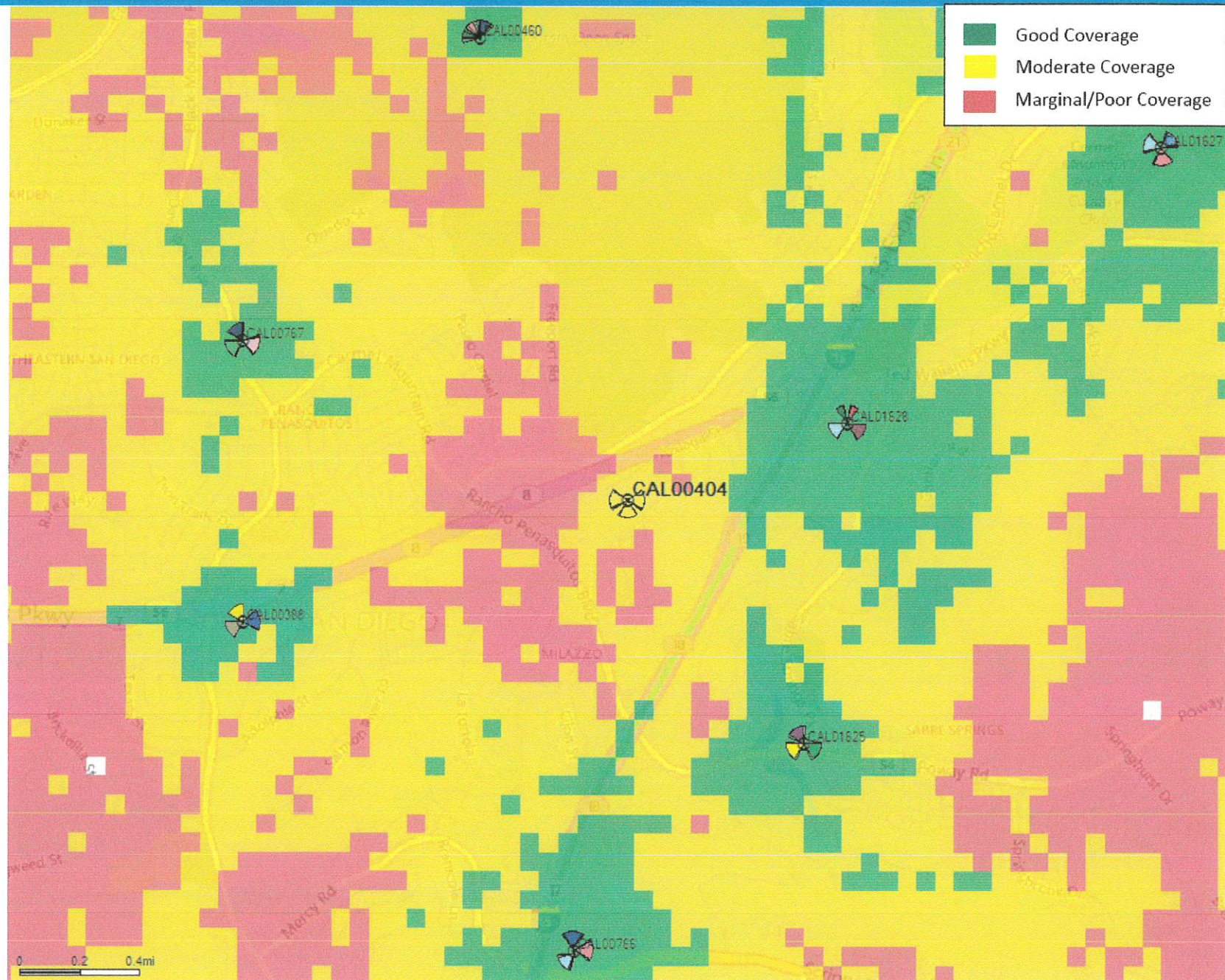
Crown Castle GT Company, LLC
Permittee

By _____
NAME:
TITLE:

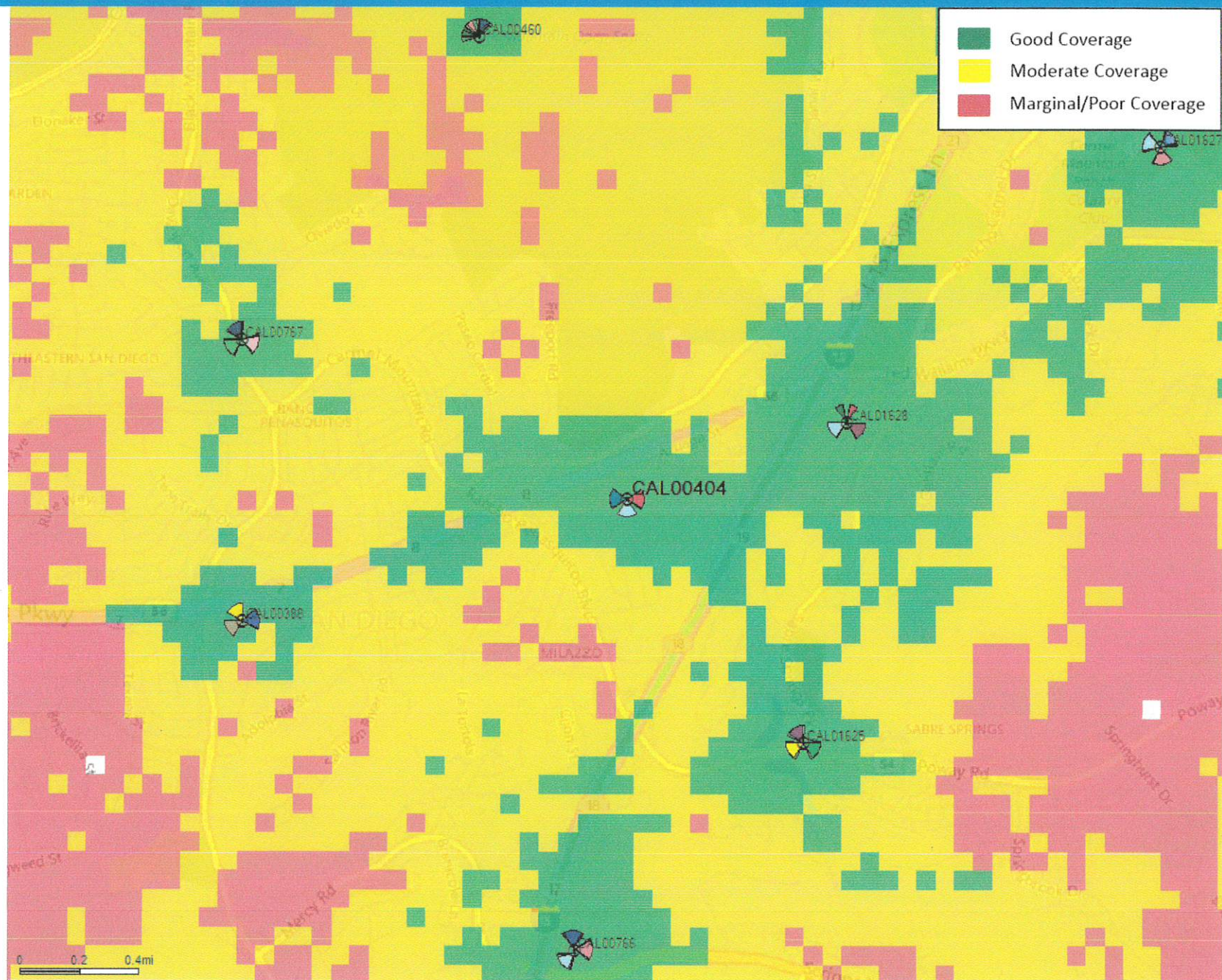
**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

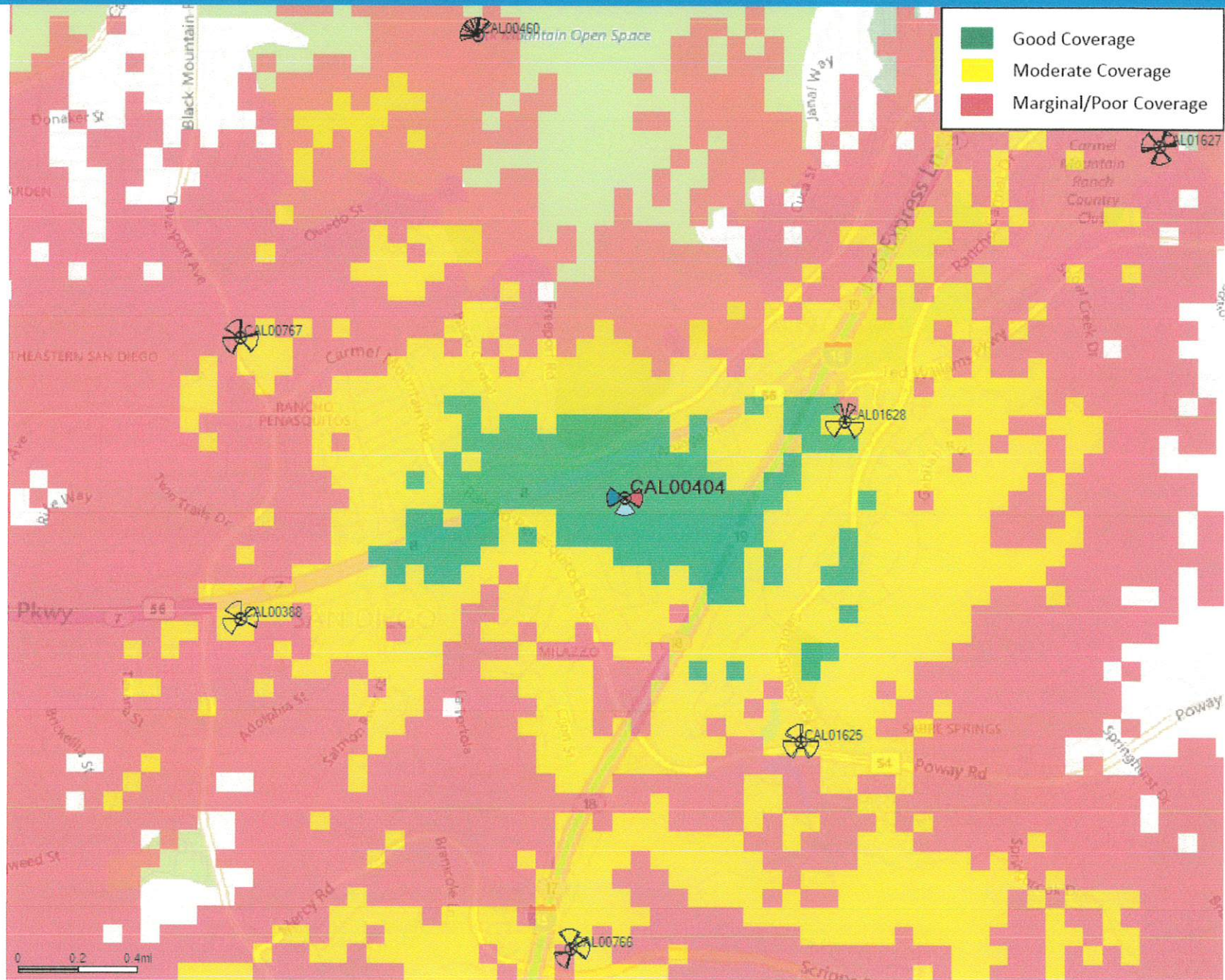
San Diego CAL00404 Coverage Maps January 31st, 2020





Coverage With CAL00404





NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: ☒ RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

☐ OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 664136

Project Title: Crown Castle Azuaga

PROJECT LOCATION-SPECIFIC: The project is located at 10125 Azuaga Street, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego


DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Planned Development Permit (PDP) and Conditional Use Permit (CUP) for the continuing operation of an existing Wireless Communication Facility (WCF) facility consisting of twelve antennas located on a 45-foot-tall mono-eucalyptus tree. Associated equipment is located inside an enclosure. The project site is within the RS-1-13 zone. The WCF is unmanned and technicians would visit the site only as required for routine maintenance and repairs.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: John and Debra Gardner- Jamul CA 91935. (619) 726-8110.

EXEMPT STATUS: (CHECK ONE)

- ☐ MINISTERIAL (SEC. 21080(b)(1); 15268);
- ☐ DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- ☐ EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- ☒ CATEGORICAL EXEMPTION: 15301 (Existing Facilities)
- ☐ STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities). Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. Since the project would only permit the continual operation of an existing WCF the exemption was deemed appropriate. The project is located on a developed site and no construction is being proposed and no environmental impacts would occur. None of the exceptions described in CEQA Guidelines Section 15300.2 apply.

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	Ownership Disclosure Statement	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Crown Penasquitos **Project No. For City Use Only:** _____

Project Address: 10125 Azuaga Street, San Diego CA 92129

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: St. Timothy's Episcopal Church ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 10125 Azuaga St

City: San Diego CA 92129 State: _____ Zip: _____

Phone No.: 858-538-1267 Fax No.: _____ Email: _____

Signature: [Signature] Date: 3/10/2020

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Debra D Gardner, agent for Crown ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency

Street Address: 13948 Calle Bueno Ganar

City: Jamul State: CA Zip: 91935

Phone No.: 619-726-3110 Fax No.: 619-669-0955 Email: ddgardner@depratone.com

Signature: [Signature] Date: 10-28-19

Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: Crown Castle ☐ Owner ☒ Tenant/Lessee ☐ Successor Agency

Street Address: 200 Spectrum Center Dr Suite 1700


City: Irvine State: CA Zip: 92618

Phone No.: 949-930-4360 Fax No.: _____ Email: jim.lee@crowncastle.com

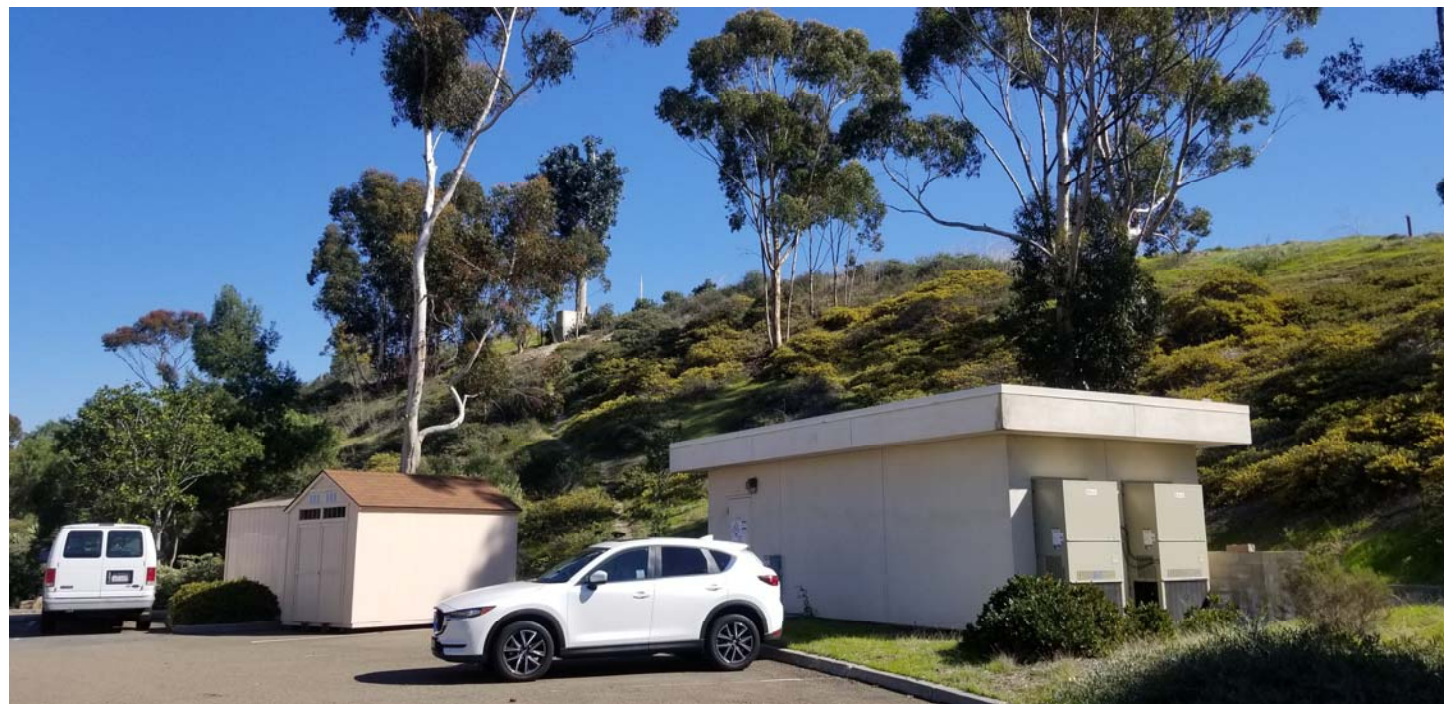
Signature: [Signature] Date: 10-28-19

Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services
 Upon request, this information is available in alternative formats for persons with disabilities.

Page 3		City of San Diego • Information Bulletin 620	May 2020		
		Community Planning Committee Distribution Form			
Project Name: Crown Castle		Project Number: PTS/CUP 664136			
Community: Rancho Penasquitos					
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>					
<input type="checkbox"/> Vote to Approve <input checked="" type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny					
# of Members Yes 15	# of Members No 0	# of Members Abstain 0			
Conditions or Recommendations: 1) Additional irrigation: Crown Castle will work with the property owner to install an operational irrigation system to sustain the growth of the addition trees and shrubs. 2) Additional tree planting: 3 (15 gallon) - Brisbane Box will be provided around the tower for screening.					
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)					
NAME: Jon Becker					
TITLE: Chair		DATE: January 12, 2021			
<i>Attach additional pages if necessary (maximum 3 attachments).</i>					

BU 815649 Azuaga Project No 664136 additional photos- Views of the equipment shelter



BU 815649 Azuaga Project No 664136 additional photos- Views of the equipment shelter



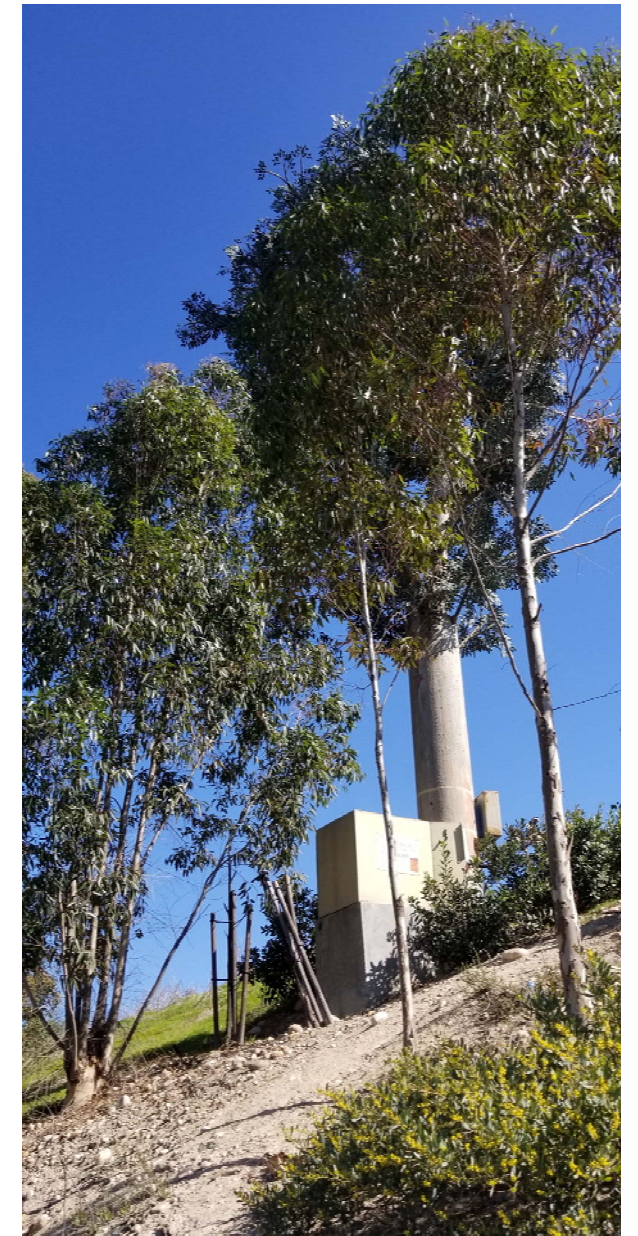
View of East side of tree



View of South side of tree



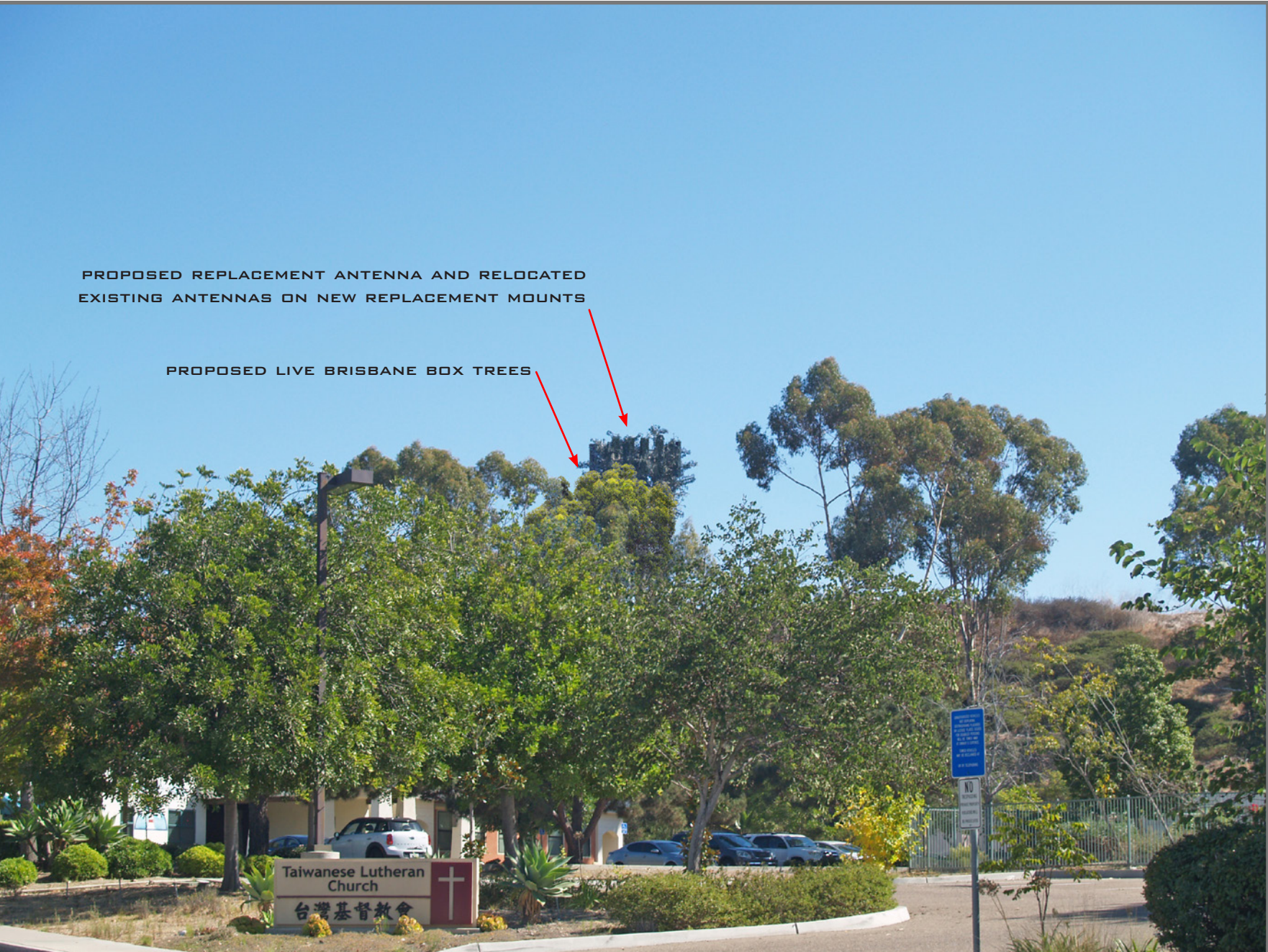
View of East side of tree



View of North side of tree



EXISTING

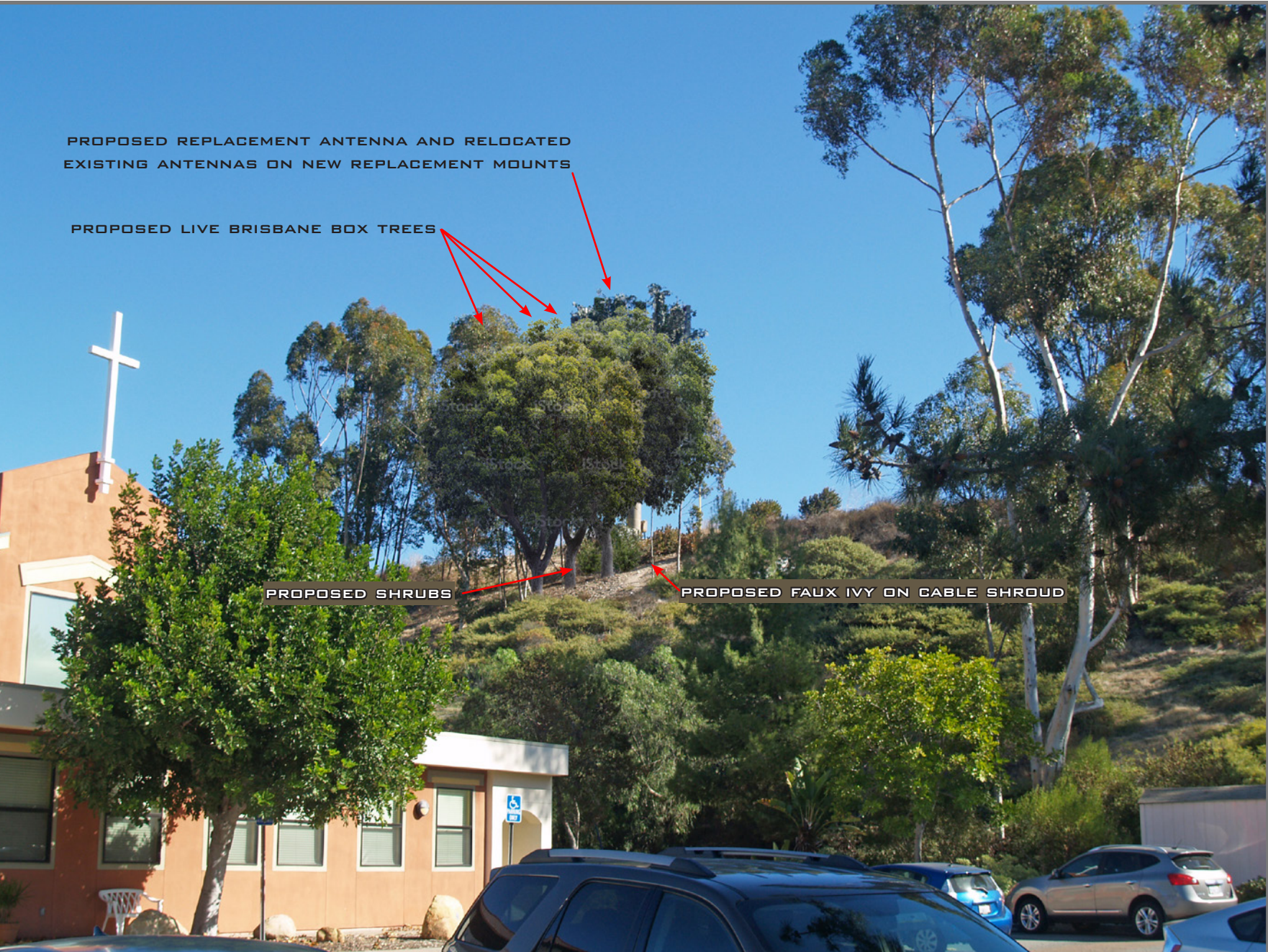


PROPOSED

LOOKING SOUTHEAST FROM AZUAGA STREET



EXISTING



PROPOSED

LOOKING SOUTHEAST FROM PARKING LOT



©2020 Google Maps



EXISTING



EXISTING EQUIPMENT SHELTER

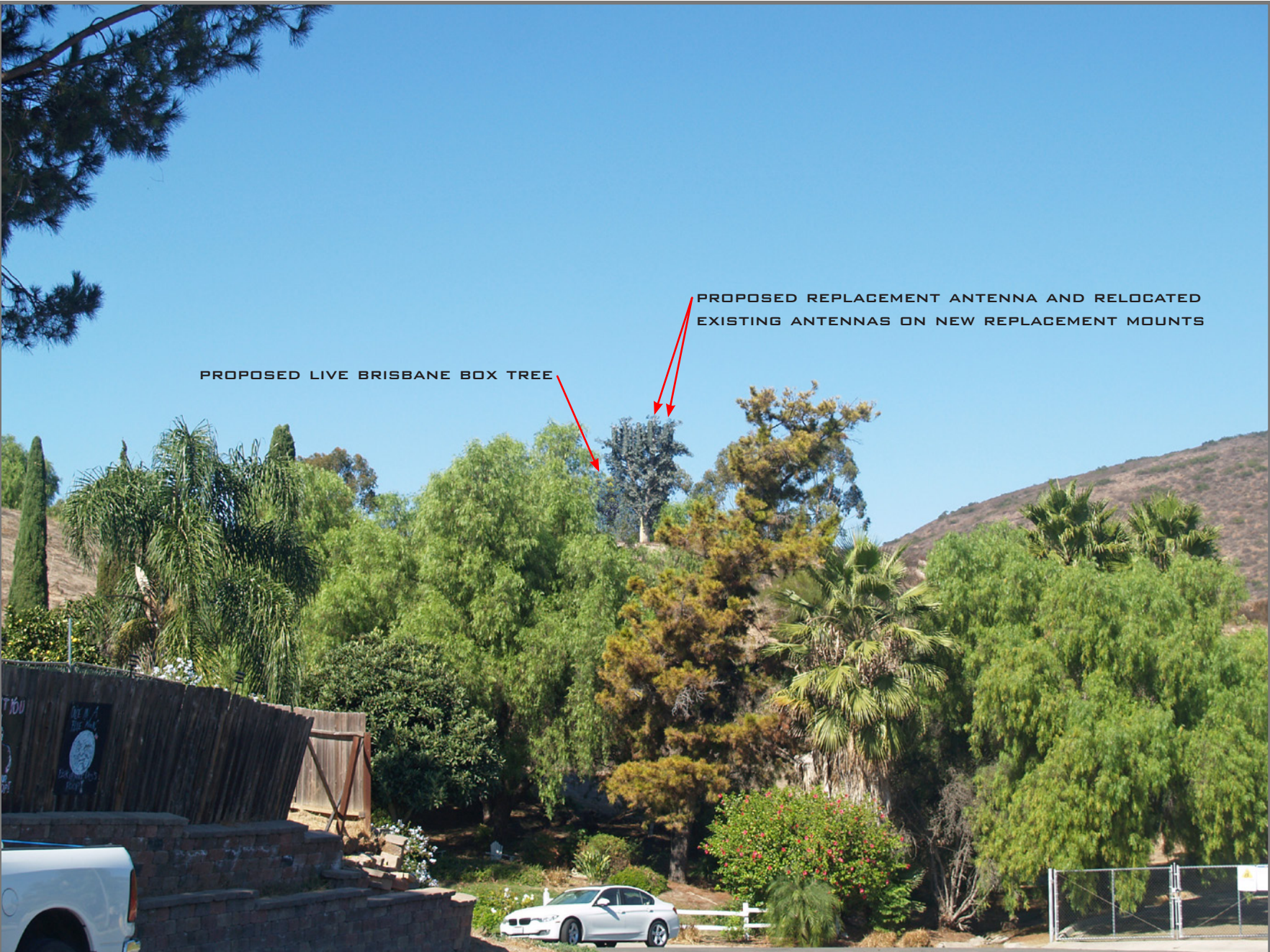
PROPOSED LANDSCAPING

PROPOSED

LOOKING SOUTH FROM PARKING LOT



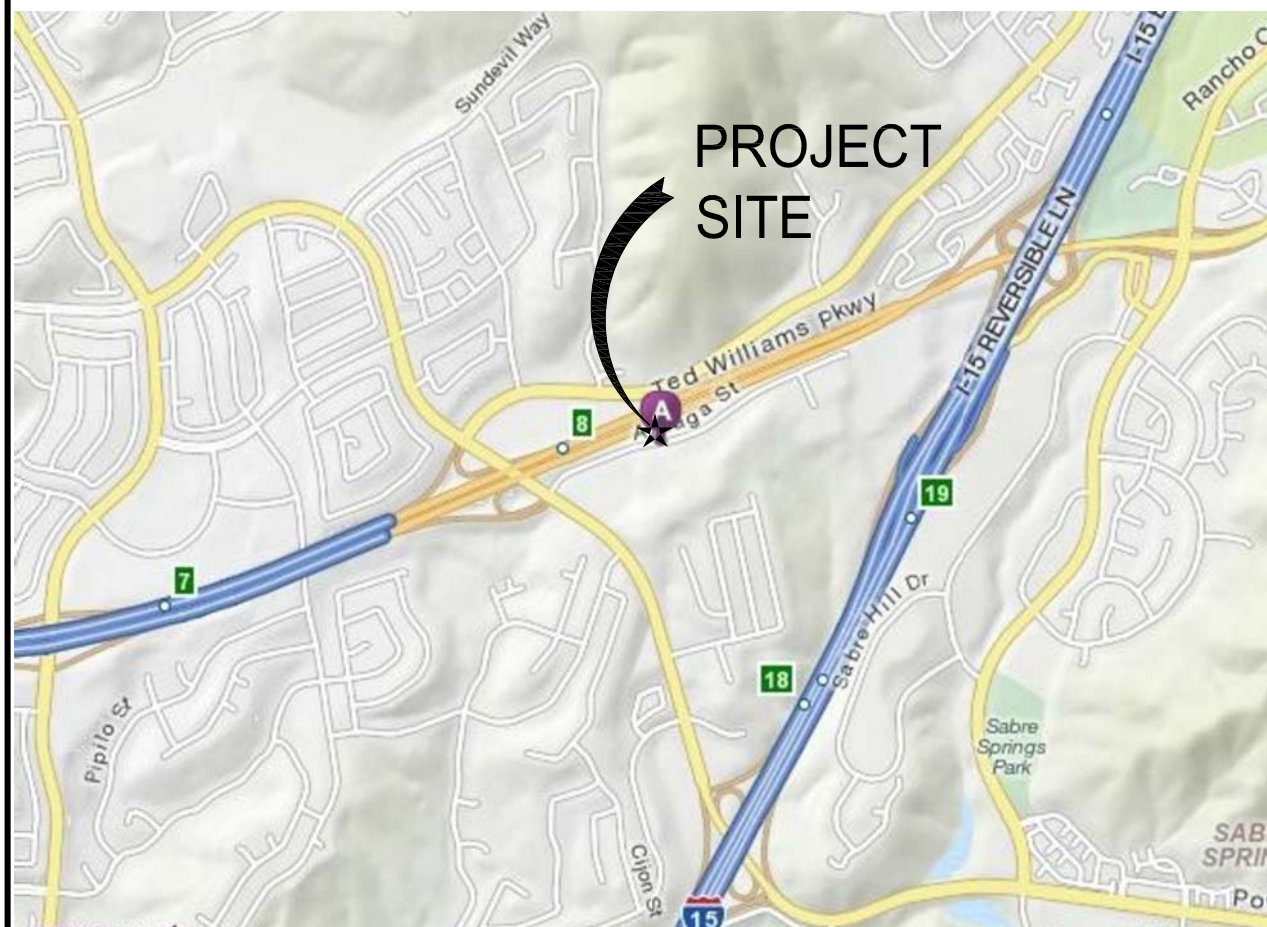
EXISTING



PROPOSED

LOOKING NORTHWEST FROM AVENIDA GRANDE

PENASQUITOS
BU# 815649
SD0404
10125 AZUAGA STREET
SAN DIEGO, CA 92129



VICINITY MAP

START OUT FROM CROWN CASTLE
FROM THE I-5 SOUTH
TAKE THE CARMEL VALLEY RD. EXIT, EXIT 33, TOWARD CA-56 E
TURN LEFT ONTO CARMEL VALLEY RD.
MERGE ONTO TED WILLIAMS PKWY / CA-56 E
TAKE THE RANCHO PENASQUITOS BLVD EXIT, EXIT 8
TURN SLIGHT RIGHT ONTO AZUAGA ST.
10125 AZUAGA ST. IS ON THE RIGHT

SITE DIRECTIONS

PROJECT DESCRIPTION

PROJECT SUMMARY

PROJECT TEAM

UTILITY PROVIDERS

- ## CODE COMPLIANCE

SHEET	DESCRIPTION	ISSUE LEVEL
T1	TITLE SHEET	3
A1	SITE PLAN	3
A2	ENLARGED SITE PLANS	3
A3	(E) EQUIPMENT & (N) EQUIPMENT LAYOUT PLANS	3
A4	(E) ANTENNA & (N) ANTENNA LAYOUT PLANS	3
A5	ELEVATIONS	3
A6	ELEVATIONS	3
7	SHEETS TOTAL	ISSUED FOR: ZD RENEWAL

SHEET INDEX

JURISDICTION: CITY OF SAN DIEGO

DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR NOTES



ZONING RENEWAL

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

△	DATE:	DESCRIPTION:	BY:
A	01/20/20	90% ZD RENEWAL	HH
0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH
3	09/27/21	PLANNING COMMENTS 9-23-21	HH

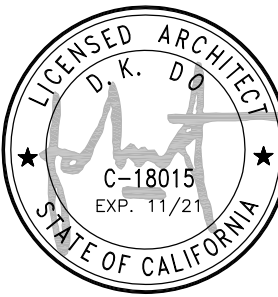
TITLE SHEET

SHEET NUMBER:	ISSUE LEVEL:
T1	
	PENASQUITOS 815649



DCI PACIFIC
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
26 EXECUTIVE PARK | SUITE 170
IRVINE | CA 92614



PROJECT IDENTIFICATION:

815649
PENASQUITOS
SD0404

10125 AZUAGA STREET
SAN DIEGO, CA 92129

CURRENT ISSUE DATE:

10/12/20

ISSUED FOR:

ZONING RENEWAL

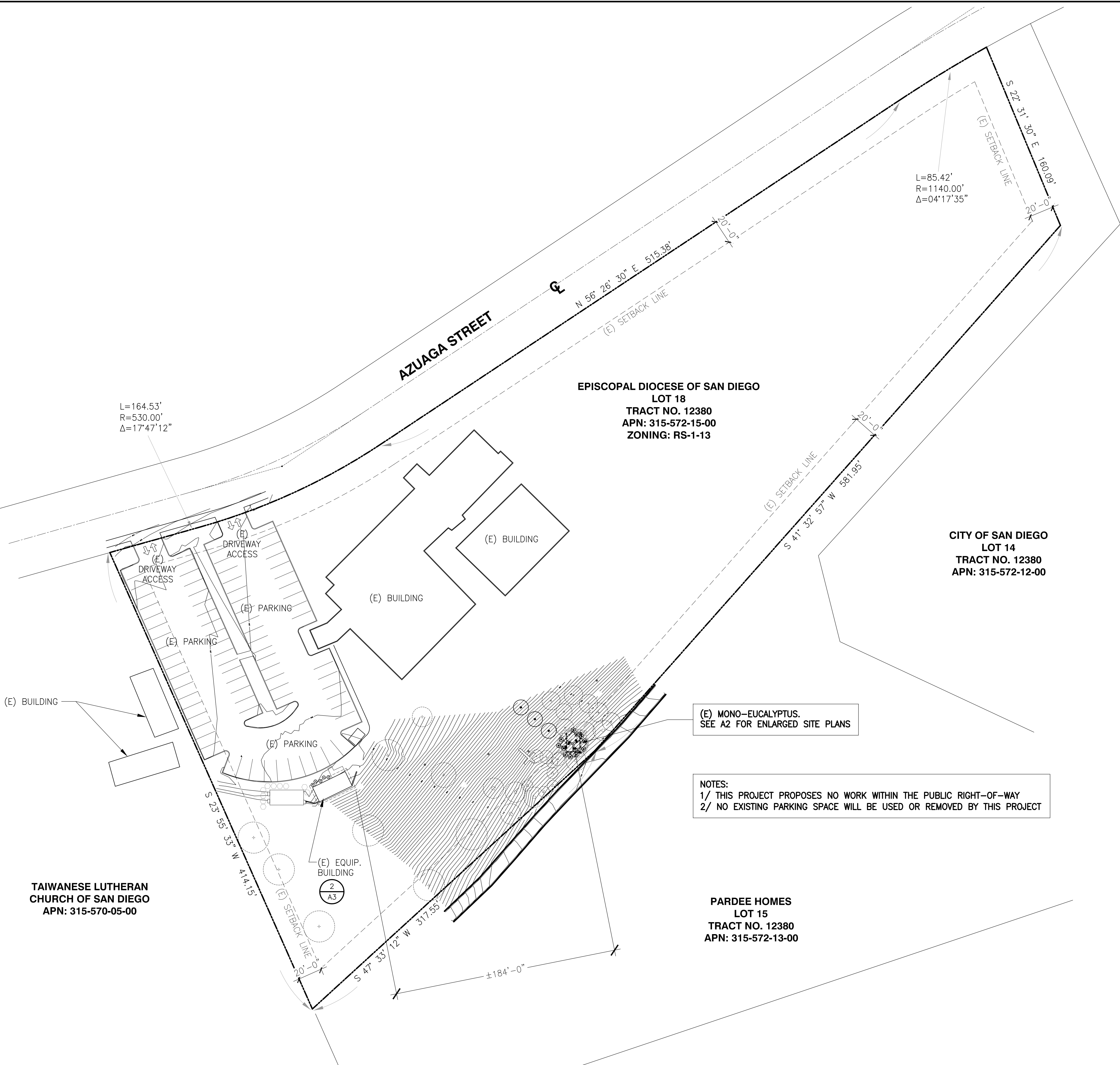
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HH	BOK	DKD

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
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0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH
3	09/27/21	PLANNING COMMENTS 9-23-21	HH

SHEET TITLE:
SITE PLAN

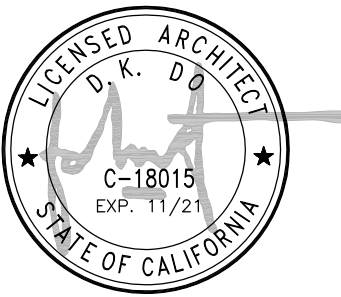
SHEET NUMBER:	ISSUE LEVEL:
A1	PENASQUITOS 815649





DCI PACIFIC
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
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PROJECT IDENTIFICATION:

815649
PENASQUITOS
SD0404

10125 AZUAGA STREET
SAN DIEGO, CA92129

CURRENT ISSUE DATE:

10/12/20

ISSUED FOR:

ZONING RENEWAL

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
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0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH
3	09/27/21	PLANNING COMMENTS 9-23-21	HH

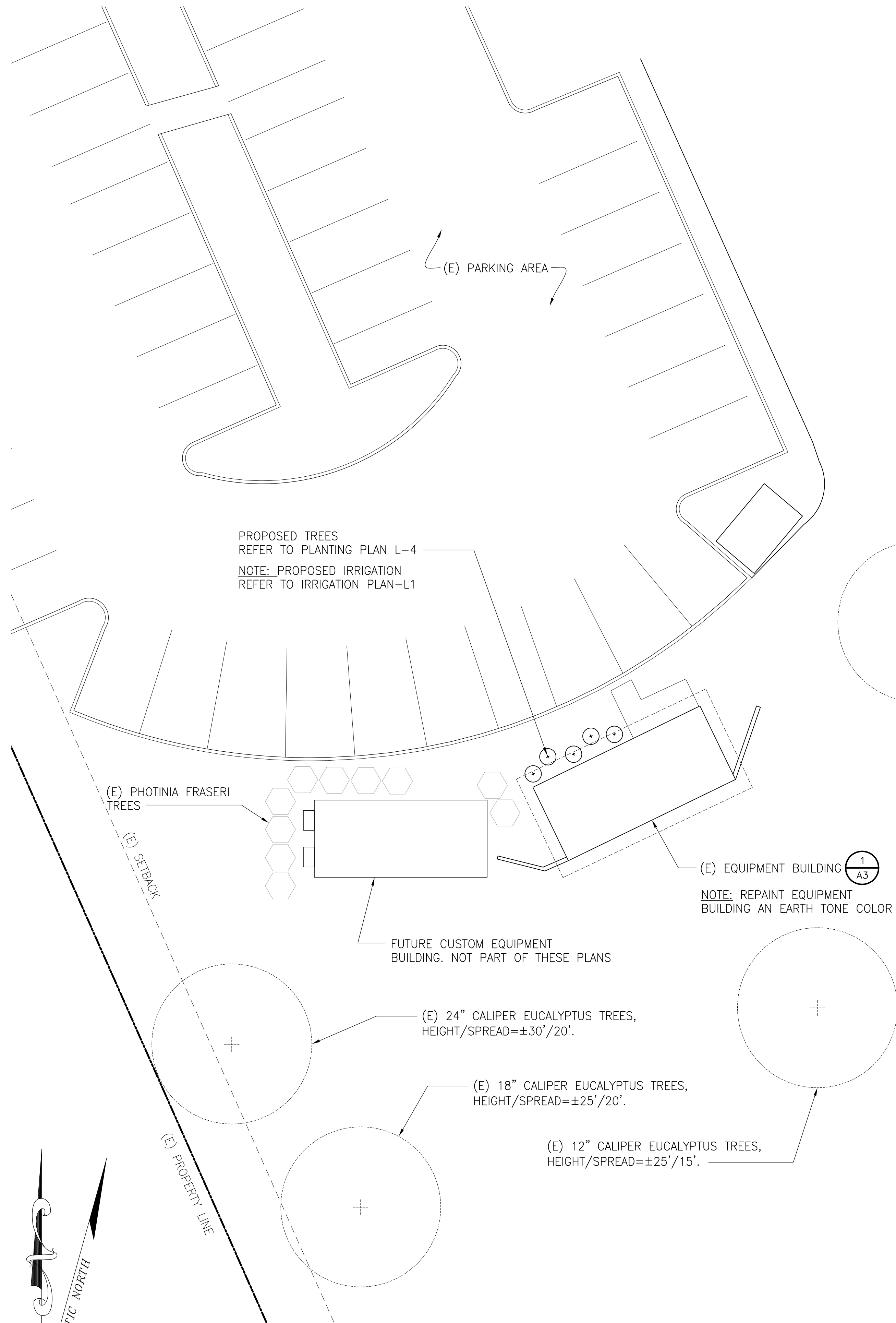
SHEET TITLE:

ENLARGED SITE PLANS

SHEET NUMBER: ISSUE LEVEL:

A2

PENASQUITOS
815649



ENLARGED SITE PLAN AT EQUIPMENT BUILDING

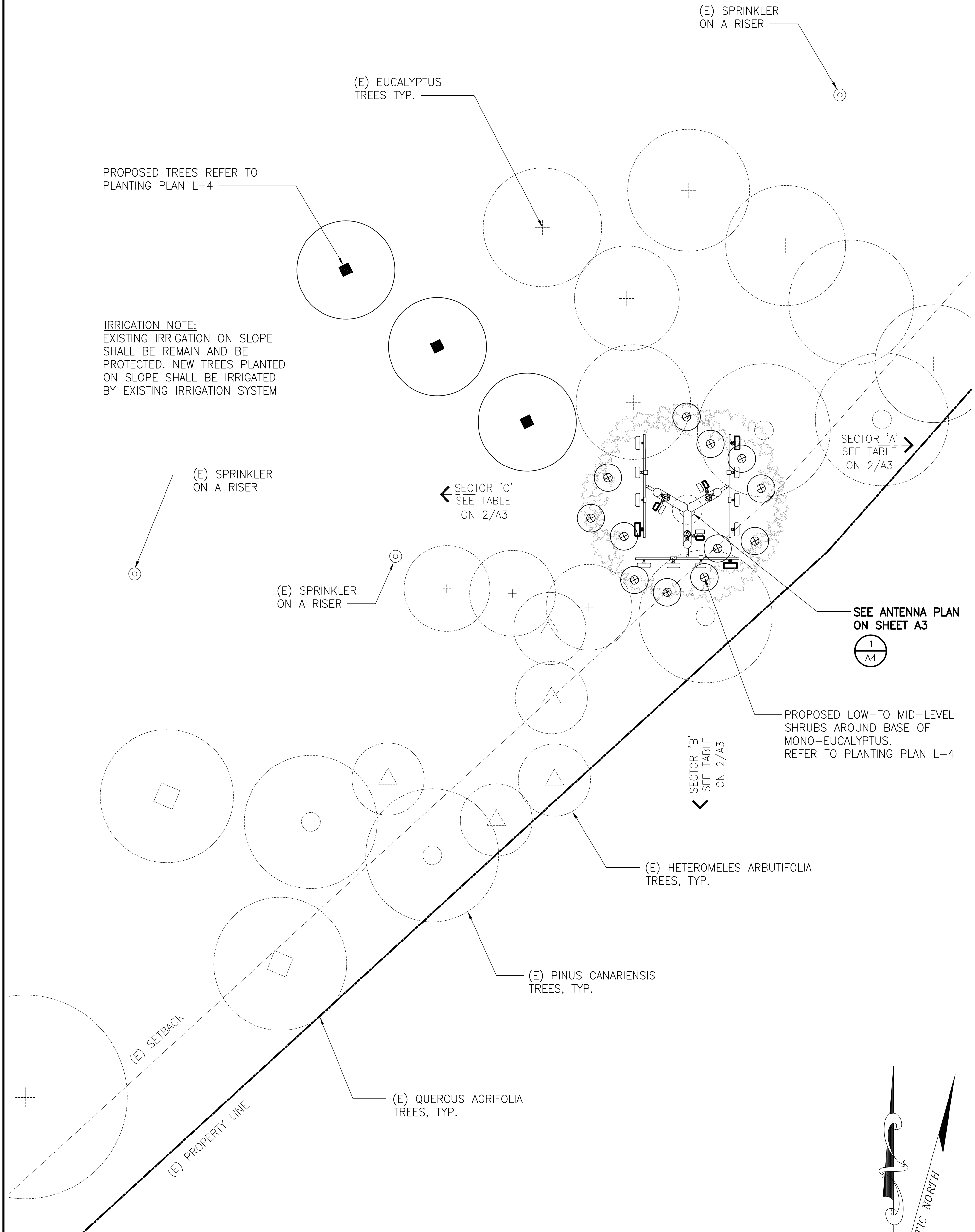


SCALE:
3/32"=1'-0"



2

ENLARGED SITE PLAN AT MONO-EUCALYPTUS AREA



SCALE:
1/8"=1'-0"

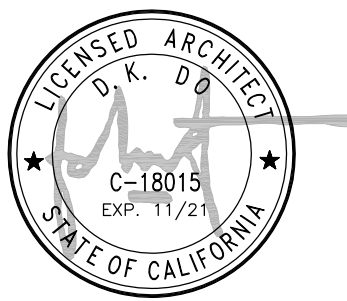


1



DCI PACIFIC
AIEIC WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
26 EXECUTIVE PARK | SUITE 170
IRVINE | CA 92614



PROJECT IDENTIFICATION:

815649
PENASQUITOS
SD0404

10125 AZUAGA STREET
SAN DIEGO, CA92129

CURRENT ISSUE DATE:

10/12/20

ISSUED FOR:

ZONING RENEWAL

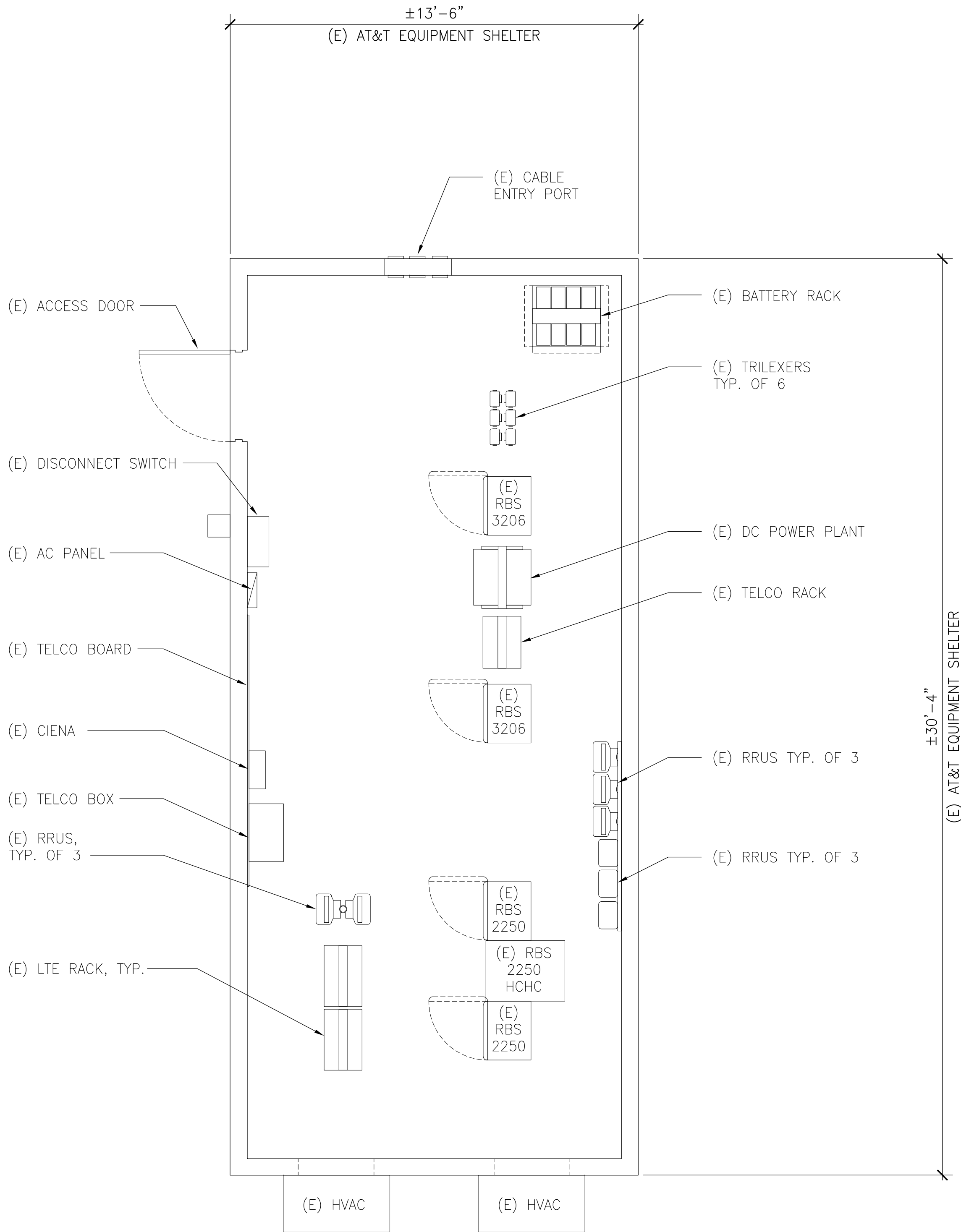
DRAWN BY:	CHK:	APV:
HH	BOK	DKD

ISSUE STATUS:			
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0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH
3	09/27/21	PLANNING COMMENTS 9-23-21	HH

SHEET TITLE:

**(E) EQUIPMENT & (N)
EQUIPMENT LAYOUT PLANS**

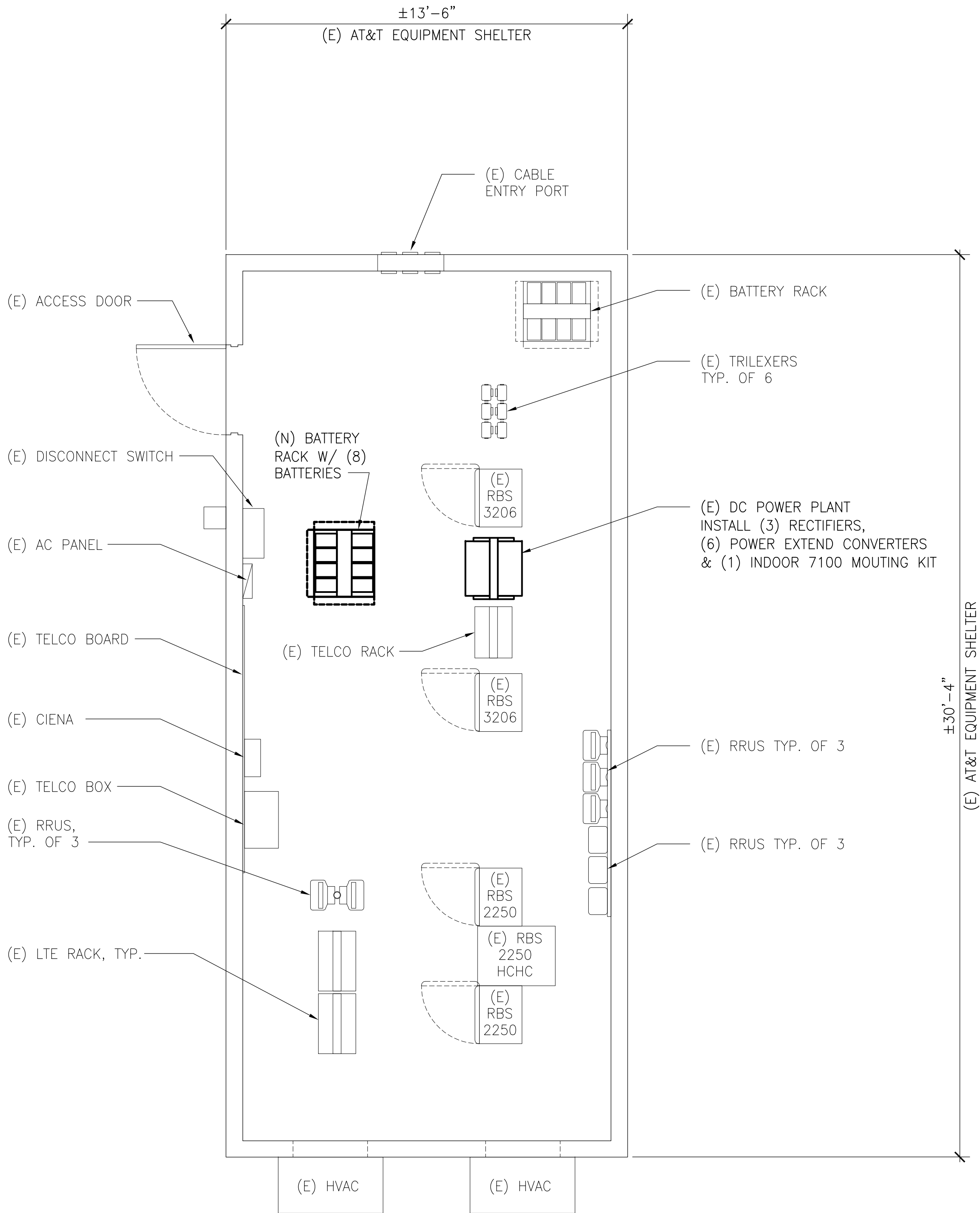
SHEET NUMBER:	ISSUE LEVEL:
A3	PENASQUITOS 815649



(E) EQUIPMENT LAYOUT PLAN

SCALE: 3/8"=1'-0"

2



(N) EQUIPMENT LAYOUT PLAN

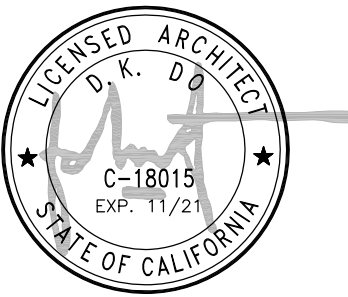
SCALE: 3/8"=1'-0"

1



DCI PACIFIC
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
26 EXECUTIVE PARK | SUITE 170
IRVINE | CA 92614



PROJECT IDENTIFICATION:

815649
PENASQUITOS
SD0404

10125 AZUAGA STREET
SAN DIEGO, CA92129

CURRENT ISSUE DATE:

10/12/20

ISSUED FOR:

ZONING RENEWAL

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

ISSUE STATUS:

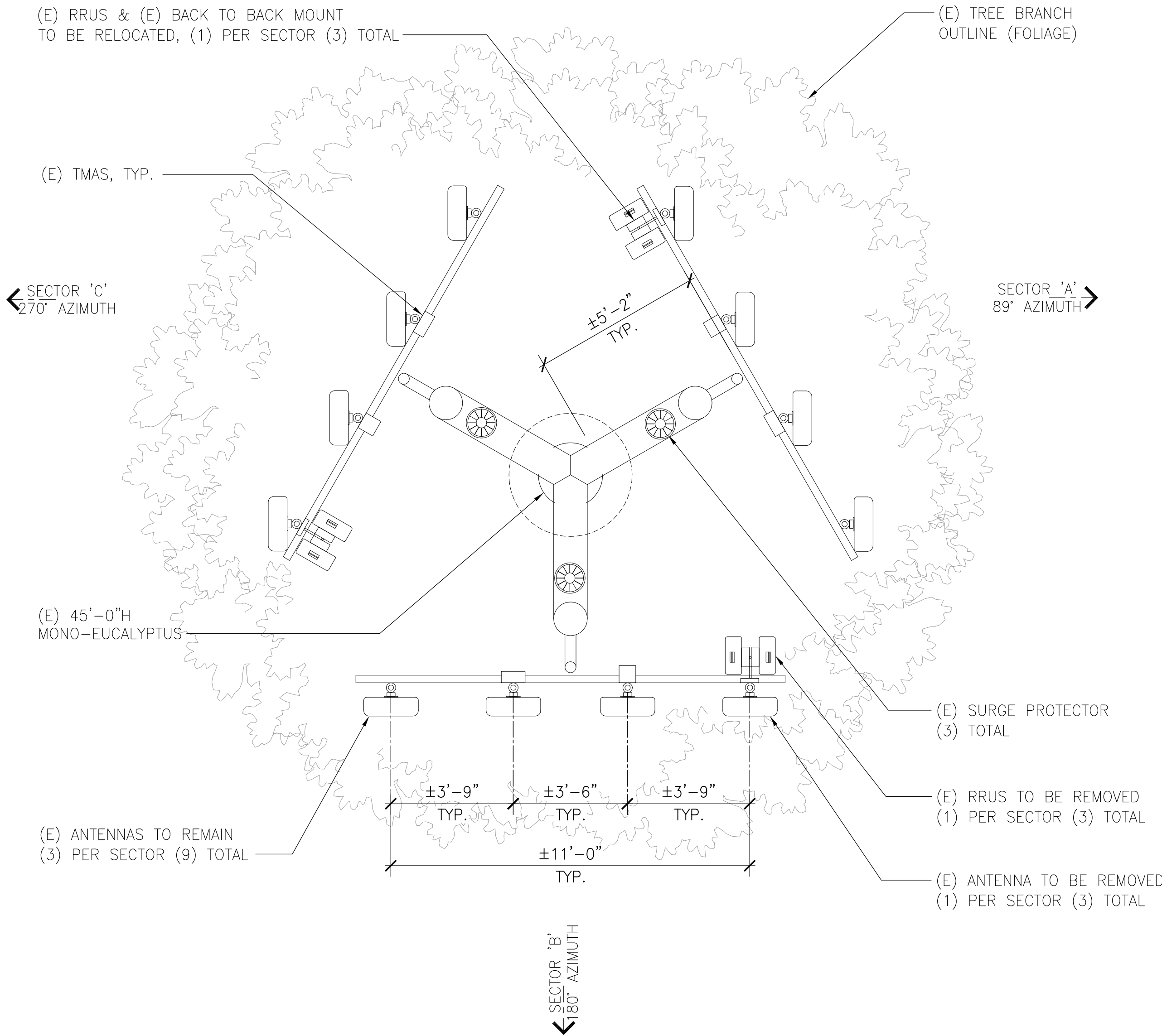
△	DATE:	DESCRIPTION:	BY:
A	01/20/20	90% ZD RENEWAL	HH
0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH
3	09/27/21	PLANNING COMMENTS 9-23-21	HH

SHEET TITLE:

**(E) ANTENNA & (N)
ANTENNA LAYOUT PLANS**

SHEET NUMBER:	ISSUE LEVEL:
A4	
	PENASQUITOS 815649

EXISTING EQUIPMENT SCHEDULE (VERIFY WITH CURRENT RFDS)																			
ALPHA																			
POSITION	ANTENNA				RADIO			DIPLEXER			TMA		SURGE PROTECTION		CABLES				
	TECH	STATUS/MANUFACTURER MODEL	AZIMUTH	RAD CENTER	QTY	STATUS/MODEL	LOCATION	QTY	STATUS	LOCATION	QTY	STATUS	QTY	STATUS/MODEL	QTY	STATUS/TYPE	SIZE	LENGTH	
A1	OTHER	(E) CCI XDUC-4 65	92°	35.5	-	-	-	-	-	-	-	-	1	(E) DC6-45-60-15-8F	2	(E) POWER	3/4"	-	
A2	UMTS/ LTE	(E) KATHREIN 80010966K	89°	35.5	1	(E) 4478 B14	GROUND	(2)	(E) 78210707	GROUND	(1)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	
					1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-		
A3	LTE	(E) KATHREIN 80010966K	89°	35.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
A4	LTE	(E) COMMSCOPE SBNH-H-1D65C	88°	35.5	1	(E) RRU5-11 B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-		
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-		
BETA																			
B1	OTHER	(E) CCI XDUC-4 65	180°	35.5	-	-	-	-	-	-	-	-	1	(E) DC6-45-60-15-8F	2	(E) POWER	3/4"	-	
B2	UMTS/ LTE	(E) KATHREIN 80010966K	180°	35.5	1	(E) 4478 B14	GROUND	(2)	(E) 78210707	GROUND	(2)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	
					1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-		
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-		
B3	LTE	(E) KATHREIN 80010966K	180°	35.5	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
B4	LTE	(E) COMMSCOPE SBNH-H-1D65C	180°	35.5	1	(E) RRU5-11 B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-		
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-		
GAMMA																			
C1	OTHER	(E) CCI XDUC-4 65	270°	35.5	1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	1	(E) DC6-45-60-15-8F	2	(E) POWER	3/4"	-	
C2	UMTS/ LTE	(E) KATHREIN 80010966K	270°	35.5	1	(E) RRU5-32 B30	TOWER	(2)	(E) 78210707	GROUND	(1)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	
					1	(E) 4478 B14	GROUND	-	-	-	-	-	-	-	-	-	-		
C3	LTE	(E) KATHREIN 80010966K	270°	35.5	1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-	-	
					1	(E) 4478 B14	TOWER	-	-	-	-	-	-	-	-	-	-		
C4	LTE	(E) COMMSCOPE SBNH-H-1D65C	270°	35.5	1	(E) RRU5-11 B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-		

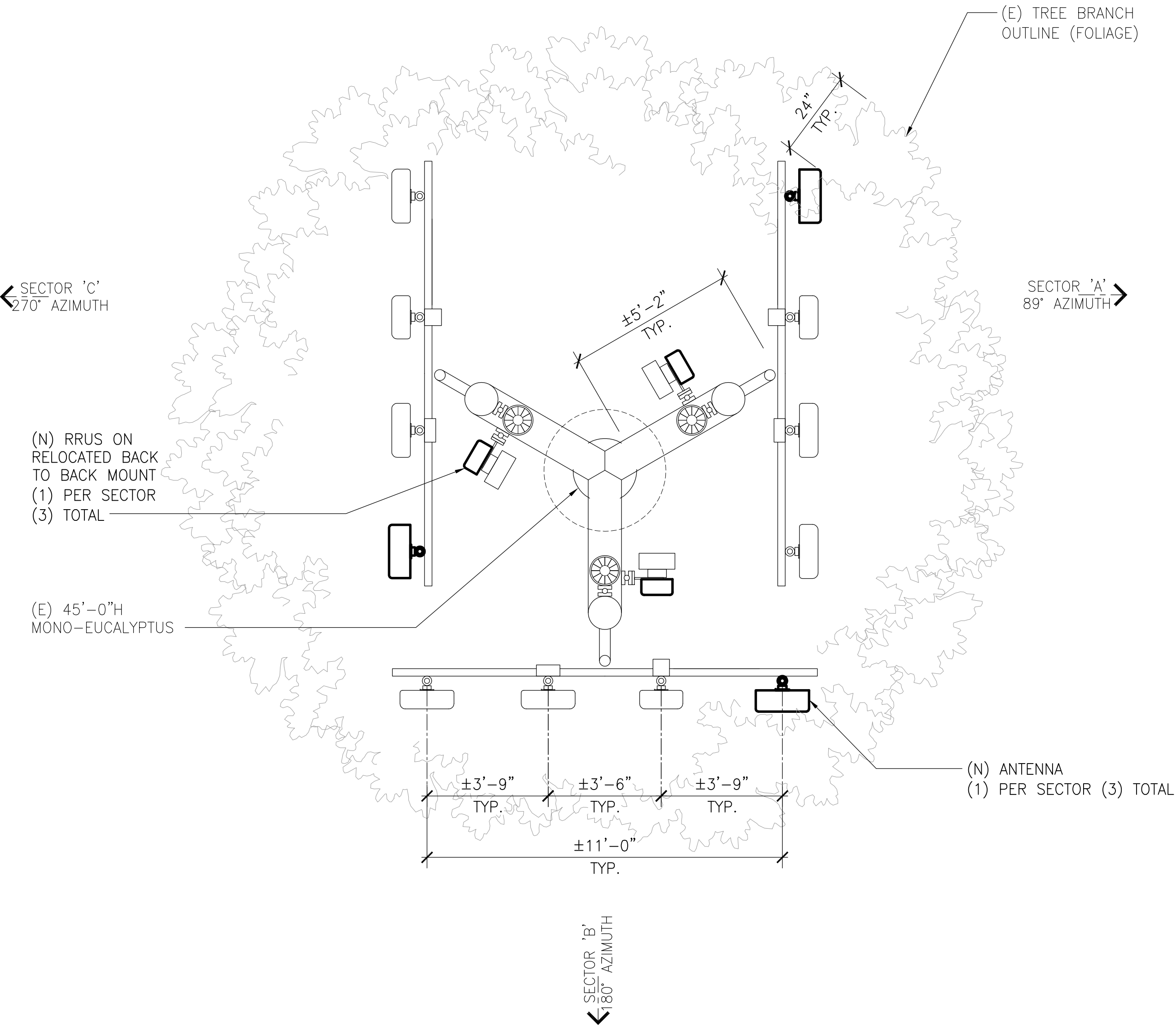


(E) ANTENNA LAYOUT PLAN



2

FINAL EQUIPMENT SCHEDULE (VERIFY WITH CURRENT RFDS)																					
ALPHA		ANTENNA				RADIO				DIPLEXER				TMA		SURGE PROTECTION		CABLES			
POSITION	TECH	STATUS/MANUFACTURER MODEL	AZIMUTH	RAD CENTER	QTY	STATUS/MODEL	LOCATION	QTY	STATUS	LOCATION	QTY	STATUS	LOCATION	QTY	STATUS	QTY	STATUS/MODEL	QTY	STATUS/TYPE	SIZE	LENGTH
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A2	UMTS/ LTE	(E) KATHREIN 80010966K	89°	35.5	1	(E) 4478 B14	GROUND	(2)	(E) 78210707	GROUND	(1)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	-	-	-
A3	LTE	(E) KATHREIN 80010966K	89°	35.5	1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-
A4	LTE	(N) COMMSCOPE NHHH-65C-R4	88°	35.5	1	(N) 4449 B5B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-
BETA																					
B1	OTHER	(E) CCI XD00-4 65	180°	35.5	-	-	-	-	-	-	-	-	-	-	-	1	(E) DC6-45-60-15-8F	2	(E) POWER	3/4"	-
B2	UMTS/ LTE	(E) KATHREIN 80010966K	180°	35.5	1	(E) 4478 B14	GROUND	(2)	(E) 78210707	GROUND	(2)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	-	-	-
B3	LTE	(E) KATHREIN 80010966K	180°	35.5	1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-
B4	LTE	(N) COMMSCOPE NHHH-65C-R4	180°	35.5	1	(N) 4449 B5B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-
GAMMA																					
C1	OTHER	(E) CCI XD00-4 65	270°	35.5	-	-	-	-	-	-	-	-	-	-	-	1	(E) DC6-45-60-15-8F	2	(E) POWER	3/4"	-
C2	UMTS/ LTE	(E) KATHREIN 80010966K	270°	35.5	1	(E) 4478 B14	GROUND	(2)	(E) 78210707	GROUND	(1)	(E) TMA11921 B68-21-43	-	-	-	-	-	-	-	-	-
C3	LTE	(E) KATHREIN 80010966K	270°	35.5	1	(E) 4426 B66	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-
C4	LTE	(N) COMMSCOPE NHHH-65C-R4	270°	35.5	1	(N) 4449 B5B12	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) 4415 B25	TOWER	-	-	-	-	-	-	-	-	-	-	-	-	-	-
					1	(E) RRU5-32 B30	GROUND	-	-	-	-	-	-	-	-	-	-	-	-	-	-



(N) ANTENNA LAYOUT PLAN

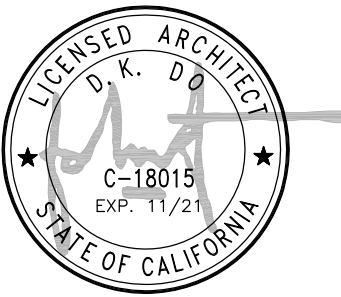


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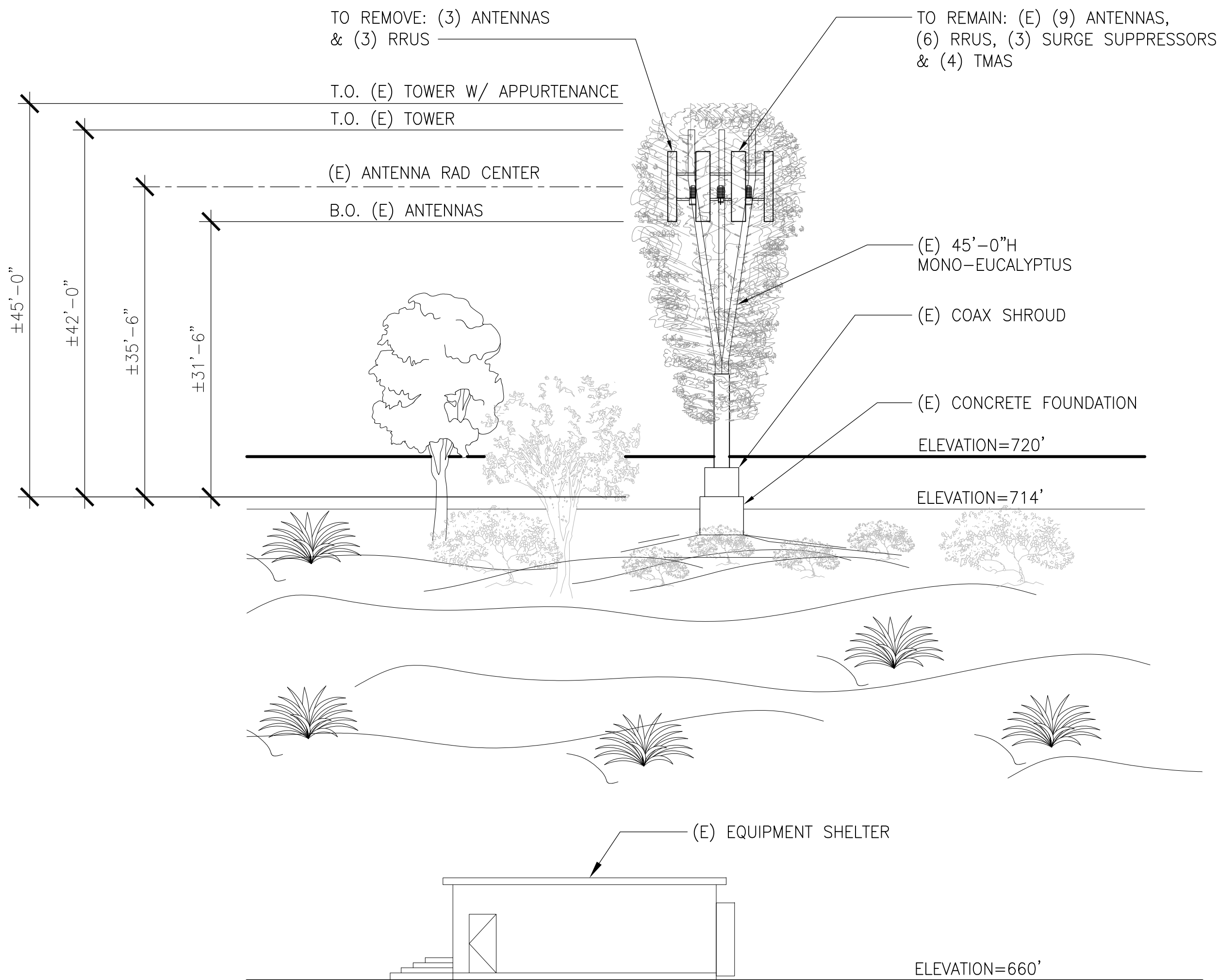
ELEVATIONS

SHEET NUMBER:

A5

ISSUE LEVEL:

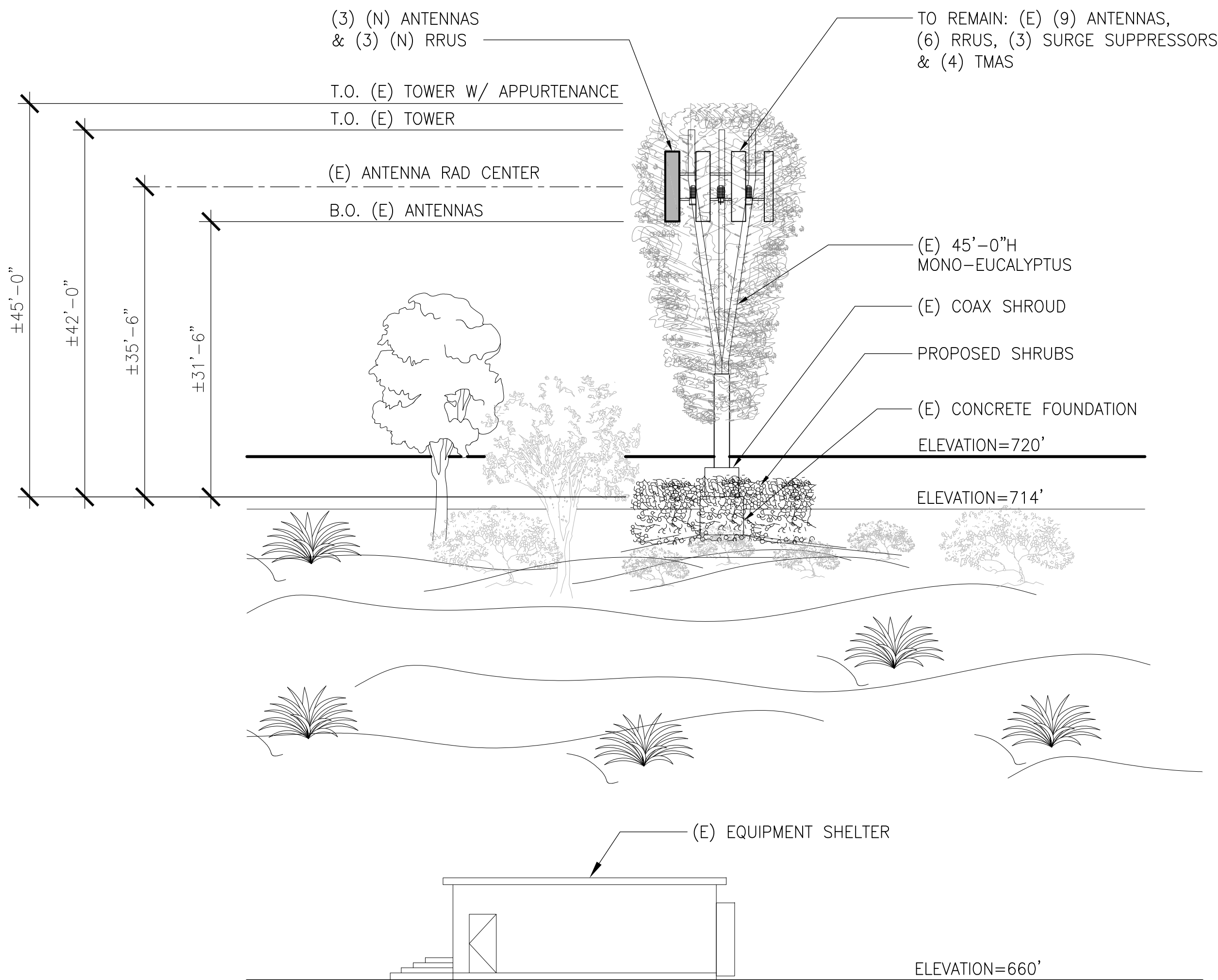
PENASQUITOS
815649



(E) NORTH ELEVATION

SCALE: 3/32"=1'-0"
0 4' 8' 12'

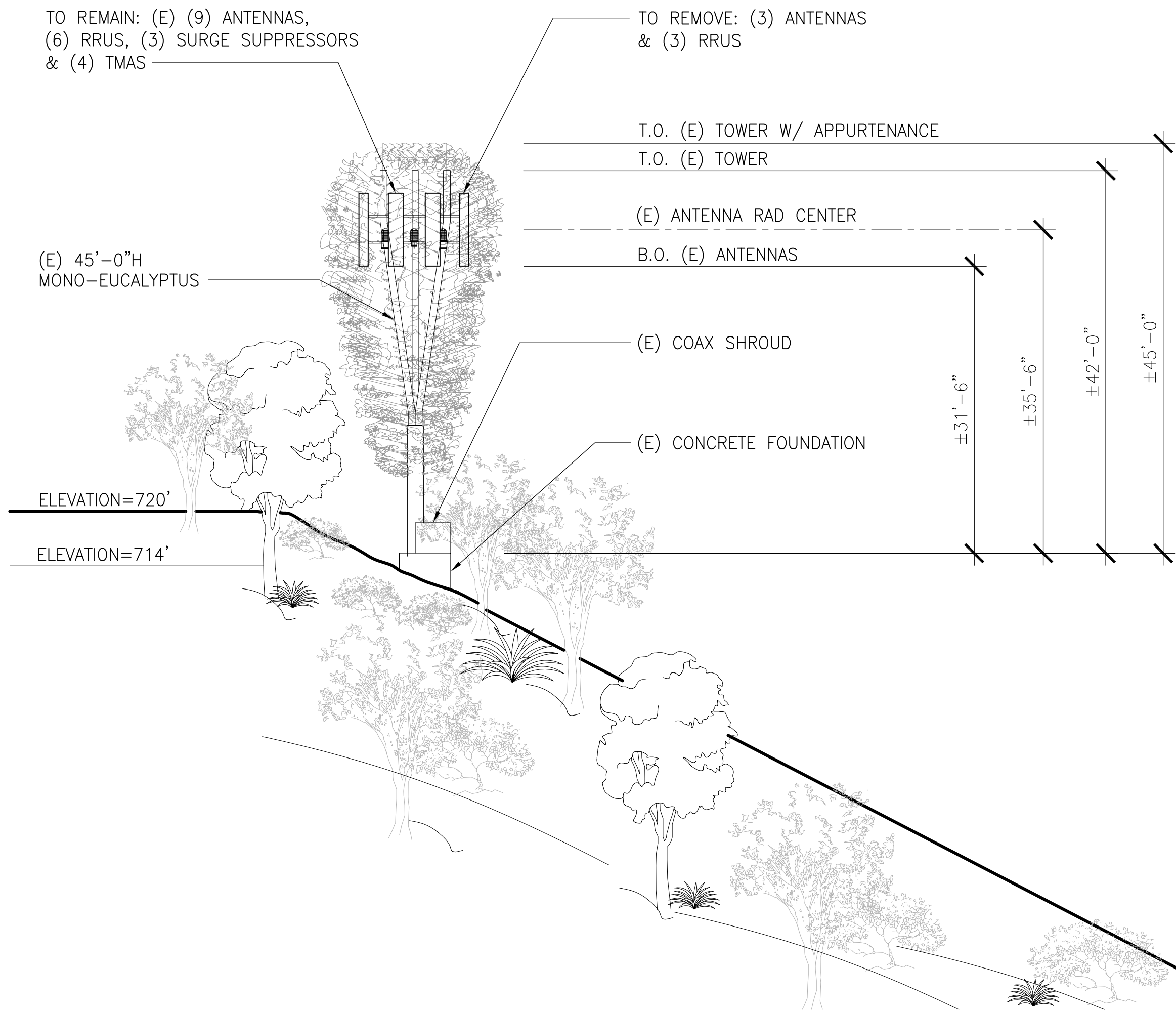
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(N) NORTH ELEVATION

SCALE: 3/32"=1'-0"
0 4' 8' 12'

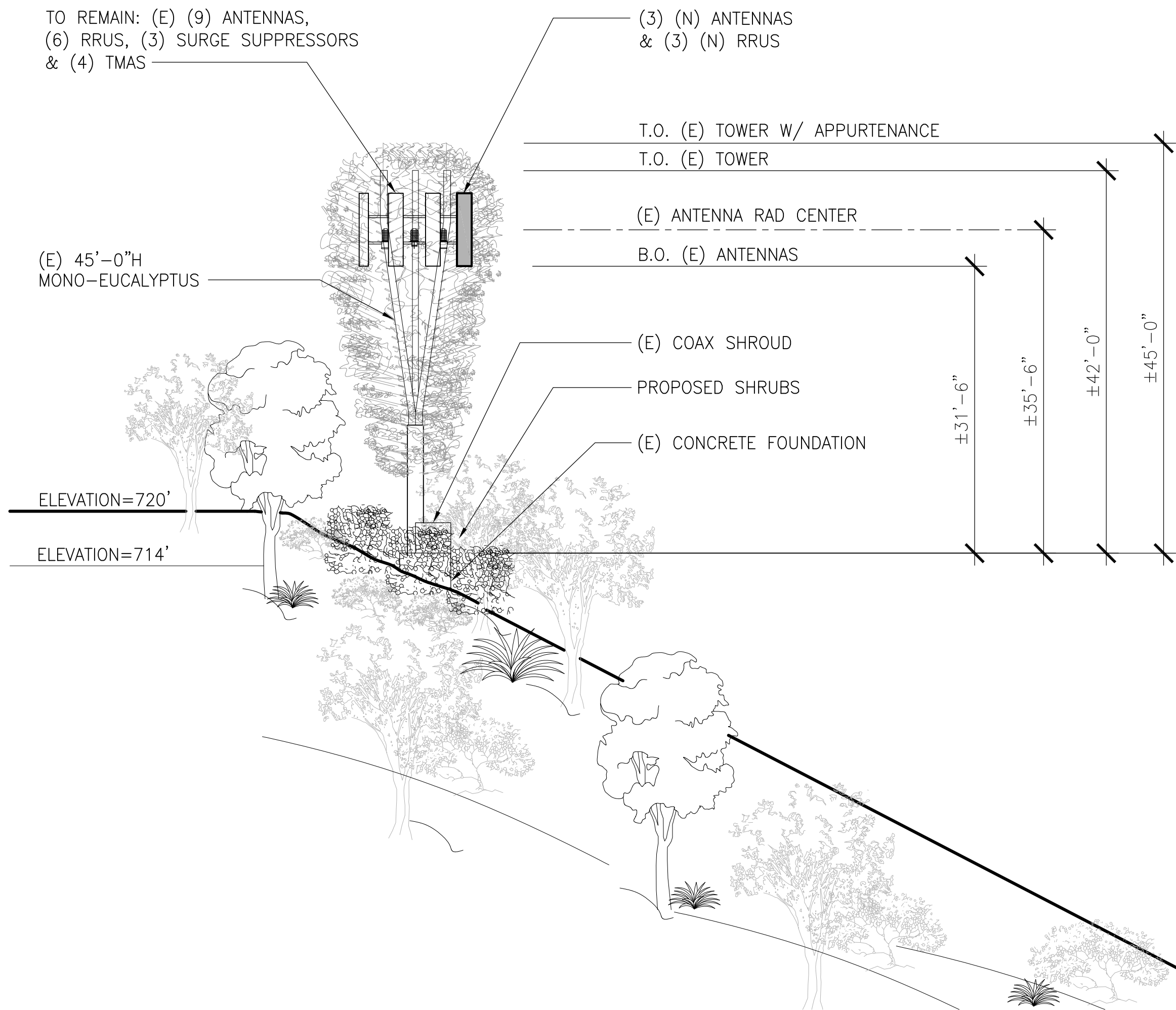
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(E) EAST ELEVATION

SCALE: 3/32"=1'-0"
0 4' 8' 12'

4



(N) EAST ELEVATION

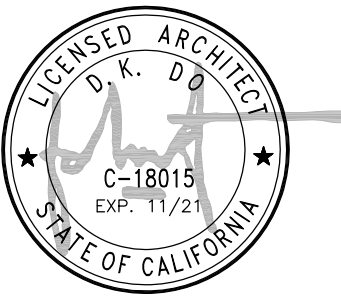
SCALE: 3/32"=1'-0"
0 4' 8' 12'

2



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SHEET TITLE:
ELEVATIONS

SHEET NUMBER:	ISSUE LEVEL:
A6	PENASQUITOS 815649

TO REMAIN: (E) (9) ANTENNAS,
(6) RRUS, (3) SURGE SUPPRESSORS
& (4) TMAS

TO REMOVE: (3) ANTENNAS
& (3) RRUS

±45'-0" T.O. (E) TOWER W/ APPURTENANCE

±42'-0" T.O. (E) TOWER

±35'-6" (E) ANTENNA RAD CENTER

±31'-6" B.O. (E) ANTENNAS

(E) 45'-0"H MONO-EUCALYPTUS

ELEVATION=720'

ELEVATION=714' (OTHER SIDE)

(E) EQUIPMENT SHELTER (OTHER SIDE)

ELEVATION=660' (OTHER SIDE)

(E) SOUTH ELEVATION

SCALE: 3/32"=1'-0" 0 4' 8' 12' **3**

TO REMAIN: (E) (9) ANTENNAS,
(6) RRUS, (3) SURGE SUPPRESSORS
& (4) TMAS

(3) (N) ANTENNAS
& (3) (N) RRUS

±45'-0" T.O. (E) TOWER W/ APPURTENANCE

±42'-0" T.O. (E) TOWER

±35'-6" (E) ANTENNA RAD CENTER

±31'-6" B.O. (E) ANTENNAS

(E) 45'-0"H MONO-EUCALYPTUS

PROPOSED SHRUBS
(OTHER SIDE)

ELEVATION=720'

ELEVATION=714' (OTHER SIDE)

(E) EQUIPMENT SHELTER (OTHER SIDE)

ELEVATION=660' (OTHER SIDE)

(N) SOUTH ELEVATION

SCALE: 3/32"=1'-0" 0 4' 8' 12' **1**

TO REMOVE: (3) ANTENNAS
& (3) RRUS

TO REMAIN: (E) (9) ANTENNAS,
(6) RRUS, (3) SURGE SUPPRESSORS
& (4) TMAS

T.O. (E) TOWER W/ APPURTENANCE

T.O. (E) TOWER

(E) ANTENNA RAD CENTER

B.O. (E) ANTENNAS

(E) COAX SHROUD

(E) CONCRETE FOUNDATION

(E) 45'-0"H
MONO-EUCALYPTUS

ELEVATION=720'

ELEVATION=714'

(E) WEST ELEVATION

SCALE: 3/32"=1'-0" 0 4' 8' 12' **4**

(3) (N) ANTENNAS
& (3) (N) RRUS

TO REMAIN: (E) (9) ANTENNAS,
(6) RRUS, (3) SURGE SUPPRESSORS
& (4) TMAS

T.O. (E) TOWER W/ APPURTENANCE

T.O. (E) TOWER

(E) ANTENNA RAD CENTER

B.O. (E) ANTENNAS

(E) COAX SHROUD

PROPOSED SHRUBS

(E) CONCRETE FOUNDATION

(E) 45'-0"H
MONO-EUCALYPTUS











ELEVATION=720'

ELEVATION=714'

(N) WEST ELEVATION

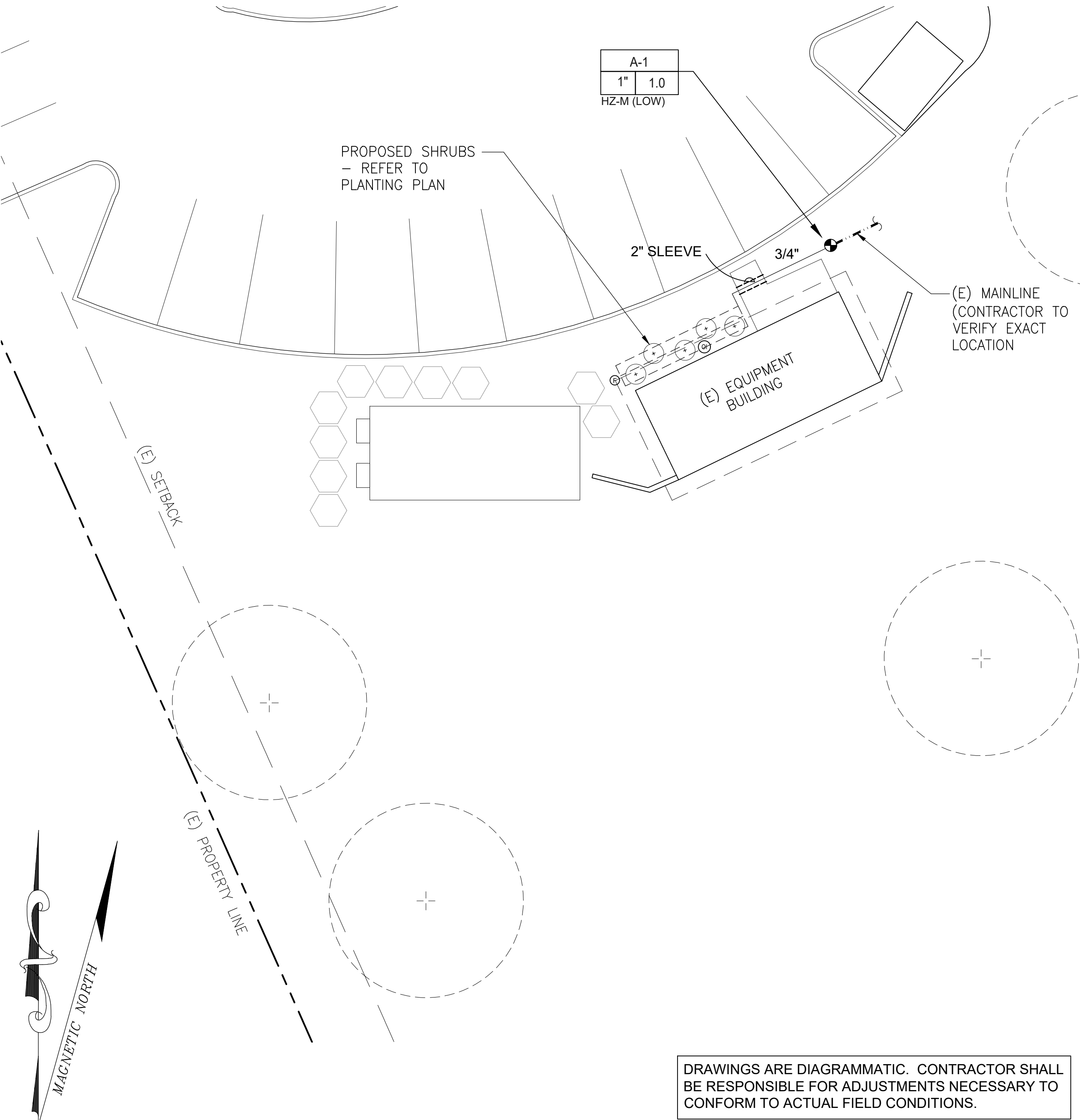
SCALE: 3/32"=1'-0" 0 4' 8' 12' **2**

IRRIGATION EQUIPMENT LEGEND

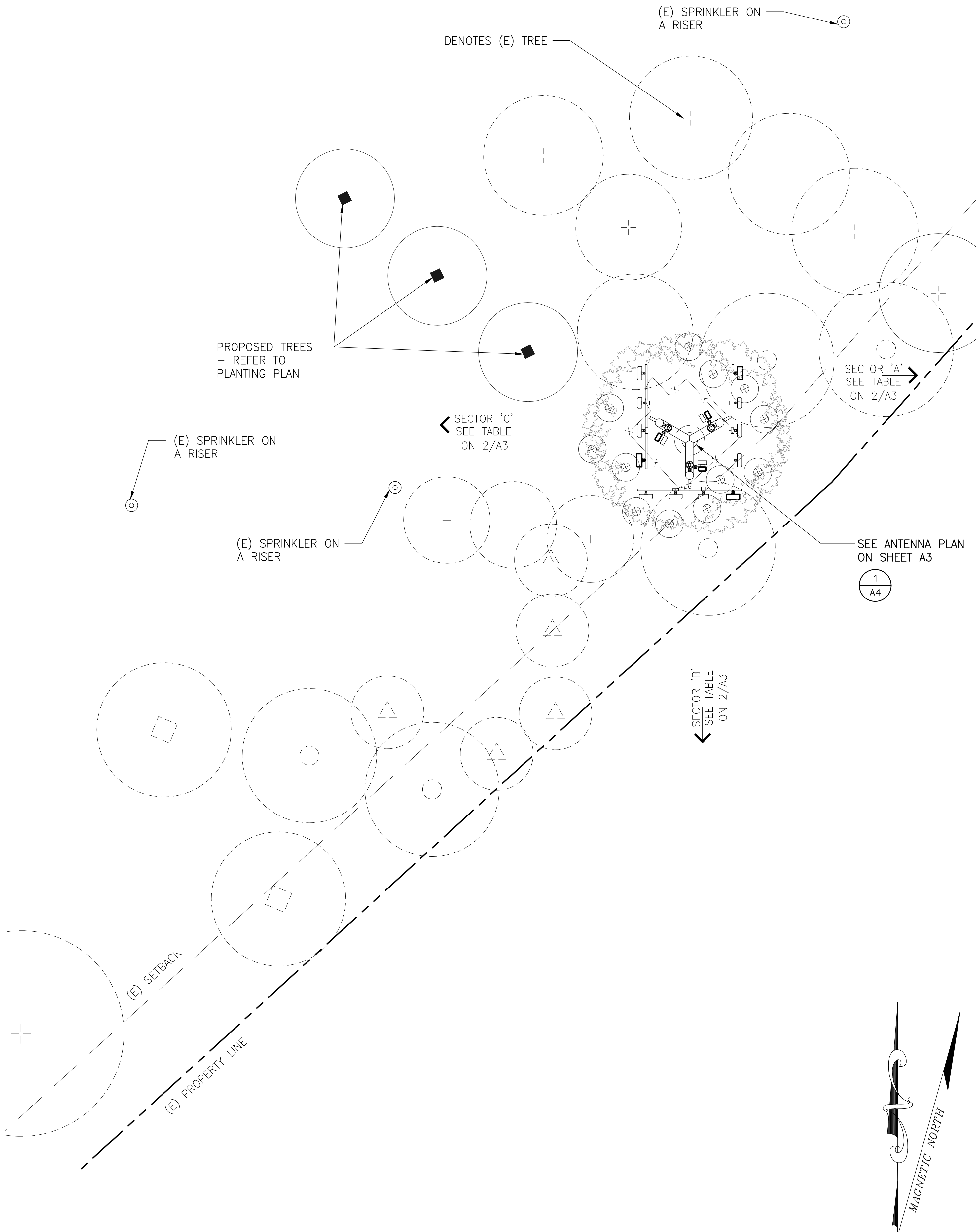
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION
	RAIN BIRD	PEB	1" DRIP CONTROL ZONE VALVE ASSEMBLY – RAIN BIRD PEB 1" ELECTRIC CONTROL VALVE, RAIN BIRD PRB–QKCHK–100 SERIES 1" PRESSURE REGULATING BASKET FILTER WITH 200 MESH SCREEN AND SPEARS 1" SCHEDULE 80 THREADED BALL VALVE. ALL ASSEMBLY FITTINGS AND NIPPLES SHALL BE 1". SEE DETAIL FOR ADDITIONAL INFORMATION.
	RAIN BIRD	OPERIND	DRIP SYSTEM OPERATION INDICATOR KIT.
	NETAFIM	TLSOV	MANUAL LINE FLUSHING VALVE FOR POTABLE WATER DRIP SYSTEMS TO BE CONNECTED TO INLINE DRIP TUBING AS SHOWN ON DRAWING – SEE DETAILS FOR ADDITIONAL INFORMATION.
	NETAFIM	TLCV6–12	SERIES DRIP LINE – EMITTER SPACING SHALL BE 12" ON CENTER AND ROW SPACING SHALL BE 18" ON CENTER
	EXISTING BURIED PRESSURE MAIN LINE PIPING		
	NEW BURIED NON–PRESSURE LATERAL LINE PIPING – USE PVC SCHEDULE 40 PIPE FOR LATERAL LINE PIPING INSTALLED WITHIN PLANTING AREAS WITH 12" MINIMUM COVER, AND PVC SCHEDULE 40 FOR LATERAL LINE PIPING INSTALLED UNDER PAVED AREAS WITH 18" MINIMUM COVER – SIZE NOTED – USE WHITE COLORED PIPE FOR POTABLE WATER.		
	IRRIGATION PIPE SLEEVE INSTALLED UNDER PAVED AREAS SHALL BE INSTALLED BY IRRIGATION CONTRACTOR. COORDINATE INSTALLATION OF IRRIGATION SLEEVES UNDER ROADWAY WITH GENERAL CONTRACTOR – USE PVC SCHEDULE 40 PIPE FOR IRRIGATION PIPING INSTALLED UNDER PAVING – SIZE NOTED		
	INDICATES AUTOMATIC CONTROLLER STATION NUMBER – NOTE B–X MEANS STATION NUMBER TO BE DETERMINED		
	INDICATES FLOW IN G.P.M. FOR ELECTRIC CONTROL VALVES.		
	INDICATES ELECTRIC CONTROL VALVE SIZE		

IRRIGATION PLAN NOTES

NOTE: 1
POINT OF CONNECTION SHALL BE COORDINATED AND APPROVED BY LAND LORD/CITY. CONTRACTOR SHALL COORDINATE WITH THE LAND LORD/CITY AND VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK.
STATIC PRESSURE: 55 PSI (CONTRACTOR TO FIELD VERIFY)
DESIGN PRESSURE: 30 PSI
MAXIMUM DEMAND: 1.00 GPM

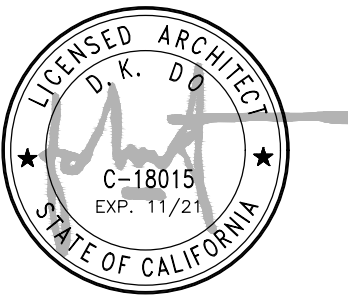


IRRIGATION NOTE:
EXISTING IRRIGATION ON SLOPE SHALL REMAIN AND BE PROTECTED. NEW TREES PLANTED ON SLOPE SHALL BE IRRIGATED BY EXISTING IRRIGATION SYSTEM



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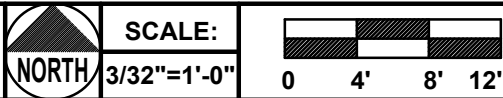
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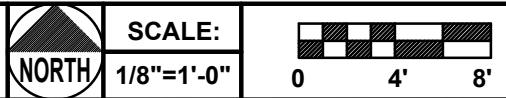
SHEET TITLE:
IRRIGATION PLAN

SHEET NUMBER:	ISSUE LEVEL:
L1	PENASQUITOS 815649

IRRIGATION PLAN AT EQUIPMENT BUILDING



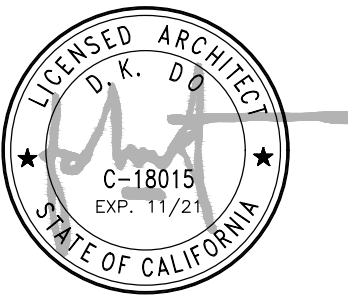
IRRIGATION PLAN AT MONO-EUCALYPTUS AREA





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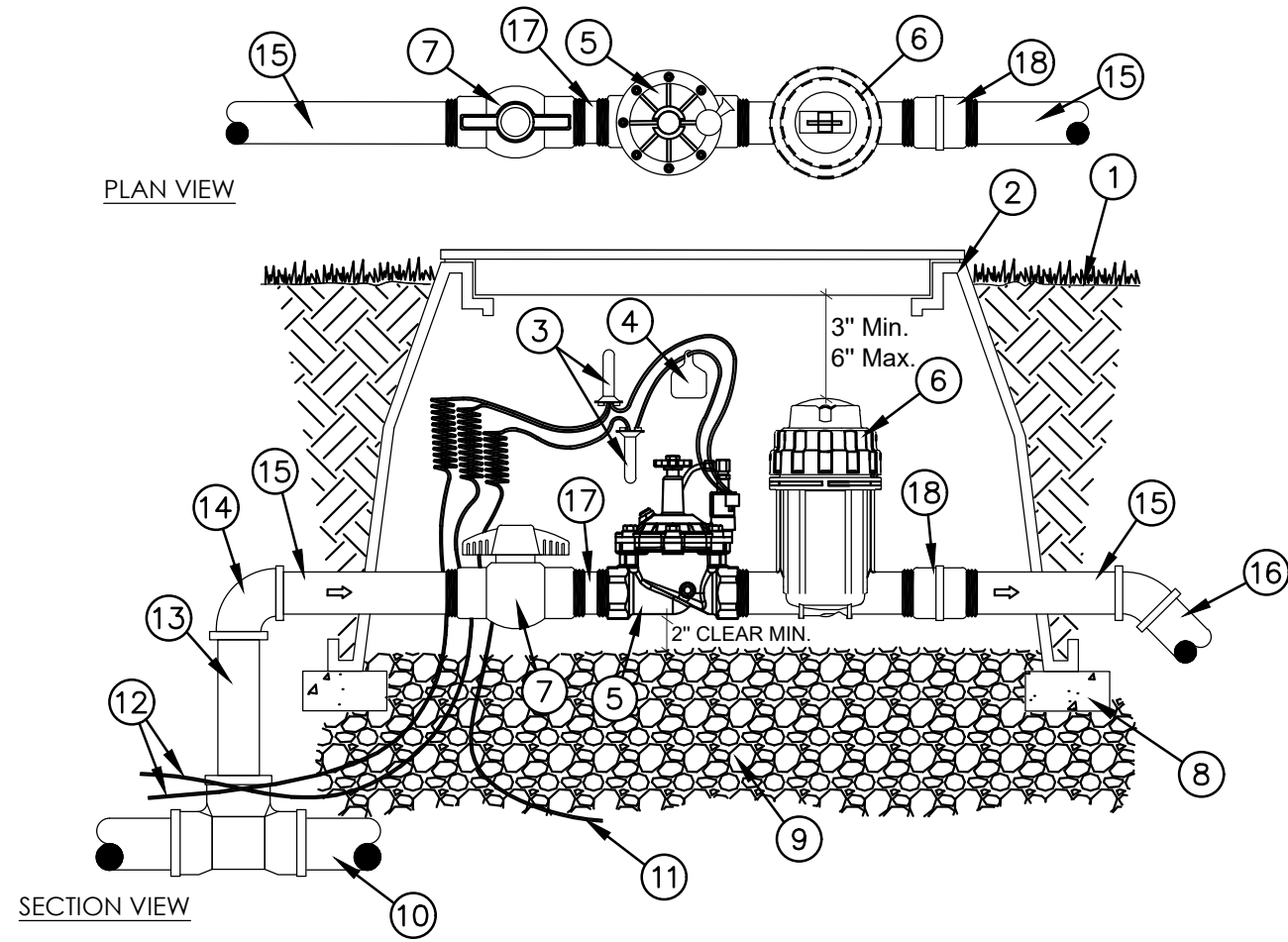
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SHEET TITLE:

IRRIGATION DETAILS

SHEET NUMBER:	ISSUE LEVEL:
L2	PENASQUITOS 815649

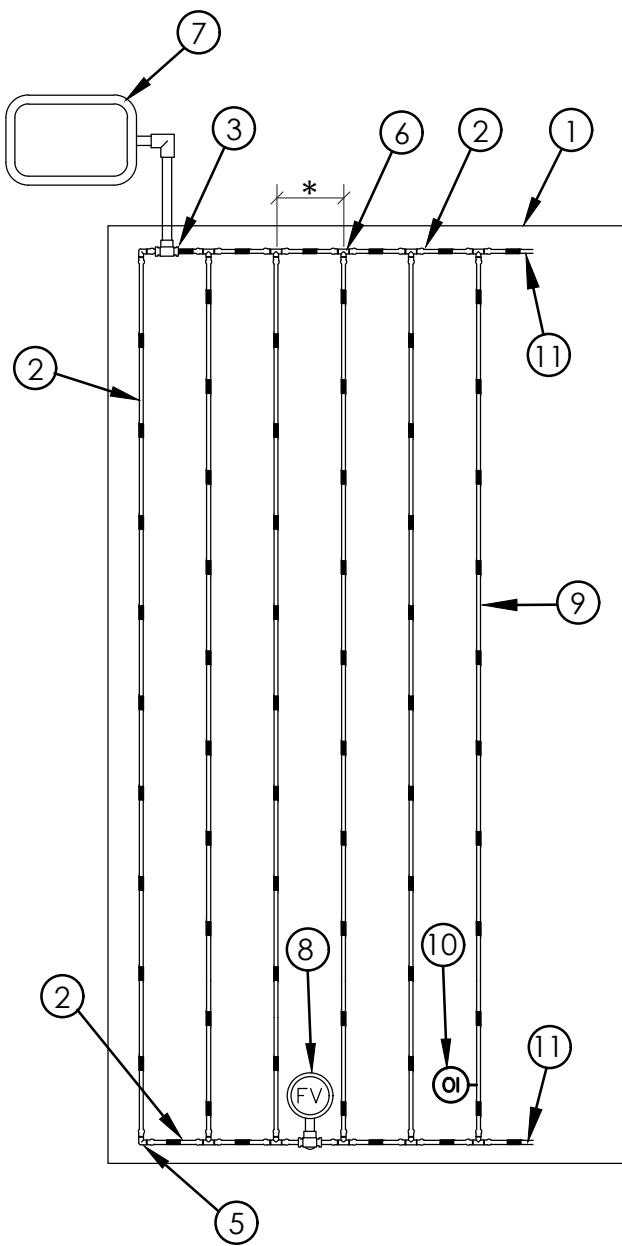


- LEGEND
1. TOP OF MULCH OR FINISH GRADE.
 2. JUMBO RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. HEAT BRAND VALVE STATION NO. ON LID IN 2" HIGH CHARACTERS.
 3. 3M DBR/Y-6 WIRE CONNECTOR.
 4. CHRISTY'S I.D.TAG - NUMBERED TO MATCH DRAWINGS.
 5. SUPERIOR 3200100 SERIES 1" ELECTRIC CONTROL VALVE.
 6. RAIN BIRD PRB-QKCHK-100 SERIES 1" PRESSURE REGULATING BASKET FILTER WITH 200 MESH SCREEN.
 7. SPEARS 1" SCHEDULE 80 BALL VALVE.
 8. COMMON BRICK (4 REQUIRED).
 9. 3/4" CRUSHED ROCK. 6" DEEP.
 10. MAIN LINE FITTING W/SOLVENT WELD OUTLET.
 11. COMMON WIRE TO OTHER VALVES ON SAME CONTROLLER.
 12. CONTROL/Common WIRES FROM CONTROLLER.
 13. PVC SCHEDULE 40 PIPE.
 14. PVC SxS 90° ELL.
 15. 1" SCHEDULE 80 TOE NIPPLE.
 16. SCHEDULE 40 PVC PIPE TO DRIP SYSTEM - ANGLE PIPE TO PECIFIED DEPTH WITH 45° ELLS.
 17. 1" SCHEDULE 80 TBE NIPPLE - SHORT.
 18. 1" SCHEDULE 80 THREADED COUPLING.

1" CONTROL VALVE/STRAINER ASSEMBLY FOR DRIP

SCALE: N.T.S.

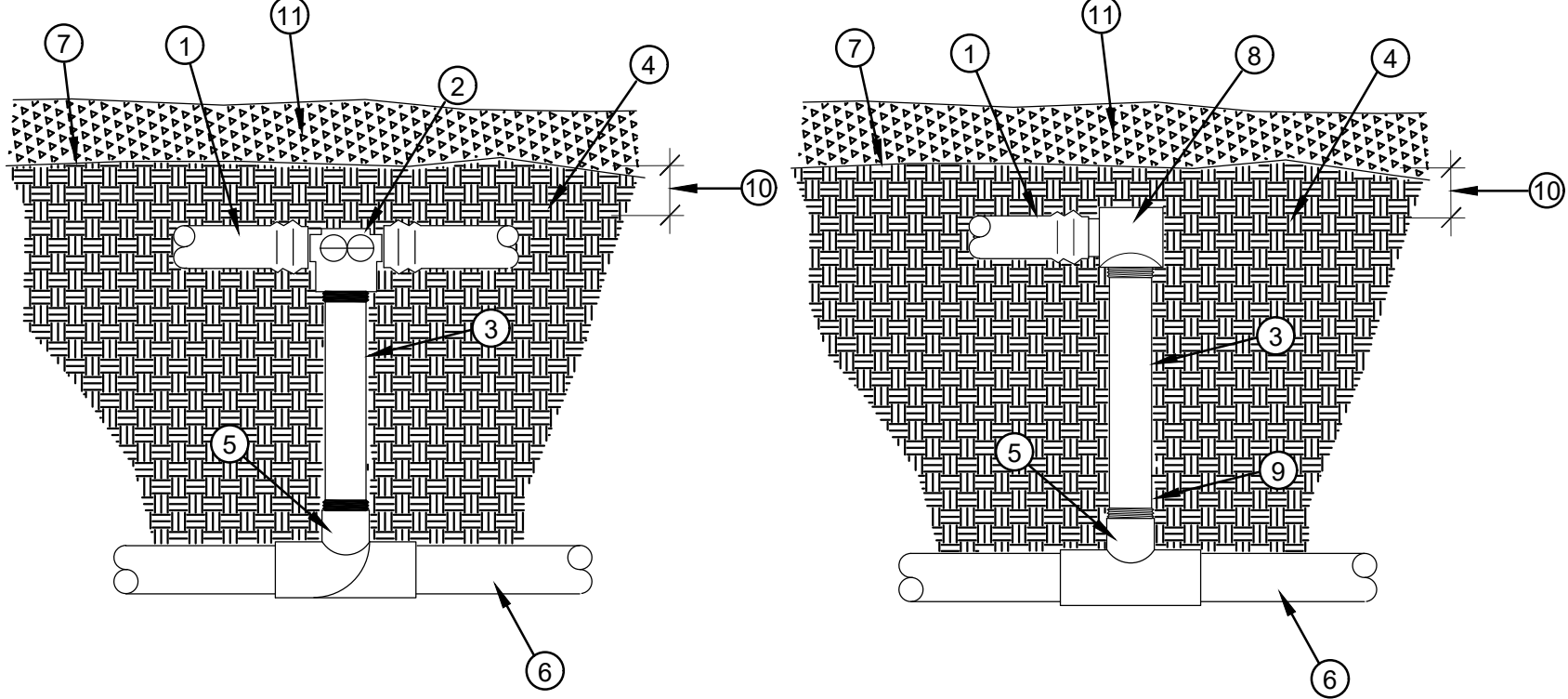
* EQUAL SPACE EMITTER ROWS 15"O.C.
MIN AND 18"O.C. MAX.



- LEGEND
1. PLANTER CURB, PAVING OR WALL.
 2. PERIMETER DRIPLINE TUBE 6" FROM EDGE OF PLANTER CURB, PAVING OR WALL.
 3. DRIPLINE START CONNECTION FOR SUPPLY HEADER. (TYPICAL)
 4. 17MM DRIPLINE PRESSURE COMPENSATING WITH CHECK VALVE. INSTALLED ON GRADE.
 5. 17 MM BARBED 90° ELBOW.
 6. 17MM BARBED TEE.
 7. DRIPLINE CONTROL VALVE ASSEMBLY.
 8. LINE FLUSHING VALVE PLUMBED TO DRIPLINE
 9. IN-LINE DRIP EMITTER SPACING PER IRRIGATION DRAWINGS.
 10. DRIP SYSTEM OPERATION INDICATOR.
 11. TO ADDITIONAL DRIPLINES AS REQUIRED BY IRRIGATION DRAWINGS.

SCHEMATIC DRIPPERLINE LAYOUT

SCALE: N.T.S.



TWO WAY DRIPLINE START CONNECTION

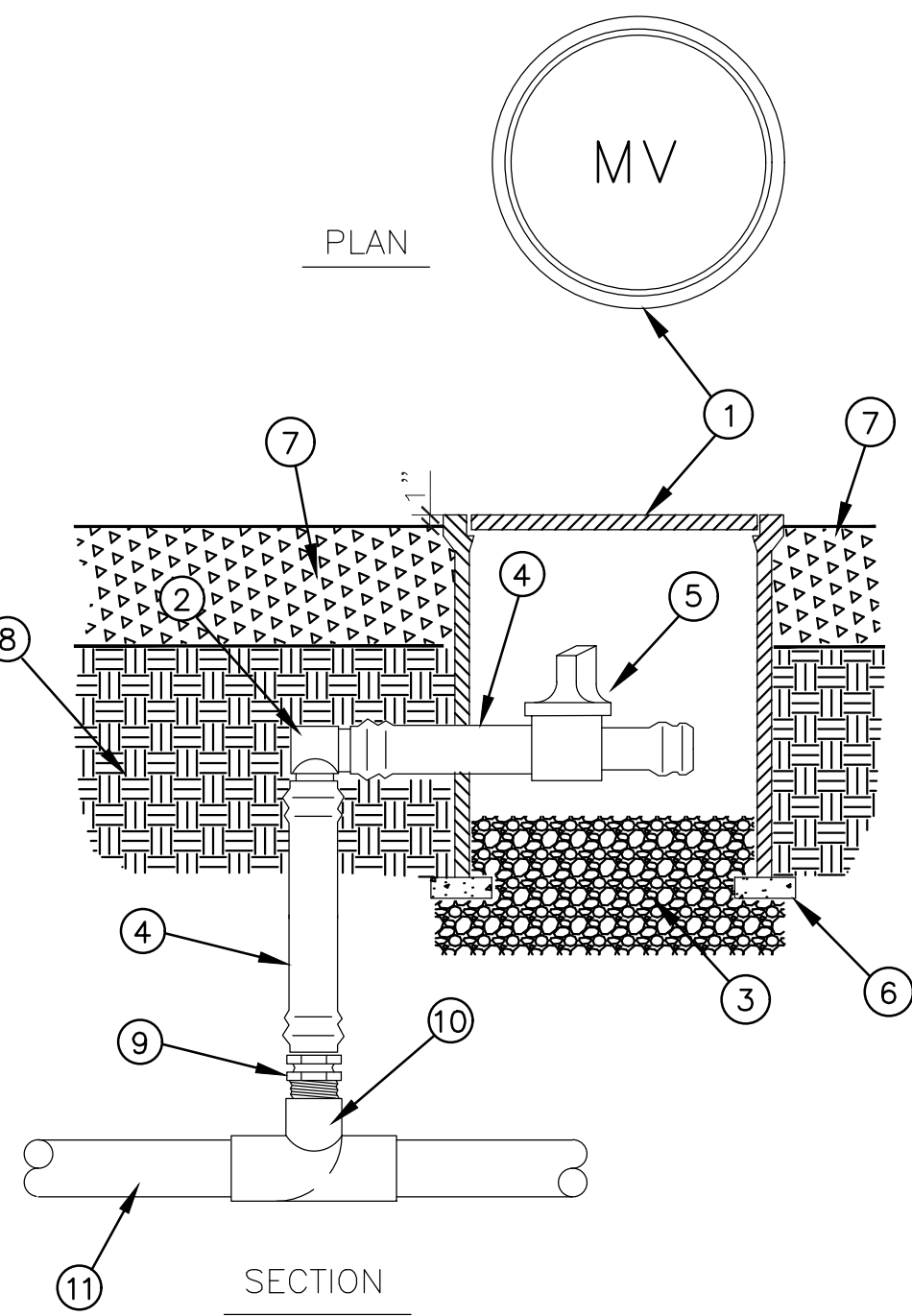
ONE WAY DRIPLINE START CONNECTION

- LEGEND
1. 17MM PRESSURE COMPENSATING DRIPLINE WITH CHECK VALVE PER IRRIGATION DRAWINGS.
 2. 17 MM INSERT x 17MM INSERT x 3/4" FPT COMBINATION TEE START CONNECTION.
 3. 3/4" PVC SCHEDULE 80 NIPPLE. LENGTH AS REQUIRED..
 4. PLANTING MIX PER LANDSCAPE PLAN.
 5. PVC LATERAL LINE TEE OR ELL WITH 3/4" FPT OUTLET (SxSxT) OR (SxT).
 6. PVC LATERAL LINE PIPE TO OTHER TREES OR SHRUBS ON SAME CONTROL VALVE. SIZE PER IRRIGATION PLAN.
 7. FINISH GRADE.
 8. 17MM INSERT x 3/4" FPT COMBINATION ELBOW START CONNECTION.
 9. 17 MM INSERT x 3/4" MPT MALE ADAPTER.
 10. PROVIDE A 1" MINIMUM DEPTH OF SOIL OVER DRIPLINE.
 11. MULCH PER LANDSCAPE PLAN.

DRIPLINE START CONNECTION

SCALE: N.T.S.

FOR SUPPLY AND EXHAUST HEADERS

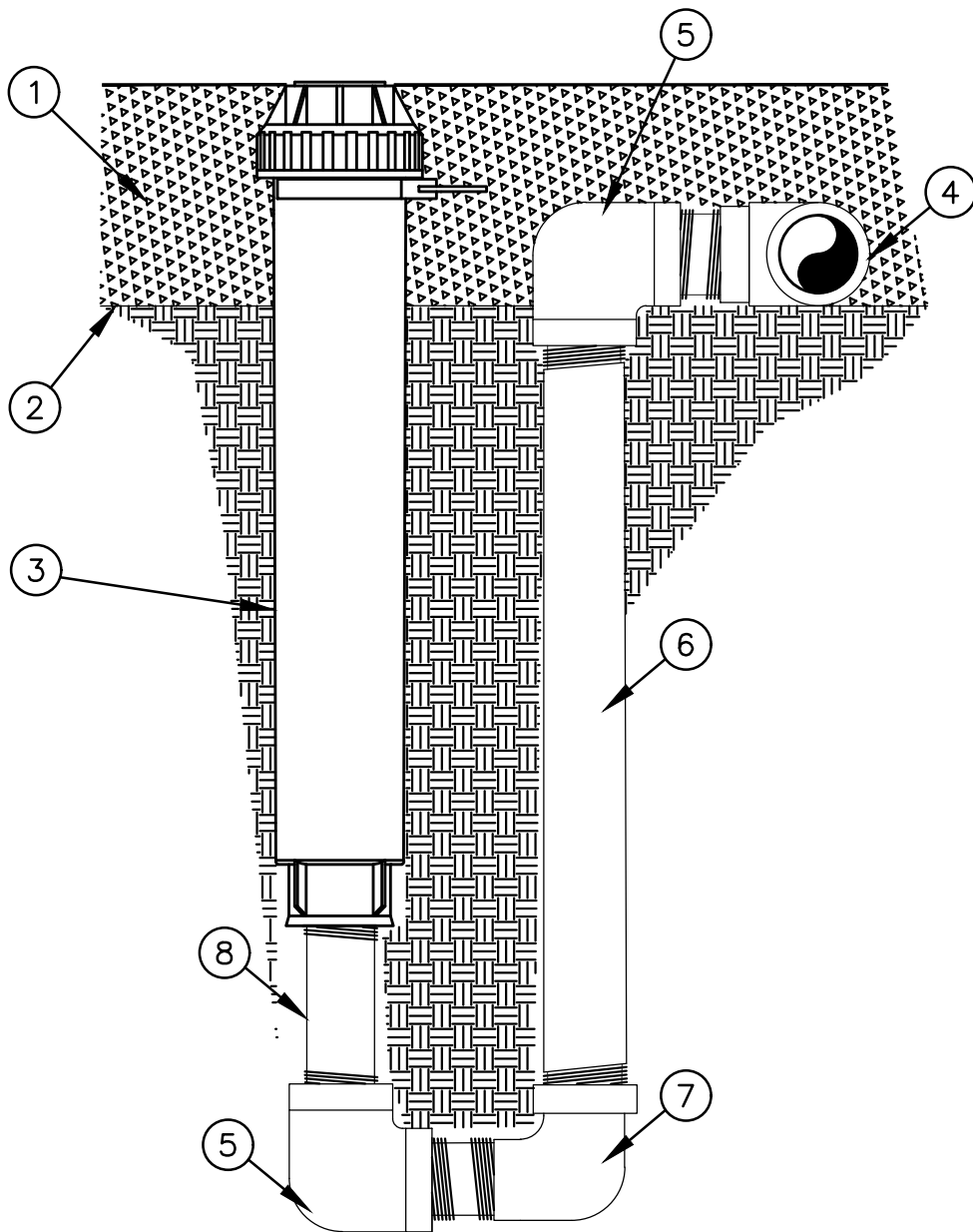


- LEGEND
1. BLACK 10" ROUND VALVE BOX WITH BOLT- DOWN COVER - HEAT BRAND "MV" ON VALVE BOX COVER IN 2" HIGH LETTERS.
 2. INLINE DRIP TUBING ELBOW.
 3. 3/4" CRUSHED ROCK. 8" DEPTH.
 4. BLANK DRIP LINE TO FLUSH VALVE.
 5. NETAFIM TISOV MANUAL FLUSH VALVE (SEE IRRIGATION PLANS AND/OR IRRIGATION DETAILS FOR LOCATION)
 6. COMMON BRICK - (2) FINISH GRADE
 7. MULCH PER LANDSCAPE PLAN.
 8. FINISH GRADE.
 9. INLINE DRIP TUBING MALE ADAPTER.
 10. PVC LATERAL LINE TEE OR ELL WITH 1/2" FPT OUTLET.
 11. PVC LATERAL LINE PIPE. SIZE PER IRRIGATION PLAN.

MANUAL LINE FLUSHING VALVE

SCALE: N.T.S.

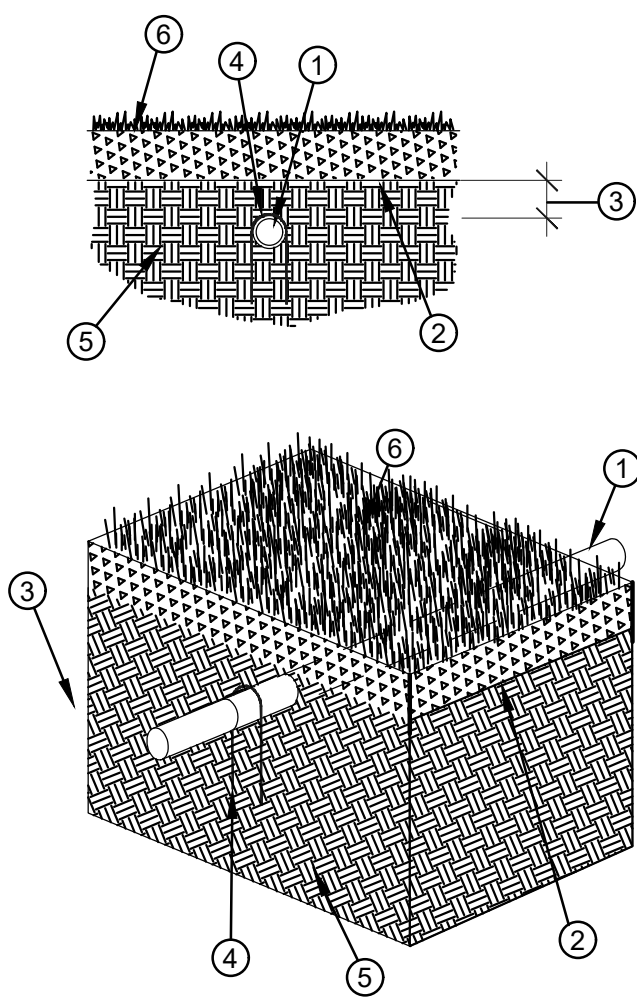
FOR POTABLE DRIP SYSTEMS



- LEGEND
1. MULCH PER LANDSCAPE PLAN.
 2. FINISH GRADE OF MULCH. SEE LANDSCAPE PLANS.
 3. DRIPLINE OPERATION INDICATOR.
 4. TEE MALE ADAPTER, BARB x THREAD x BARB TEE.
 5. SCH 40 T x T STREET ELL.
 6. PVC SCHEDULE 80 PVC NIPPLE. LENGTH AS REQUIRED.
 7. MARLEX STREET ELL.
 8. PVC SCHEDULE 80 SHORT NIPPLE.

DRIPLINE OPERATION INDICATOR

SCALE: N.T.S.



LEGEND

1. 17MM DRIPLINE PRESSURE COMPENSATING WITH CHECK VALVE. INSTALLED BELOW FINISH GRADE.
2. FINISH GRADE IN PLANTING AREA.
3. PROVIDE A 1" MINIMUM DEPTH OF SOIL OVER DRIPLINE.
4. 12 GAUGE GALVANIZED SOIL STAPLE 6" MINIMUM LENGTH INSTALLED 4 FEET ON CENTER PLUS TWO STAPLES FOR EACH TEE, ELBOW AND CROSS.
5. UNIFORM SOIL MIXTURE PER LANDSCAPE PLANS.
6. FINISH GRADE OF MULCH. SEE LANDSCAPE PLANS.

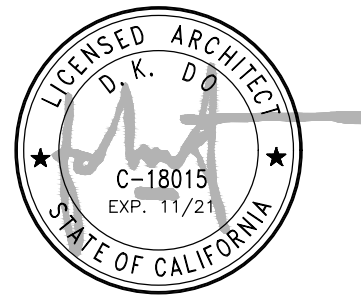
DRIPPERLINE INSTALLATION

SCALE: N.T.S.



DCI PACIFIC
A|E|C WORKS

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PROJECT IDENTIFICATION:

815649
PENASQUITOS
SD0404

10125 AZUAGA STREET
SAN DIEGO, CA92129

CURRENT ISSUE DATE:

10/12/20

ISSUED FOR:

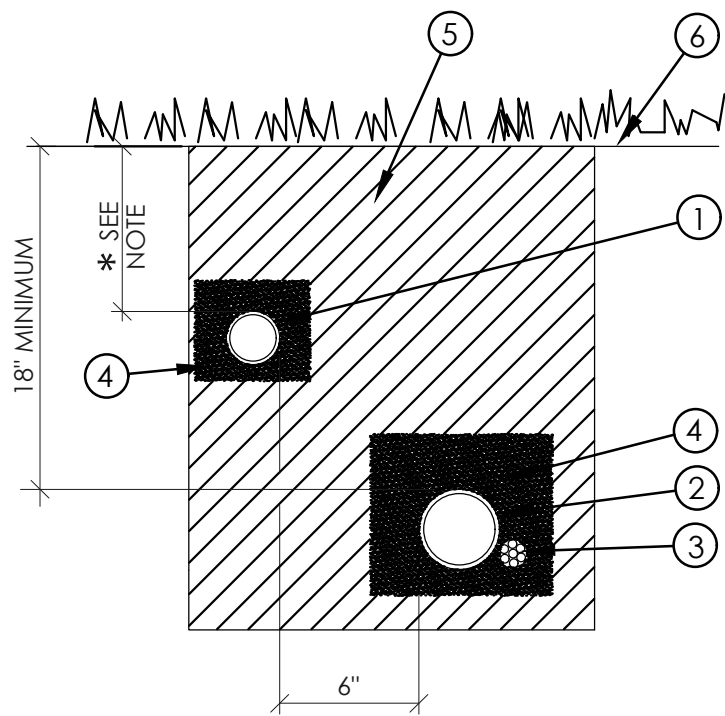
ZONING RENEWAL

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

ISSUE STATUS:			
△	DATE:	DESCRIPTION:	BY:
A	01/20/20	90% ZD RENEWAL	HH
0	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH

SHEET TITLE:
IRRIGATION DETAILS, NOTES & WATER CALCS

SHEET NUMBER:	ISSUE LEVEL:
L3	PENASQUITOS 815649

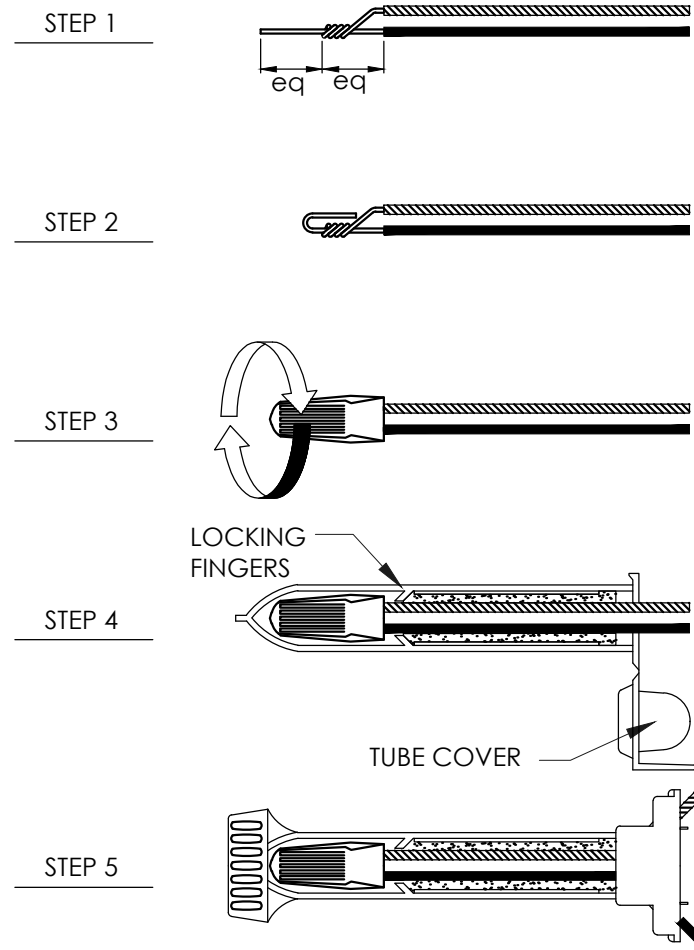


- LEGEND
1. NON-PRESSURE LATERAL LINE PIPING.
 2. PRESSURE MAIN LINE PIPING
 3. CONTROL WIRES - TAPE AND BUNDLE EVERY 10 FEET. INSTALL ADJACENT TO PRESSURE MAIN LINE.
 4. PROVIDE 2" DEPTH OF CLEAN BACKFILL.
 5. SEE IRRIGATION SPECIFICATIONS FOR BACKFILL AND COMPACTION REQUIREMENTS.
 6. FINISH GRADE.

* MINIMUM BACKFILL DEPTHS FROM FINISH GRADE TO TOP OF PIPE
12" FOR LATERAL LINE PIPE INSTALLED IN PLANTERS
18" FOR LATERAL LINE PIPE INSTALLED UNDER PAVING.

TRENCHING

SCALE: N.T.S.



3M "DBR/Y-6" WIRE CONNECTOR

SCALE: N.T.S.

LEGEND

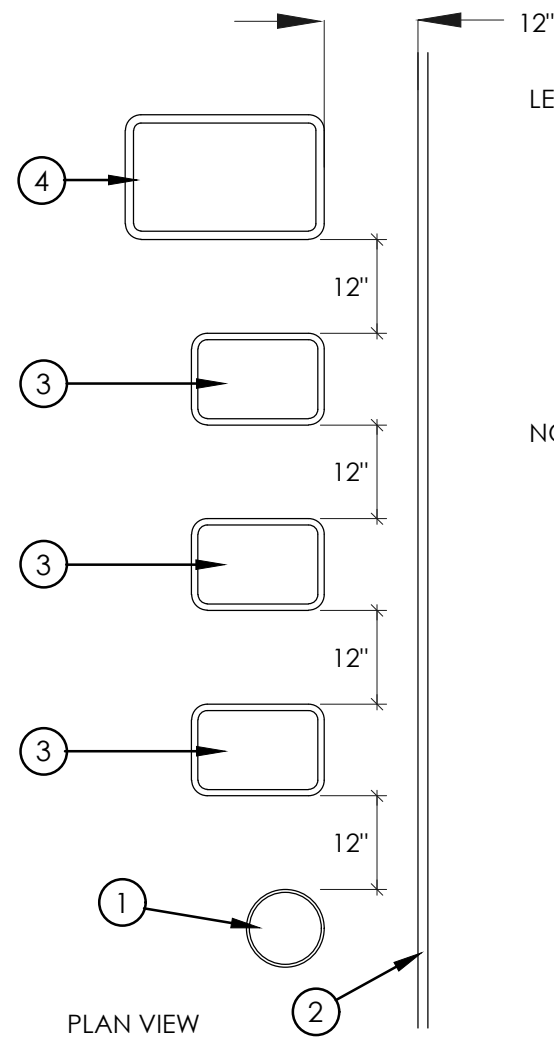
STRIP BOTH WIRES. TWIST STRAND AROUND RIGID STRAND OVER HALF THE LENGTH OF STRIPPED WIRES.

FOLD THE OTHER HALF OF THE RIGID STRAND OVER TWISTED STRAND AS SHOWN.

INSERT THE TWISTED SPLICE INTO THE "Y" ELECTRICAL SPRING CONNECTION AND TWIST OVER WIRE STRANDS IN A CLOCKWISE DIRECTION.

INSERT THE CONNECTOR INTO THE GEL-FILLED DIRECT BURY SPLICE KIT. PUSH PAST THE LOCKING FINGERS TO SECURE CONNECTOR INSIDE TUBE.

POSITION ALL THE WIRES THROUGH THE DEDICATED INSULATOR CHANNELS AND SNAP INSULATOR TUBE COVER CLOSED.



- LEGEND
1. 10" DIAMETER CIRCULAR VALVE BOX.
 2. EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 3. 12" x 18" RECTANGULAR VALVE BOX.
 4. 20" x 30" RECTANGULAR VALVE BOX.

- NOTES
- A. CENTER VALVE BOX OVER VALVE TO FACILITATE SERVICING OF VALVE.
 - B. SET VALVE BOXES 2" MAXIMUM ABOVE GRADE IN MULCH COVER OR GROUND COVER/SHRUB AREAS -SET 1" ABOVE FINISH GRADE IN TURF AREAS.
 - C. SET VALVE BOX AND VALVE ASSEMBLY IN GROUND-COVER/SHRUB AREA WHERE POSSIBLE - INSTALL IN TURF ONLY IF THERE IS NO ADJACENT GROUND-COVER.
 - D. SET VALVE BOXES PARALLEL TO ONE ANOTHER AND PERPENDICULAR TO EDGE.
 - E. AVOID HEAVY COMPACTION OF SOIL AROUND VALVE BOXES TO PREVENT THEIR DEFORMATION/COLLAPSE.

VALVE BOX LAYOUT

SCALE: N.T.S.

Maximum Applied Water Allowance (MAWA)

$$MAWA \text{ (Annual Gallons Allowed)} = (Eto) (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$$

Annual ETo	Constant	Type of Project	ETAF	LA (sq.ft.)	ETAF x LA	1-ETAF	SLA (sq.ft.)	MAWA
45.57	0.62	Commercial	0.45	100.00	45.00	0.55		1,271.40

Appendix B – Water Efficient Landscape Worksheet.

$$ETWU \text{ (Annual Gallons Required)} = ETo \times 0.62 \times ETAF \times Area$$

Hydrozone # or Irrigation Valve	Plant Factor (PF)	Plant Type	Irrigation Method	Irrigation Efficiency (IE) %	ETAF (PF/IE)	Landscape Area (sq.ft.)	ETAF x Area	Estimated Total Water Use (ETWU) g
1	0.3	Low	Drip	0.81	0.37	100.00	37.04	1,046.42

TOTAL 100SF 37.04

MAWA 1,271.40 ETWU 1,046.42

ETAF Calculations

Regular Landscape Area

Total ETAF x Area	37.04
Total Area	100.00
Average ETAF	0.37

All Landscape Area

Total ETAF x Area	37.04
Total Area	100.00
Average ETAF	0.37

Average ETAF for Regular Landscape Areas must be **0.55 or below** for residential areas, and **0.45 or below** for non-residential areas

GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS, AS DESCRIBED IN THE SPECIFICATIONS, AND IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
2. DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS.
3. CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST ALL HEADS FOR OPTIMUM PERFORMANCE IN ACCORDANCE WITH THE SPECIFICATIONS AND TO PREVENT OVERSPRAY ONTO HARDSCAPE AREAS OR STRUCTURAL ELEMENTS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT ACTUAL SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.COSTS INCURRED DUE TO ANY ADJUSTMENTS FOR 100% COVERAGE, INCLUDING THOSE REQUESTED BY THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. EQUIPMENT SHOWN IN HARDSCAPE AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WHENEVER POSSIBLE WITHIN PLANTED AREAS A REASONABLE, REACHABLE DISTANCE FROM HARDSCAPE OR TURF AREAS
5. UNLESS OTHERWISE NOTED ON THE DRAWINGS, CONTRACTOR SHALL INSTALL WIRE & PIPE UNDER HARDSCAPE AREAS IN P.V.C. SCHEDULE 40 SLEEVES PLACED PRIOR TO INSTALLING HARDSCAPE IN ACCORDANCE WITH APPLICABLE CODES.
6. WHEREVER POSSIBLE, CONTROL WIRES SHALL OCCUPY THE SAME TRENCH AS PIPES.
7. EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.
8. SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. CONTRACTOR TO LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND EVERY 100' ON CENTER ALONG WIRE RUN. TAPE WIRE BUNDLES 10' ON CENTER. NO TAPING WILL BE PERMITTED INSIDE SLEEVES.
9. WIRE CONNECTORS SHALL BE SCOTCH DBY OR APPROVED EQUAL.
10. FINAL LOCATION FOR BACKFLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S/OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING. CONTRACTOR SHALL NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
11. CONTRACTOR SHALL INSTALL ANTI-DRAIN CHECK VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.
12. ALL IRRIGATION HEADS ADJACENT TO HARDSCAPE SHALL BE POP-UP STYLE.
13. IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
14. BUBBLERS SHALL BE LOCATED ON THE UPHILL SIDE OF TREES.
15. THE CONTRACTOR SHALL PROVIDE TO THE OWNER'S REPRESENTATIVE, UPON THE COMPLETION OF THE JOB A SET OF REPRODUCIBLE AS-BUILT DRAWINGS, WHICH SHALL BE VERIFIED FOR ACCURACY AT THE TIME OF THE FINAL JOB WALK-THROUGH.
16. ANY EXISTING IRRIGATION SYSTEMS IMPACTED BY NEW CONSTRUCTION SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
17. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF POSSIBLE ON-SITE INSPECTIONS WITH THE AUTHORIZED REPRESENTATIVE.
18. THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED IN WRITING FOR A PERIOD OF (1) YEAR ANY DEFECTIVE EQUIPMENT MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL LOCAL CITY AND COUNTY REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

LANDSCAPE NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF & VERIFY SIZES & QUANTITIES BY PLAN CHECK.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

AMENDMENTS, AS INDICATED IN THE SOILS REPORT SHOWN ON THE DRAWINGS, ARE BASED ON AGRICULTURAL SUITABILITY SOILS TESTS PERFORMED PRIOR TO GRADING AND WERE PRESENTED FOR BIDDING PURPOSES. IF NO SOILS REPORT EXISTS, CONTRACTOR SHALL PROPOSE ON AMENDMENTS AS STATED IN THE SPECIFICATIONS. CONTRACTOR SHALL OBTAIN AGRICULTURAL SOILS TESTING AND RECOMMENDATIONS AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES. TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE.

IF, DURING PLANTING OPERATIONS THERE SEEMS TO BE MINIMAL OR NO PERCOLATION IN PLANTING PITS, CONTRACTOR SHALL CEASE PLANTING OPERATIONS AND IMMEDIATELY NOTIFY THE CITY/OWNER'S AUTHORIZED REPRESENTATIVE TO DISCUSS ALTERNATIVE TO MAINTAINING POSITIVE ROOTBALL DRAINAGE MEASURES.

CONTRACTOR SHALL INSPECT AND VERIFY IRRIGATION SYSTEM IS WORKING PROPERLY. CONTRACTOR SHALL REPLACE AND/OR REPAIR DAMAGED IRRIGATION COMPONENTS.

SOIL TEST:

AFTER SOIL HAS BEEN SET IN PLACE & PRIOR TO ANY SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH SOIL TESTS OF THE SITE FOR AGRICULTURAL FERTILITY AND TO DETERMINE PROPER SOIL AMENDMENTS. TEST ARE TO BE PERFORMED BY A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES WITH COPIES SENT TO THE OWNER & LANDSCAPE ARCHITECT, PRIOR TO INSTALLATION.

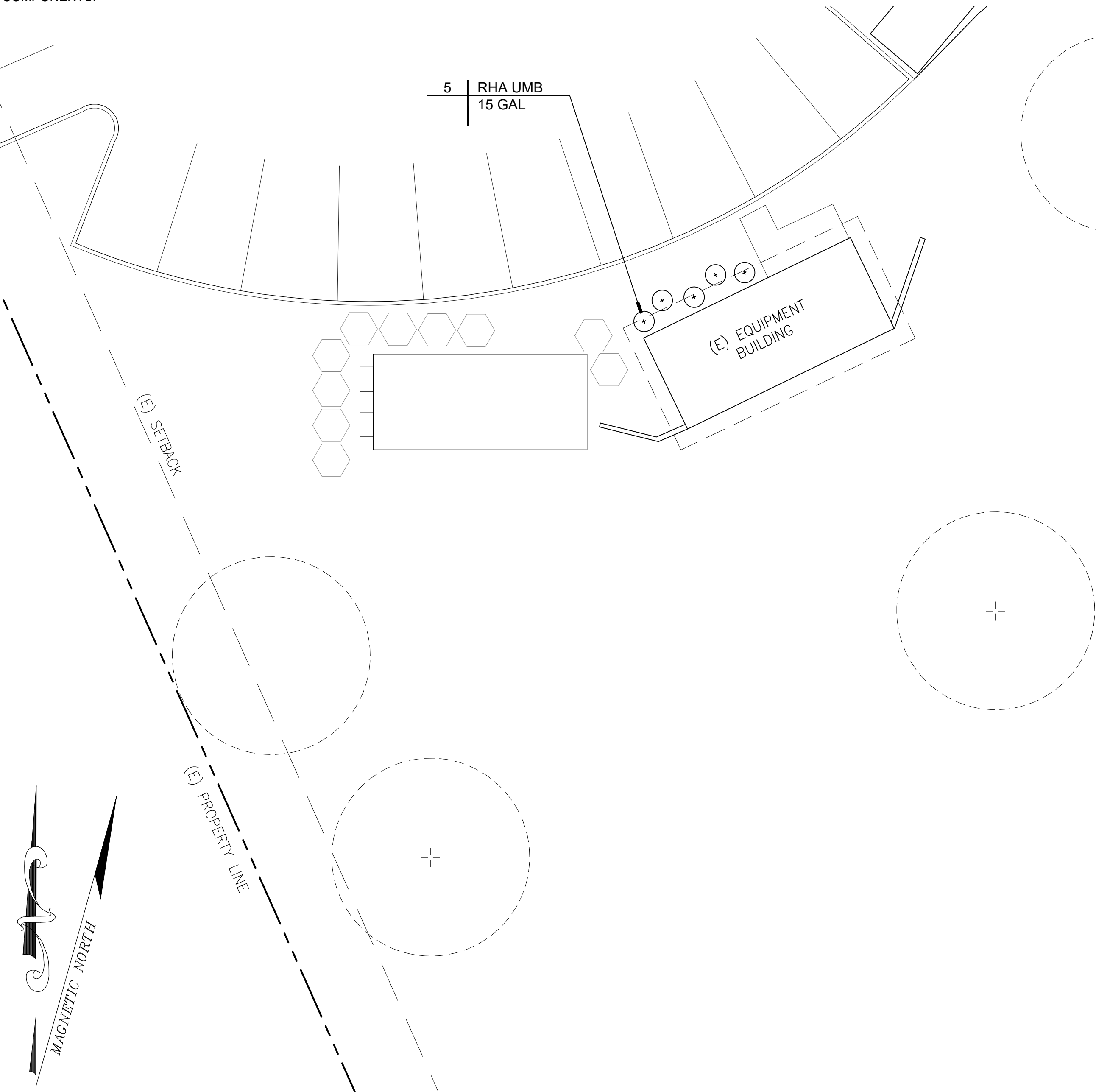
SOIL PREPARATION:

THE FOLLOWING IS PROVIDED FOR BID PURPOSES ONLY AND SHALL BE MODIFIED AS NECESSARY GIVEN THE RESULTS OF THE SOILS TEST. THE CONTRACTOR SHALL BE PREPARED TO PROVIDE DELIVERY SLIPS AND EMPTY FERTILIZER BAGS ON SITE FOR VERIFICATION OF MATERIAL.

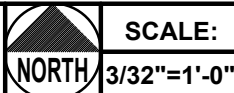
- BACKFILL MIX FOR USE OF PLANTING ALL SHRUBS.
6 PARTS BY VOLUME ON SITE SOIL.
4 PARTS BY VOLUME ORGANIC AMENDMENT.
1 LB. 12-12-12 COMMERCIAL FERTILIZER PER CUBIC YARD.
1 LB. IRON SULFATE PER CU. YD. OF MIX.
- PLANT TABLETS FOR ALL SHRUBS:
3-21 GRAM AGRIFORM FERTILIZER TABLET PER 5 GAL SHRUB ADJACENT TO THE ROOTBALL.
- TOP DRESSING: ALL SHRUB AREAS ARE TO BE TOP DRESSED WITH 3" THICK LAYER OF SHREDDED TREE BARK. DECORATIVE BARK MAY BE USED IN WINDY AREAS.

LANDSCAPE MAINTENANCE

LANDSCAPE WILL BE MAINTAINED BY AT&T.



PLANTING PLAN AT EQUIPMENT BUILDING



2

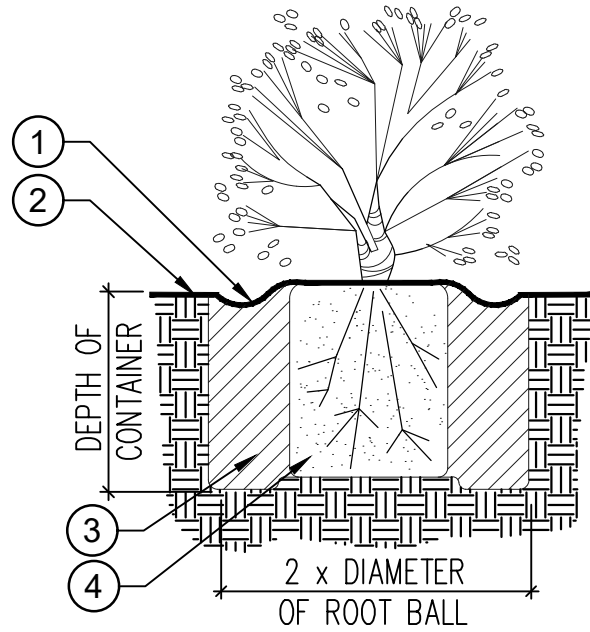
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT SIZE	MATURE PLANT HEIGHT & SPREAD (MAX AVERAGE SIZE AT MATURITY)	WUCOLS	QTY
TREES						
+	Tristania conferta	Brisbane Box	15 GAL	30'-40' Height x 25' Spread	M	3
SHRUB						
•	Rhaphiolepis umbellata 'Minor'	Dwarf Yeddo Hawthorn	15 GAL	4'-6' Height x 2'-3' Spread	L	5
⊗	Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Texas sage	5 GAL	4'-5' Height x 4'-5' Spread	L	12

NOTES:

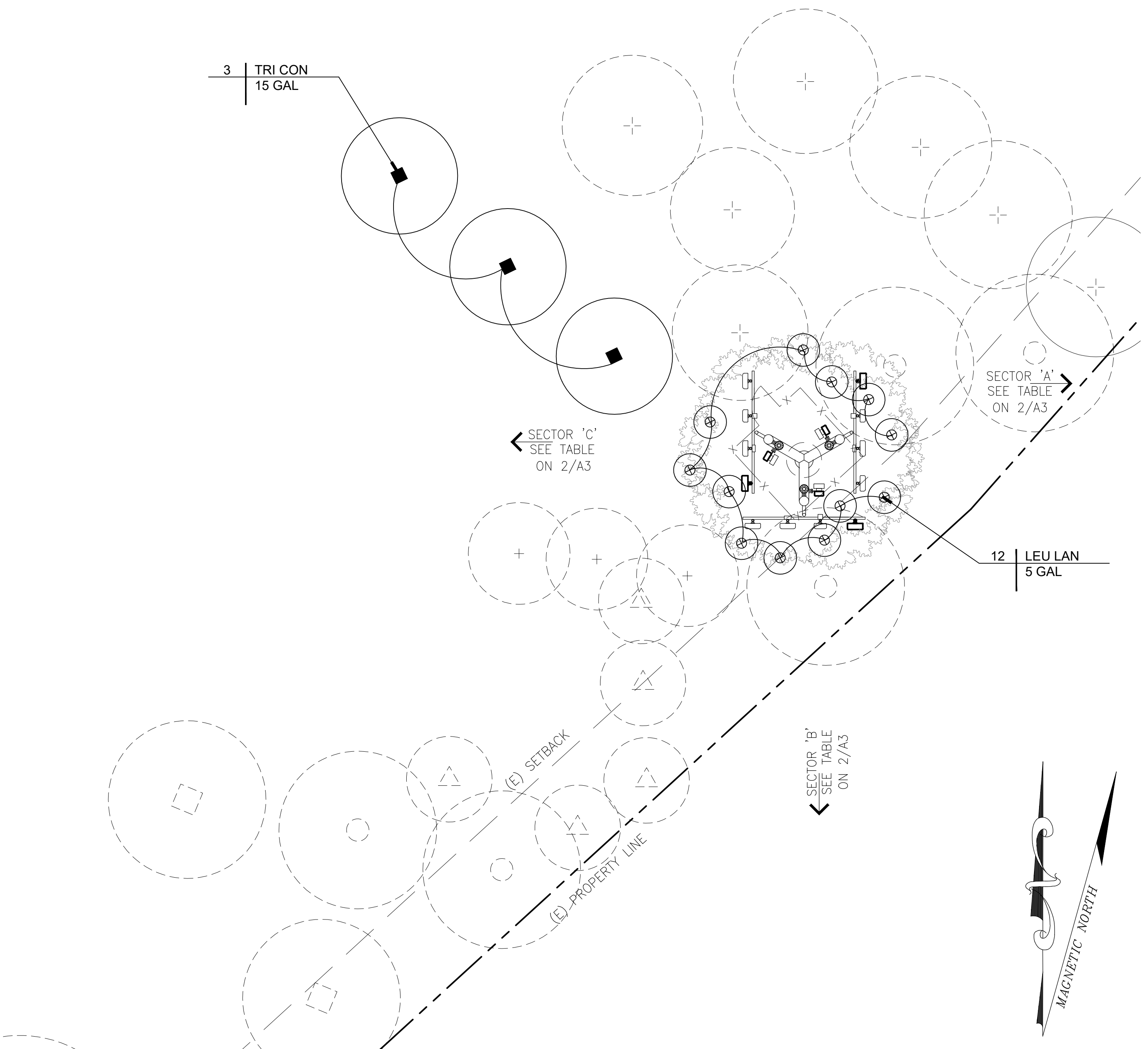
- CROWN OF ROOTBALL TO BE 1/2"-1" ABOVE FINISH GRADE.
- FOR ADDITIONAL INFORMATION REFER TO PLANTING NOTES AND SPECS.

- A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE
- FINISH GRADE
- BACKFILL IN ACCORDANCE WITH PROJECT AGRICULTURAL SUITABILITY SOILS REPORT
- ROOTBALL



SHRUB PLANTING

N.T.S.



PLANTING PLAN AT MONO-EUCALYPTUS AREA

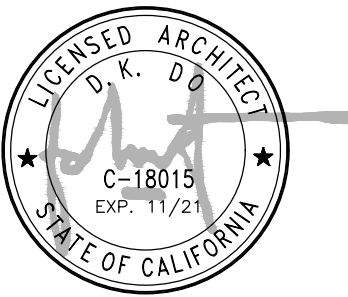


1



DCI PACIFIC
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PROJECT IDENTIFICATION:

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CURRENT ISSUE DATE:

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ISSUED FOR:

ZONING RENEWAL

DRAWN BY:	CHK:	APV:
HH	BOK	DKD

ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
A	01/20/20	90% ZD RENEWAL	HH
O	01/30/20	100% ZD RENEWAL	HH
1	06/05/20	CYCLE ISSUES 5/21/20	HH
2	10/12/20	REVISED ZD RENEWAL	HH

SHEET TITLE:

PLANTING PLAN, PLANT
LIST, NOTES & DETAILS

SHEET NUMBER:	ISSUE LEVEL:
L4	PENASQUITOS 815649